

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
SEPTEMBER 12, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.
- (2) Appointment with Audrey Andrews to consider a request to submit a new development application for an *Exception* for a front yard fence in accordance with Subsection 01.05, *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and take any action necessary.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (3) Approval of minutes for the August 15, 2023 Planning and Zoning Commission meeting.
- (4) Approval of minutes for the August 29, 2023 Planning and Zoning Commission meeting.

(5) **SP2023-026 (HENRY LEE)**

Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a *Restaurant* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

(6) **SP2023-027 (HENRY LEE)**

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an Amended Site Plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(7) **Z2023-038 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 3 (PD-3) [*Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23*] for the purpose of consolidating the regulating ordinances for a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall,

Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west of SH-205 [S. Goliad Street], and north of Lake Forest Drive, and take any action necessary.

(8) **Z2023-039 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of creating a process to allow Homeowner's Associations (HOA's) the ability to lease certain portions of the takeline, and take any action necessary.

(9) **Z2023-040 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

(10) **Z2023-041 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(11) **Z2023-042 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In* on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

(12) **Z2023-043 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for *Residential Infill In an Established Subdivision* on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

(VI) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(13) **SP2023-025 (HENRY LEE)**

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing *Private School* on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

(14) **SP2023-030 (HENRY LEE)**

Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site Plan for the expansion of an existing *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

(VII) DISCUSSION ITEMS

(15) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2023-023: Final Plat for Lot 1, Block A, Right at Home Healthcare Addition (**APPROVED**)

- P2023-024: Final Plat for Lots 1 & 2, Block A, Barrett Heights Addition (**APPROVED**)
- P2023-025: Replat for Lot 2, Block A, Heritage Christian Academy Addition (**APPROVED**)
- P2023-026: Replat for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition (**APPROVED**)
- P2023-027: Final Plat for Lots 1 & 2, Block A, Airport South Addition (**APPROVED**)
- P2023-028: Replat for Lot 3, Block 1, Indalloy Addition (**APPROVED**)
- Z2023-032: Specific Use Permit (SUP) for an existing *Motor Vehicle Dealership* at 1540 E. IH-30 (**2ND READING; APPROVED**)
- Z2023-033: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 803 Dalton Road (**2ND READING; APPROVED**)
- Z2023-034: Zoning Change from Single-Family Estates 4.0 (SFE-4.0) to a Single-Family Estate 1.5 (SFE-1.5) District for 626 Cullins Road (**2ND READING; APPROVED**)
- Z2023-035: Specific Use Permit (SUP) for a *Golf Driving Range* for Texas Wedge (**2ND READING; APPROVED**)
- Z2023-036: Specific Use Permit (SUP) for a *Carport* for 820 E. Heath Street (**2ND READING; APPROVED**)
- Z2023-037: Specific Use Permit (SUP) for an *Accessory Building* at 1796 Mystic Street (**2ND READING; APPROVED**)

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 8, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Angelica Guevara, *Planning Technician*

DATE: September 12, 2023

SUBJECT: Request to Resubmit an Application for a *Miscellaneous Case* for 146 Blanchard Drive

The applicant, Audrey Andrews, is requesting to waive the one (1) year time limitation on resubmitting an application for an *Exception* for a front yard fence that was previously denied. On August 29, 2023, the Planning and Zoning Commission denied a request for an *Exception* [Case No. MIS2023-011] for a front yard fence that exceeded the height requirements stating that they did not feel the request warranted the need to exceed the maximum height permitted for a front yard fence. On August 30, 2023, the applicant chose to submit a written request in accordance with Section 01.05, *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). This section states that if a miscellaneous case is denied by the Planning and Zoning Commission it may be resubmitted within one (1) year only if there is: “[1] An actual change in condition relating to the lot or tract of land -- or any portion thereof -- or any surrounding properties... The Director of Planning and Zoning or his/her designee will review the claim and report to the Planning and Zoning Commission whether or not such request meets the aforementioned criteria.” In this case, the applicant is proposing to change her request to meet the criteria for a front yard fence without exceeding the height requirements. In considering this matter the Planning and Zoning Commission is asked to determine if there are changes or circumstances sufficient to warrant a new hearing. In this case, staff feels the request may be warranted due to the applicant not being at the original public hearing along with her decision to make changes to her request to bring it into conformance with the requirements for an exception for a front yard fence; however, this is a discretionary decision for the Planning and Zoning Commission, and only requires a simple majority vote for approval. Should the Planning and Zoning Commission choose to approve the applicant's request, the applicant could resubmit a new application on September 15, 2023. If the Planning and Zoning Commission chooses to deny the request then the applicant would have to wait one (1) year from August 29, 2023 to resubmit an application. Should the Planning and Zoning Commission have any questions, staff and the applicant will be available at the September 12, 2023 Planning and Zoning Commission meeting.

8/30/2023

Planning & Zoning Commission,
I submitted a permit for a wrought
iron fence for in front of my
house. Originally my request was
for 5ft fence, however I just want
whatever the standard is for
the city. If the standard is
for 4ft that is fine. I want
my application to reflect the
4ft height max.

Please approve

Dr. Andrew Stey
469-745-7015
alandrews65@gmail.com

MINUTES



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
AUGUST 15, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND
4 SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

6 I. CALL TO ORDER

7
8 **Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were John Womble, Brian Llewelyn, Kyle Thompson and Jean
9 Conway. Absent from the meeting was Commissioner Ross Hustings. Staff members present were Director of Planning and Zoning Ryan Miller,
10 Planners Bethany Ross and Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams,
11 Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price.**

13 II. APPOINTMENTS

14
15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
16 the agenda requiring architectural review.

17
18 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the architectural
19 review board meeting.**

21 III. OPEN FORUM

22
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the
24 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN
25 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings
26 Act.*

27
28 **Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being
29 no one indicating such, Chairman Deckard closed the open forum.**

31 IV. CONSENT AGENDA

32
33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)
34 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

35
36 2. Approval of minutes for the July 25, 2023 Planning and Zoning Commission meeting.

37
38 **Vice-Chairman Womble made a motion to approve the Consent Agenda. Commissioner Conway seconded the motion which passed by a vote of 5-0.**

40 V. PUBLIC HEARING ITEMS

41
42 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please
43 submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning
44 Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments
45 to three (3) minutes out of respect for the time of other citizens.*

47 3. Z2023-033 (ANGELICA GUEVARA)

48 Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent
49 to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02
50 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and
51 take any action necessary.

52
53 **Planning Technician Guevara provided a brief summary in regards to the request. The applicant is requesting approval of a Specific Use Permit (SUP)
54 for a Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on the subject property. The
55 proposed home meets all the density and dimensional requirements for a home in an Agricultural (AG) District and will be constructed in a single-
56 family estate style making it complementary to four (4) other homes that are in close proximity to the proposed home. In addition, the applicant is also
57 requesting an approval for a Guest Quarters and Secondary Living Unit. They are wanting separate sanitary facilities and separate entrances which
58 make up two elements of a dwelling unit; however, they are not asking for kitchen facilities so this will not be a standalone living unit. According to
59 the Unified Development Code (UDC), Guest Quarters/ Secondary Living Units are permitted to be up to 30% of the primary structure and, with the
60 proposed home being 9,436 sq. feet, the applicants are permitted up to 2,830 square foot structure. The applicant is only requesting an 862 square
61 foot Guest Quarters/ Secondary living unit which represents 9.14% of the primary structure. This is approximately 20% less of what is allowed by
62 right. With all this being said, this is a discretionary decision for City Council pending a recommendation from the Planning and Zoning Commission.
63 On July 21, 2023, staff mailed out 92 notices to property owners and occupants within 500-feet of the subject property and at this time staff has
64 received one (1) notice in favor and one (1) notice in opposition of the applicant's request.**

65
66 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating
67 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.
68

69 Commissioner Llewelyn made a motion to approve Z2023-033. Vice-Chairman Womble seconded the motion which passed by a vote of 5-0.
70

71 Chairman Deckard advised that this item will go before City Council on August 21, 2023.
72

73 **4. Z2023-034 (BETHANY ROSS)**

74 Hold a public hearing to discuss and consider a request by Dakota, Claire, Austen, and Sara Brewer for the approval of a Zoning Change from a Single-Family
75 Estate 4.0 (SFE-4.0) District to a Single-Family 1.5 (SFE-1.5) District for a 5.24-acre tract of land identified as a Tract 4-2 of the W. W. Ford Survey, Abstract
76 No. 80 and a 2.41-acre portion of Tract 4-06 of the W.W. Ford Survey, Abstract 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0
77 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.
78

79 Planner Ross provided a brief summary in regards to the request. The applicant is requesting approval of a Zoning Change from a Single-Family
80 Estate 4.0 (SFE-4.0) District to a Single-Family Estate 1.5 (SFE-1.5) District. The original property owners wanted to combine the two (2) lots so they
81 rezoned from Agricultural (AG) District to Single-Family Estate 4.0 (SFE-4.0) District. However, the current applicant has decided to divide the two
82 (2) lots into three (3) thus triggering them to rezone the property to Single-Family Estate 1.5 (SFE-1.5) District. Before they rezoned, the applicant
83 needed to request a variance to allow a decrease in lot depth from 250 to 208 feet which was approved by the Board of Adjustments on July 13th. The
84 intended outcome for the applicant is to build two homes on the two proposed vacant lots. On July 21st, staff notified 11 property owners and
85 occupants within 500-feet of the subject property and also notified the Oaks of Buffalo Way HOA. At this time, staff has not received any notices in
86 regards to the applicant's request.
87

88 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.
89

90 John Young
91 Wills Point, TX
92

93 Mr. Young came forward and provided additional details in regards to the request.
94

95 Chairman Deckard asked if anyone else wished to speak; there being no one indicating such, Chairman Deckard closed the public hearing and
96 brought the item back to the Commission for discussion or action.
97

98 Vice-Chairman Womble asked if Staff had looked at how the applicants were going to have access to both lots.
99

100 Commissioner Llewelyn made a motion to approve Z2023-034. Commissioner Conway seconded the motion which passed by a vote of 5-0.
101

102 Chairman Deckard advised that this item will go before City Council on August 21, 2023.
103

104 **5. Z2023-035 (HENRY LEE)**

105 Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-
106 Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) amending Ordinance No. 22-52 [S-287] for a Golf Driving Range on an 7.955-acre tract of
107 land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120,
108 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the
109 terminus of Fit Sport Life Boulevard, and take any action necessary.
110

111 Planner Lee gave a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP) for the purpose of constructing
112 a Golf Driving Range. Originally this request had been approved but they are returning since changes were made to the concept plan and to what
113 they are requesting. The changes proposed are the following: (1) They changed the building materials to incorporate more secondary materials, (2)
114 They have increased the family green space (3) Added outdoor commercial amusement by adding a mini golf use (4) They reduced the number of
115 parking spaces (5) They added an event hall use. (6) They removed the indoor commercial amusement and (7) They removed the roof top garden.
116 The applicants are still requesting the variance for the height of the netting for the poles. They also asked for this the last time and it was approved;
117 however, they are not requesting any additional height just the same variance as last time. Staff mailed out notices on July 21, 2023, to property
118 owners and occupants within 500-feet of the subject property. At this time, staff has not received any notices in regard to the applicant's request.
119

120 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.
121

122 Commissioner Llewelyn asked how much they decreased parking spaces by.
123

124 Renee Ward
125 2201 E. Lamar Blvd
126 Suite 200
127 Arlington, TX 76006
128

129 Mrs. Ward came forward and provided additional details in regards to the request.
130

131 Commissioner Conway asked why the roof top garden was removed.
132

133 Chairman Deckard asked if anyone else wished to speak; there being no one indicating such, Chairman Deckard closed the public hearing and
134 brought the item back to the Commission for discussion or action.

135
136 Commissioner Llewelyn made a motion to approve Z2023-035. Vice-Chairman Womble seconded the motion which passed by a vote of 5-0.

137
138 Chairman Deckard advised that this item will go before City Council on August 21, 2023.

139
140 **6. Z2023-036 (BETHANY ROSS)**

141 Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a
142 Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall,
143 Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

144
145 Planner Ross gave a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP) for a Carport that does not
146 meet the minimum setback of 20-feet behind the front facade. The proposed carport is 124 square feet larger than what is allowed in the Single-
147 Family 7 (SF-7) District. For the purpose of comparing the proposed carport with other carports in the area, staff reviewed some within three (3)
148 blocks of the subject property. However, staff did not see any based-on aerials and street view. Based on the proposed size and location on this
149 carport, staff should point out that the structure will have high visibility on Heath Street. The approval of a SUP is discretionary for the City Council
150 pending a recommendation from the Planning and Zoning Commission. On July 21, 2023, staff mailed out 87 notices to property owners and
151 occupants within 500-feet of the subject property. Staff also notified the Carruth Lakes HOA. At this time staff had received two (2) notices in
152 opposition to the request.

153
154 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating
155 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.

156
157 Commissioner Thompson asked what the setback for the carport would be.

158
159 Vice-Chairman Womble asked if it is aligned with the current garage and if it complied.

160
161 Vice-Chairman Womble made a motion to approve Z2023-036 with staff recommendations. Commissioner Thompson seconded the motion which
162 passed by a vote of 4-1 with Commissioner Llewelyn dissenting.

163
164 Chairman Deckard advised that this item will go before City Council on August 21, 2023.

165
166 **7. Z2023-037 (ANGELICA GUEVARA)**

167 Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building
168 on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development
169 District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

170
171 Planning Technician Guevara provided a brief summary in regards to the request. The applicant is requesting an approval for a Specific Use Permit
172 (SUP) to allow the construction of an accessory structure that exceeds the overall maximum allowable square footage. Due to the subject property
173 being located within the Planned Development District 19 (PD-19), the square footage for the accessory building is limited to 100 square feet. The
174 applicant is requesting to construct a 10' x 12' or 120 square foot accessory building which will exceed the permitted size by 20 square feet. Staff
175 would like to point out that normally the permitted size for an accessory structure is 144 square Feet, which is 24 square feet over what the applicant
176 is requesting. With the exception of the size, the request meets all of the setback's requirements for an accessory structure within PD-19. In addition,
177 staff would like to add that this request will have limited visibility from the adjacent properties and the applicant will be replacing the existing structure
178 with one of the exact same size in the exact same location. With this being said, this is a discretionary decision for City Council pending a
179 recommendation from the Planning and Zoning Commission. On July 21, 2023, staff mailed 141 notices to property owners and occupants within
180 500-feet of the subject property. At this time, staff had not received any notices in regards to the applicant's request.

181
182 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating
183 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.

184
185 Vice-Chairman Womble made a motion to approve Z2023-037. Commissioner Conway seconded the motion which passed by a vote of 5-0.

186
187 Chairman Deckard advised that this item will go before City Council on August 21, 2023.

188
189 **VI. ACTION ITEMS**

190
191 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
192 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

193
194 **8. MIS2023-010 (HENRY LEE)**

195 Discuss and consider a request by Donald Steifler for the approval of a Miscellaneous Case for an Exception to the fence placement standards for 0.2392-acre
196 parcel of land identified as Lot 16, Block D, Preserve, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-
197 41) for Single-Family 10 (SF-10) District land uses, addressed as 404 Bedford Falls Lane, and take any action necessary.

198
199 Planner Lee provided a brief summary in regards to the request. The applicant is requesting approval of an exception for a fence placement. Their
200 lot is a keystone lot. Essentially their side yard is the same as the property behind them for the front yard; therefore, the Code says they cannot go

201 past the front building line which is 25-feet and they are requesting to go in to that 15-feet. This would keep them out of any right-of-way or any utility
202 easements which would facilitate the construction of a pool. Staff has found that there are four (4) other keystone lots in this subdivision that have
203 fences that also encroached into this front building line, therefore it would not appear to create a precedence and it would not affect the
204 characteristics of the neighborhood. That being said, this is a discretionary decision for the Planning and Zoning Commission.
205

206 Donald Steifler
207 404 Bedford Falls Lane
208 Rockwall, TX 75087
209

210 Mr. Steifler came forward and provided additional details in regards to the request.
211

212 Commissioner Conway asked if the current fence would be changing.
213

214 Commissioner Conway made a motion to approve MIS2023-010. Vice-Chairman Womble seconded the motion which passed by a vote of 5-0.
215

216 **9. SP2023-022 (BETHANY ROSS)**

217 Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a *Site Plan* for
218 a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County,
219 Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.
220

221 Planner Ross provided a brief summary in regards to the request. The property directly east of the subject property was recently rezoned to Light
222 Industrial (LI) District and the property east of that was approved for a similar use. The proposed site plan generally conforms to the requirements
223 of the General Industrial District standards. The applicant is requesting exceptions to the 20% stone requirements, 90% masonry requirement, the
224 primary and secondary building articulation requirements, and to the residential adjacency screening standards along the west adjacency due to the
225 Federal Aviation Administration restrictions on the property. The applicant has provided six (6) compensatory measures in the form of additional
226 landscaping, higher caliber trees for the three-tiered screening area, a bench on the west side of Building one along the detention pond, and canopy
227 trees on 40-foot centers along the south property line. Staff should point out that they are not providing the required amount of compensatory
228 measures. In this case, it would require 10 compensatory measures and not 6. The additional landscaping is nominal compared to the required
229 landscaping percentage. Staff also recommended that the applicant remove the loading docks on Buildings 6 and 7 or redesign the building layout
230 so the overhead doors are properly screened from John King Blvd. as the properties west of the building will not be developed since they are in the
231 FAA restricted area. Staff should note that the applicant chose not to incorporate this in their final submittal. This does not come up a lot but this
232 area is designated for Light Industrial (LI) uses such as this; however, the comp plan Design Standard Guidelines do call out this area and areas
233 adjacent to John King to be constructed of masonry materials, 20% stone, and be architecturally finished on all four sides. It also calls out the use of
234 high-quality materials and construction. Although this property is not within the John King Overlay District, it is highly visible from John King as
235 mentioned before. ARB reviewed this and the updated building elevations and recommended denial of the exceptions proposed by the applicant.
236 Requests and exceptions are discretionary decisions for the Planning and Zoning Commission.
237

238 Vice-Chairman Womble asked if these elevations were different to the ones that were presented earlier in ARB.
239

240 Jeff Carroll
241 750 Interstate 30
242 Rockwall, TX 75087
243

244 Mr. Carroll came forward and provided additional details in regard to the request.
245

246 Roy Bhavi
247 835 Tillman Drive
248 Allen, TX 75013
249

250 Mr. Bhavi came forward and provided additional details in regard to the request.
251

252 After some discussion, Commissioner Conway made a motion to deny SP2023-022 without prejudice. Chairman Deckard seconded the motion to
253 deny without prejudice which passed by a vote of 5-0.
254

255 **10. SP2023-024 (HENRY LEE)**

256 Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a *Site Plan* for an *office building* on a 1.50-acre tract of land
257 identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District,
258 addressed as 955 Sids Road, and take any action necessary.
259

260 Planner Lee provided a brief summary in regards to the request. The applicant is requesting a site plan for an office building on the subject property.
261 They are removing the existing building in the front to replace it with a new office building. The only variances they are requesting are for the primary
262 and secondary articulation for the wall length requirement. ARB had requested for them to wrap the wainscot from the front side onto the two sides
263 and leave the back as it was. Staff would like to add that ARB did recommend approval of the site plan. The request meets all the General Commercial
264 District Standards for density and dimensional requirements.
265

266 Vice-Chairman Womble made a motion to approve SP2023-024. Commissioner Llewelyn seconded the motion which passed by a vote 5-0.
267

268 VII. DISCUSSION ITEMS

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11. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2023-022: Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition (**APPROVED**)
- Z2023-031: Specific Use Permit (SUP) for *Residential Infill* at 709 Forest Trace (**APPROVED; 1ST READING**)
- Z2023-032: Specific Use Permit (SUP) for an Existing *New and Used Motor Vehicle Dealership* at 1540 E. IH-30 (**APPROVED; 1ST READING**)

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

ADJOURNMENT

Chairman Deckard adjourned the meeting at 7:08 PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2023.

Derek Deckard, Chairman

Attest:

Melanie Zavala, Planning Coordinator

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS AUGUST 29, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC*
4 *USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

5
6 **I. CALL TO ORDER**

7
8 **Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were Vice-Chairman John Womble, Brian Llewelyn, Kyle Thompson,**
9 **Jay Odom, Ross Hustings, and Jean Conway. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee,**
10 **Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams and Assistant City Engineer Jonathan**
11 **Browning.**

12
13 **II. APPOINTMENTS**

14
15 **1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for**
16 **items on the agenda requiring architectural review.**

17
18 **III. OPEN FORUM**

19
20 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*
21 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*
22 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*
23 *Act.*

24
25 **Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being**
26 **no one indicating such, Chairman Deckard closed the open forum.**

27
28 **IV. CONSENT AGENDA**

29
30 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*
31 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

32
33 **2. P2023-023 (HENRY LEE)**

34 Consider a request by Rachel Reynolds for the approval of a Final Plat for Lot 1, Block A, Right at Home Healthcare Addition being a 0.23-acre tract of land
35 identified as Lot 30, Block 22 Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office
36 (RO) District, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 703 N. Goliad Street, and take any action necessary.

37
38 **3. P2023-024 (ANGELICA GUEVARA)**

39 Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Howard Barrett for the approval of a Final Plat for Lots 1 & 2, Block A, Barrett
40 Heights Addition being a 1.60-acre tract of land identified as Lots 1 & 2 of the Green Valley Addition and Tract 32 of the H. B. Jones Survey, Abstract No. 124,
41 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205
42 Overlay (N. SH-205 OV) District, addressed as 1203 & 1205 S. Goliad Street [SH-205].

43
44 **4. P2023-025 (ANGELICA GUEVARA)**

45 Consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Replat
46 for Lot 2, Block A, Heritage Christian Academy Addition being a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City
47 of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S.
48 Goliad Street, and take any action necessary.

49
50 **5. P2023-026 (ANGELICA GUEVARA)**

51 Consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Replat for Lot 3, Block
52 A, Heritage Christian Academy, Phase 2 Addition being a 6.626-acre parcel of land identified as Lot 2, Block A, Heritage Christian Academy, Phase 2 Addition,
53 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 27 (PD-27) for Multi-Family 15 (MF-15) District land uses, located west of the
54 intersection of Damascus Road and S. Goliad Street [SH-205], and take any action necessary.

55
56 **6. P2023-027 (ANGELICA GUEVARA)**

57 Consider a request by Ariana Kistner of Meals on Wheels Senior Services of Rockwall and Christopher Touoboun for the approval of a Final Plat for Lots 1 & 2,
58 Block A, Airport South Addition being a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of
59 Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and
60 take any action necessary.

61
62 **7. P2023-028 (ANGELICA GUEVARA)**

63 Consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of Avaplast US, Inc. for the approval of a Replat for Lot
64 3, Block 1, Indalloy Addition being a 42.991-acre tract of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light
65 Industrial (LI) District, addressed as 11480 Justin Road, and take any action necessary.

66
67 **Commissioner Conway made a motion to approve Consent Agenda. Commissioner Llewelyn seconded the motion which passed by a vote of 7-0.**

68
69 V. ACTION ITEMS

70
71 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
72 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
73

74 8. **MIS2023-011 (ANGELICA GUEVARA)**

75 Discuss and consider a request by Audrey Andrews for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 0.1446-acre parcel of
76 land identified as Lot 6, Block D, Lynden Park Estates, Phase 2 Addition, zoned Planned Development District 17 (PD-17) for single-family detached, addressed
77 as 146 Blanchard Drive, and take any action necessary.

78
79 **Planning Technician Guevara provided a brief summary in regards to the request. The applicant is requesting approval of an exception for a front yard**
80 **fence. The proposed front yard fence will be constructed using wrought iron, it'll be 60 inches in height and it will be more than 50% transparent. In this**
81 **case, the applicant's request of a five-foot wrought iron fence with a gate meets the majority of the guidelines except for the height requirement. The**
82 **Unified Development Codes (UDC) states that front yard fences shall not exceed four (4) feet or 48 inches in height. While the proposed fence does not**
83 **appear to have a negative effect on the surrounding properties, it could set a precedence in the neighborhood if approved. Staff should note that there**
84 **is one (1) other property in the same subdivision with a wrought iron front yard fence; however, that fence appears to be four (4) feet tall meeting the**
85 **height requirements. With that being said, this is a discretionary decision for the Planning and Zoning Commission.**

86
87 **Chairman Deckard asked where they are proposing the front yard fence to go.**

88
89 **Vice-Chairman Womble asked why they are requesting the additional height.**

90
91 **Commissioner Llewelyn made a motion to deny MIS2023-011. Vice-Chairman Womble seconded the motion to deny which passed by a vote of 7-0.**
92

93 9. **MIS2023-012 (ANGELICA GUEVARA)**

94 Discuss and consider a request by Gerzim Daniel for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 1.93-acre parcel of land
95 identified as Tract 17 of E. M. Elliot Survey, Abstract No. 77 and Lot 2, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family
96 1 (SF-1) District, addressed as 2065 & 2067 Airport Road, and take any action necessary.

97
98 **Planning Technician Guevara provided a brief summary in regards to the request. The applicant is requesting an approval of an exception for a front**
99 **yard fence with the proposed fence being: (1) constructed using wrought iron, (2) being 72 inches in height, and (3) being 50% transparent. In addition,**
100 **the applicant is also proposing to construct two (2), 6-foot stone columns; two (2), 7-foot stone columns and; and an 8-foot swing gate as part of the**
101 **request. In this case, the fence does not meet the requirements for a front yard fence but staff would like to note that there is an existing wrought iron**
102 **fence surrounding the adjacent properties which make up the Ridgcrest subdivision. While the stone columns do not follow the 50% transparency**
103 **requirement, the remainder of the proposed fence does not appear to be intended to impair visibility of the primary structure. Based on this, this**
104 **request does not seem to have a negative impact on the adjacent properties; however this is also a discretionary decision for the Planning and Zoning**
105 **Commission.**

106
107 **Vice-Chairman Womble asked if there are other fences in the area with this height.**

108
109 **Gerzim Daniel**
110 **2067 Airport Rd**
111 **Rockwall, TX 75087**

112
113 **Mr. Daniel came forward and provided additional details in regard to the request.**

114
115 **Commissioner Hustings asked if the adjacent property had a 6-foot height fence as well.**

116
117 **Commissioner Llewelyn made a motion to approve MIS2023-012. Commissioner Conway seconded the motion which passed by a vote of 7-0.**
118

119 VI. DISCUSSION ITEMS

120
121 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
122 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are*
123 *considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*
124 *following cases is September 12, 2023.*
125

126 10. **Z2023-038 (RYAN MILLER)**

127 Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 3
128 (PD-3) [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23] for the purpose of consolidating the regulating ordinances for a
129 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna

Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west of SH-205 [S. Goliad Street], and north of Lake Forest Drive, and take any action necessary.

Director of Planning & Zoning Ryan Miller provided a brief summary in regards to the request. This item was brought forward to the City Council back in June proposing to amend older Planned Development Districts to write a consolidating ordinance. The reason behind this is because many of these older Planned Development Districts are made up of multiple ordinances. In the Chandlers Landing subdivision, there were about 200 pages of regulations that were consolidated to 60 pages and made easy to read. The reason this is important is because when issuing permits in these older residential areas, sometimes it can be hard to look through the existing Planned Development District and know exactly what the requirements are for both the property owner's and developer's stand point. Staff started with the Chandlers Landing subdivision, which was recently approved, and went ahead and started with Planned Development District 3 (PD-3) which regulates The Shores ordinance. This ordinance was originally adopted in 1972 and consists of 116 pages and 11 regulating ordinances. Mr. Miller added that there are about 85 development cases associated with this. He added that if you don't understand the timing of each of the development cases and how they correspond to the ordinance then it can be difficult to know exactly what the requirements are for a certain piece of property. Another issue that was found in the Planned Development District was that the concept plans that were approved and used to build the subdivision did not align to some of the ordinances that were in the actual zoning ordinance. The City initiated zoning to try and do much of what we were doing in 1996, except they did not supersede the previous ordinances. They tried to clarify portions of the existing ordinances, and in the 1996 ordinance they provided a hand drawing that does not line up with the street network that was approved. With this ordinance, staff wanted to clean up those northern areas that were developed because those areas are not changing. Therefore, we re-wrote the ordinance, which is about 20 pages long, and the goal for this is not to change any of the land uses or development requirements associated with the Planned Development District. This is simply to make the document easier to read to make the City more efficient and make it easier for the citizens to understand their zoning.

Chairman Deckard advised that this item will come back for before the Commission for discussion or action on September 12, 2023.

11. Z2023-039 (RYAN MILLER)

Hold a public hearing to discuss and consider approval of a Text Amendment to Subsection 06.16, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of creating a process to allow Homeowner's Associations (HOA's) the ability to lease certain portions of the takeline, and take any action necessary.

Director of Planning & Zoning Ryan Miller provided a brief summary in regards to the request. Three years ago, staff started the process of reviewing the standards for the Lake Ray Hubbard takeline. As part of that staff revamped the Takeline Overlay ordinance to start to incentivize the provision of erosion control. Staff also wanted to clarify some of the lease process, reduce the leasing fees and offer a free lease program where we send out updated leases to all properties along the takeline to allow them to either re-lease or enter into a new lease at no cost. The reason for this was that some changes were made into the lease agreements to codify the changes that were made. While doing this, staff wanted to open up the land uses that were allowed to give more benefit to people that were leasing those areas. Also, staff wanted to incentivize the provision of erosion control due to some areas around the lake experiencing immense erosion. One of the programs they were looking into at the time were taking some of the non-leasable areas and allowing Homeowners Associations to lease those. Ultimately, this was not done because the amount of work that was put into getting the residential side put in place, but they recently completed that and brought it into the City Council to ask if they were still interested in this because they had heard from several residents that erosion has still been an issue in these non-leasable areas. Staff put together a program that they are bringing forward to City Council that would allow certain Homeowners Associations the ability to actually lease the non-leasable portions. The reason these are non-leasable is because the lots adjacent to the portions of the lake are too small to lease based on the terms of the current Takeline Lease ordinance. Typically, that's less than 50-feet in lot width, but they wanted to give the option to the HOA's to lease it and give them the ability to provide amenities in those areas for their greater community. The way this ordinance was structured was that it gives HOA's the ability to establish activity areas at a 200-foot spacing distance. The activity areas can be 50 feet by 50 feet and on either side of the activity area they have to install a 100 foot of seawall. This gives the City the erosion control to prevent that coast line from further eroding. The way this is structured is they would need to go ahead and do a site plan and it would need to go to the Planning and Zoning Commission. Once the site plan is approved it would need to be incorporated into the lease agreement itself. Staff should note that the leasing fees will still stay the same. Staff allowed some water amenities like fixed piers and dock decks but prohibited boat docks. The reason for this was at the 200-foot spacing they would not have enough boat docks to cover everyone in the HOA and there is a specific part of the sub lease agreement with the City of Dallas that can not allow an entity to further their sub lease.

Commissioner Llewelyn asked if the HOA leases it then would they have to put the seawall in.

Chairman Deckard advised that this item will come back for before the Commission for discussion or action on September 12, 2023.

12. Z2023-040 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

Planning Technician Guevara provided a brief summary in regards to the request. The applicant is requesting an approval of a Specific Use Permit (SUP) for a Residential Infill to construct a single-family home. The proposed home meets all of the density and dimensional requirements for a home in an Agricultural (AG) District with the exception of the front setback requirement. They are showing a 15-foot front setback where it should be a 40-foot front setback for a property in Agricultural (AG) District. The applicants are making corrections that will be brought back on September 12, 2023.

Chairman Deckard advised that this item will come back for before the Commission for discussion or action on September 12, 2023.

13. Z2023-041 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a

66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicants are changing the zoning to facilitate the conveyance of the property. They are zoning it for Commercial (C) purposes which is in conformance with the Comprehensive Plan.

Anthony Loeffel
400 N. Oklahoma, Suite 105
Celina, TX 75009

Mr. Loeffel came forward and provided additional details in regards to the request.

Chairman Deckard advised that this item will come back for before the Commission for discussion or action on September 12, 2023.

14. Z2023-042 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

Planner Lee provided a brief summary in regards to the request. The applicant is requesting approval of a Specific Use Permit (SUP) for a drive-thru restaurant that appears to meet the Conditional Land Use standards. The only thing staff added as a potential condition for the ordinance was that they add additional landscaping along the northern property line to provide additional screening for the residential properties in the area.

Juan Vasquez
1919 S. Shiloh Rd,
Garland, TX 75042

Mr. Vasquez came forward and provided additional details in regards to the request.

Director of Planning and Zoning Ryan Miller asked if they would be able to provide a row of trees along the back side to meet the Overlay requirements.

Director of Planning and Zoning Ryan Miller asked when the residential adjacency for the area adjacent to the detention pond would be provided.

Director of Planning and Zoning Ryan Miller asked if they would be able to provide the three-tiered landscaping that is required in that 20-foot sanitary sewer easement.

Director of Planning and Zoning Ryan Miller asked if they would be willing to add additional landscaping until the screening is provided on the north side.

City Engineer Amy Williams mentioned that there are new standards that came into play in October. The sewer lines have to be 10-feet on either side of the lines and 10-feet from any water or sewer lines.

Chairman Deckard advised that this item will come back for before the Commission for discussion or action on September 12, 2023.

15. Z2023-043 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

Planner Lee provided additional details in regards to the request. The applicant is requesting a Specific Use Permit (SUP) for a Residential Infill. The request meets all the density and dimensional requirements with the exception of the driveway. It is two feet in front of the front facade instead of 20-feet behind but this is complementary of the subdivision.

Chairman Deckard advised that this item will come back before the Commission for discussion or action on September 12, 2023.

16. SP2023-025 (HENRY LEE)

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

Planner Lee provided a brief summary in regard to the request. The site plan is for a classroom building at the rear of the property and they are building this to replace the portables that are currently there. ARB looked at this project and they did recommend approval of this case.

Jimmy Strohmeyer
2701 Sunset Ridge, Suite 601

266 Rockwall, TX 75032

267

268 Mr. Strohmeyer came forward and provided additional details I regards to the request.

269

270 Chairman Deckard advised that this item will come back before the Commission for discussion or action on September 12, 2023.

271

272 17. SP2023-026 (HENRY LEE)

273 Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an *Amended Site*
274 *Plan* for a *Restaurant* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned
275 Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of
276 Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

277

278 Planner Lee provided a brief summary in regard to the request. The amended site plan is for a patio that they added on and want to enclose. The
279 applicants are also adding a roof and some roll down shades. ARB looked at this project and they recommended approval of this.

280

281 James Faller
282 400 Elm Street
283 Dallas, TX 75226

284

285 Mr. Faller came forward and provided additional details in regards to the request.

286

287 Chairman Deckard advised that this item will come back before the Commission for discussion or action on September 12, 2023.

288

289 18. SP2023-027 (HENRY LEE)

290 Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an *Amended Site Plan* for two (2) multi-family
291 apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned
292 Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take
293 any action necessary.

294

295 Planner Lee provided a brief summary in regard to the request. He explained that there are two condominium buildings under construction and the
296 applicant wanted to change the stairwells. It was a half moon, circular stair well that was changed to a more traditional step down stairwell. They are
297 also adding an amenity area just north of the building that are under construction. The request meets all the requirements and ARB made the
298 recommendation of approval for this project.

299

300 Chairman Deckard advised that this item will come back before the Commission for discussion or action on September 12, 2023.

301

302 19. SP2023-028 (RYAN MILLER)

303 Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a *Site Plan* for
304 a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County,
305 Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

306

307 Director Planning and Zoning Ryan Miller provided a brief summary in regards to the request. At the last meeting, the applicant's case was denied
308 without prejudice. The Planning and Zoning Commission indicated that they did not feel that this was quite ready to be approved yet and they were
309 not 100% comfortable with the variances. The applicant has now resubmitted and made some changes to his request.

310

311 Jeff Carroll
312 750 E. Interstate 30
313 Rockwall, TX 75087

314

315 Mr. Carroll came forward and provided additional details in regards to the request.

316

317 After some discussion, Chairman Deckard advised that this item will come back before the Commission for discussion or action on September 12,
318 2023.

319

320 20. SP2023-029 (HENRY LEE)

321 Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an *Amended Site Plan* for two (2) *Restaurant/Retail Buildings* on
322 an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned
323 Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally
324 located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

325

326 Planner Lee provided details in regards to the request. The applicant is requesting approval of an amended site plan. The proposed building got a
327 little larger as they were both originally 10,000 SF. Also, Building C is roughly 10,250 SF and Building B is roughly 12,250 SF. Mr. Lee added that the
328 elevations have changed but they are still requesting the same variances they did for the first time to the building.

329

330 Drew Donosky
331 1903 Central Drive, Suite 406
332 Bedford, TX 76021

333

334 Mr. Donosky came forward and provided additional details in regard to the request.

335

336 Chairman Deckard advised that this item will come back before the Commission for discussion or action on September 12, 2023.

337

338 21. **SP2023-030 (HENRY LEE)**

339 Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site
340 Plan for the expansion of an existing *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall
341 Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed
342 as 1540 E. IH-30, and take any action necessary.

343

344 Planner Lee provided a brief summary in regards to the request. The applicants recently got their new amended SUP approved and they are adding
345 the larger service building and a car wash. They are now needing to go through the process of getting their site plan approved. ARB looked at this
346 project and had minor comments for the applicant such as requesting a material sample board. The applicants still have the same variances they had
347 during the first site plan process.

348

349 Chairman Deckard advised that this item will come back before the Commission for discussion or action on September 12, 2023.

350

351 22. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

352

- 353 • Z2023-033: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 803 Dalton Road (1ST READING; APPROVED)
- 354 • Z2023-034: Zoning Change from Single-Family Estates 4.0 (SFE-4.0) to a Single-Family Estate 1.5 (SFE-1.5) District for 626 Cullins Road (1ST
355 READING; APPROVED)
- 356 • Z2023-035: Specific Use Permit (SUP) for a *Golf Driving Range* for Texas Wedge (1ST READING; APPROVED)
- 357 • Z2023-036: Specific Use Permit (SUP) for a *Carport* for 820 E. Heath Street (1ST READING; APPROVED)
- 358 • Z2023-037: Specific Use Permit (SUP) for an *Accessory Building* at 1796 Mystic Street (1ST READING; APPROVED)

359

360 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

361

362 VII. ADJOURNMENT

363

364 Chairman Deckard adjourned the meeting at 6:50 PM.

365

366 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
367 _____, 2023.

368

369

370

371

372

373

Derek Deckard, Chairman

Attest:

Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 12, 2023
APPLICANT: Erica Papan; *Milkshake Concepts*
CASE NUMBER: SP2023-026; *Amended Site Plan for 2620 Sunset Ridge Drive*

On September 10, 2019 the Planning and Zoning Commission approved a site plan [Case No. SP2019-033] to allow the construction of a strip retail center and restaurant. In the original site plan case, the restaurant did not include an enclosed patio; however, during the civil engineering review process the applicant added an unlabeled open-air patio on the civil plans. This was subsequently included with the building permit and was constructed. The applicant is now returning to the Planning and Zoning Commission with an amended site plan requesting to enclose the patio.

Based on the provided building elevations and site plan, the proposed enclosed patio generally meets the density and dimensional requirements for building located within Planned Development District 32 (PD-32), with the exception of the parking. As part of the original site plan case [Case No. SP2019-033] the applicant was required 199 parking spaces; however, an exception was approved to allow 161 parking spaces because of the proximity to the existing public parking garage and the on-street parking provided as part of this Planned Development District. With this being said, the applicant's request increases the parking exception by 27 parking spaces to account for the additional capacity added by enclosing the patio. This brings the total parking requirement to 226 parking spaces. The applicant has not indicated any additional parking will be provided; however, a parking analysis was provided indicating that at one time no more than 137 parking spaces will be needed. That being said, the applicant this is an exception to the parking requirements to allow 161 parking spaces. In addition, staff should point out that the existing public parking garage at Trend Tower has more than enough capacity to support the variance; however, the exception is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the September 12, 2023 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2620 Sunset Ridge Drive, Rockwall, TX 75032

SUBDIVISION Harbor District Addition

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Retail

PROPOSED ZONING

PROPOSED USE Retail

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Milkshake Concepts

APPLICANT Milkshake Concepts

CONTACT PERSON James Faller

CONTACT PERSON Erica Papan

ADDRESS 4000 Elm Street

ADDRESS 4000 Elm Street

CITY, STATE & ZIP Dallas, TX 75226

CITY, STATE & ZIP Dallas, TX 75226

PHONE 214-280-0008

PHONE 708-860-7405

E-MAIL jfaller72@gmail.com

E-MAIL epapan@milkshakeconcepts.com

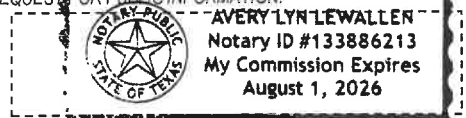
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Faller [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF August 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023.

OWNER'S SIGNATURE



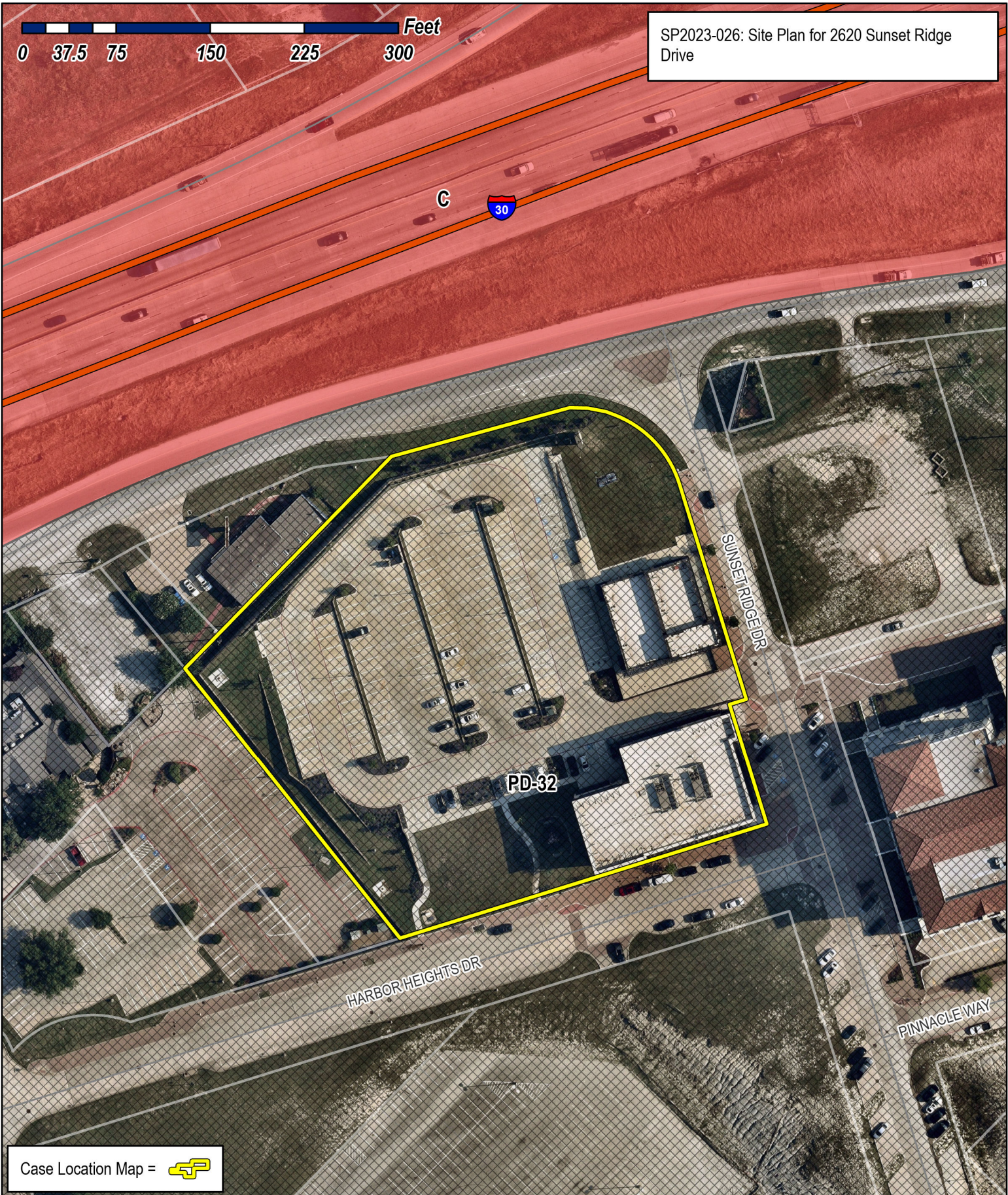
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

August 1, 2026



SP2023-026: Site Plan for 2620 Sunset Ridge Drive



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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DESIGN CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-356-4949

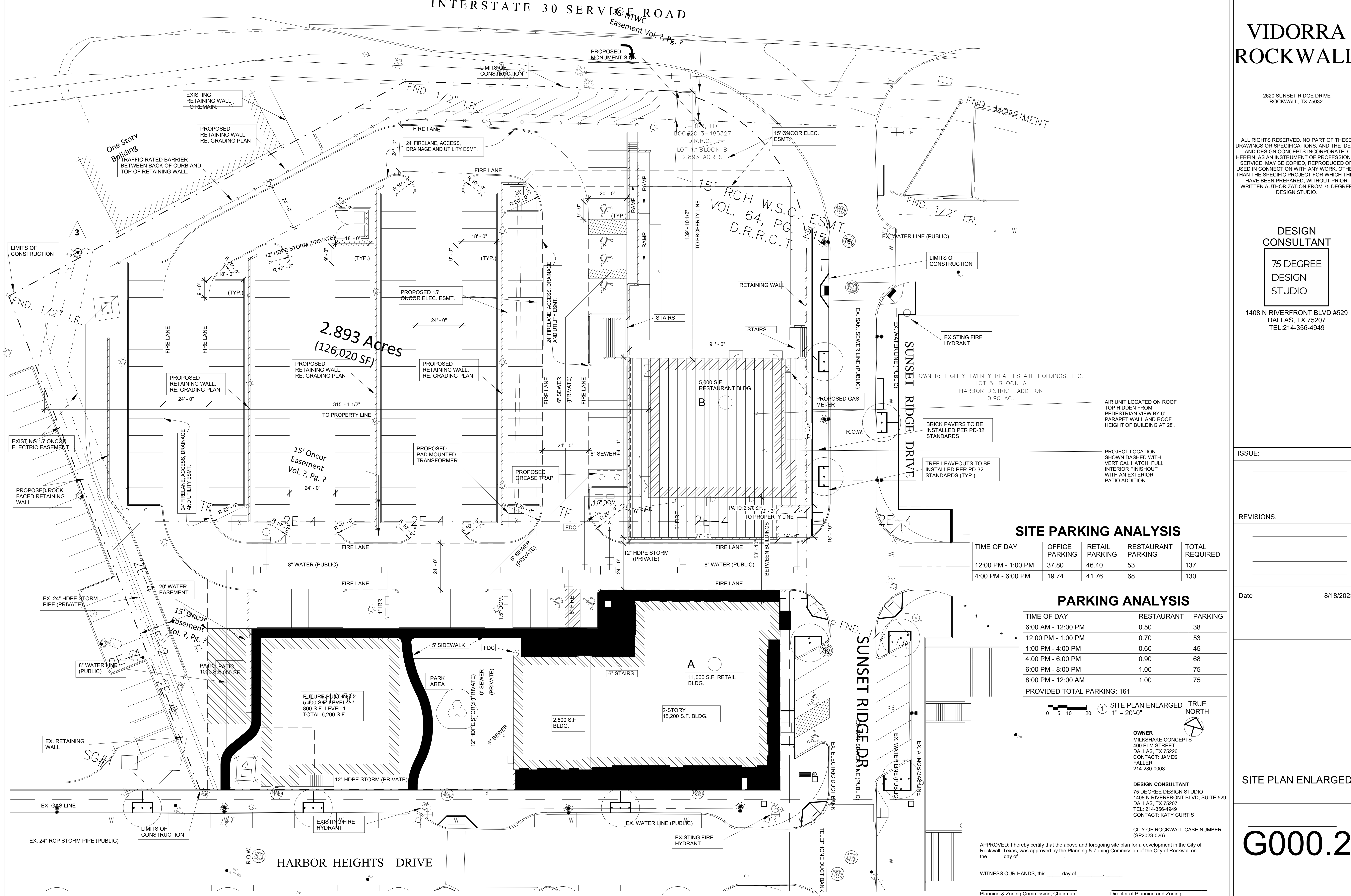
ISSUE:

REVISIONS:

Date 8/18/2023

SITE PLAN ENLARGED

G000.2



SITE PARKING ANALYSIS

| TIME OF DAY | OFFICE PARKING | RETAIL PARKING | RESTAURANT PARKING | TOTAL REQUIRED |
|--------------------|----------------|----------------|--------------------|----------------|
| 12:00 PM - 1:00 PM | 37.80 | 46.40 | 53 | 137 |
| 4:00 PM - 6:00 PM | 19.74 | 41.76 | 68 | 130 |

PARKING ANALYSIS

| TIME OF DAY | RESTAURANT | PARKING |
|--------------------|------------|---------|
| 6:00 AM - 12:00 PM | 0.50 | 38 |
| 12:00 PM - 1:00 PM | 0.70 | 53 |
| 1:00 PM - 4:00 PM | 0.60 | 45 |
| 4:00 PM - 6:00 PM | 0.90 | 68 |
| 6:00 PM - 8:00 PM | 1.00 | 75 |
| 8:00 PM - 12:00 AM | 1.00 | 75 |

PROVIDED TOTAL PARKING: 161

0 5 10 20
1 SITE PLAN ENLARGED
1" = 20'-0" TRUE NORTH

OWNER
MILKSHAKE CONCEPTS
400 ELM STREET
DALLAS, TX 75226
CONTACT: JAMES FALLER
214-280-0008

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DALLAS, TX 75207
TEL: 214-356-4949
CONTACT: KATY CURTIS

CITY OF ROCKWALL CASE NUMBER
(SP2023-026)

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

VIDORRA ROCKWALL

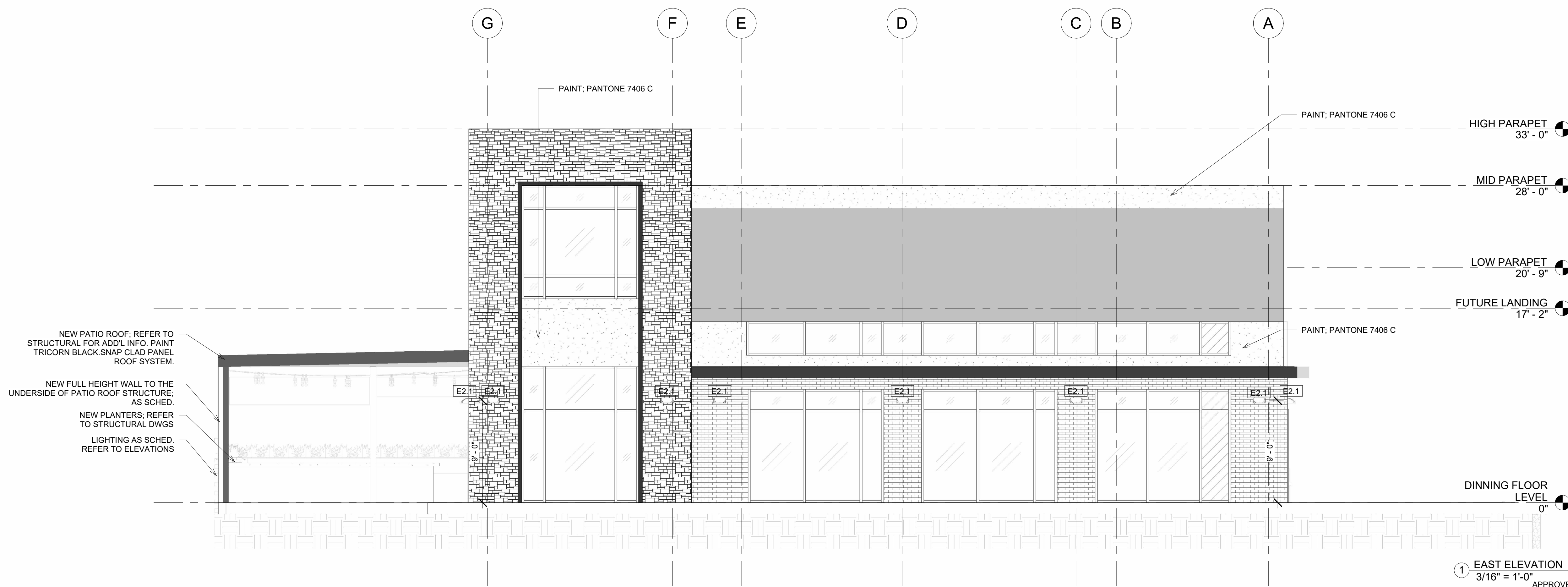
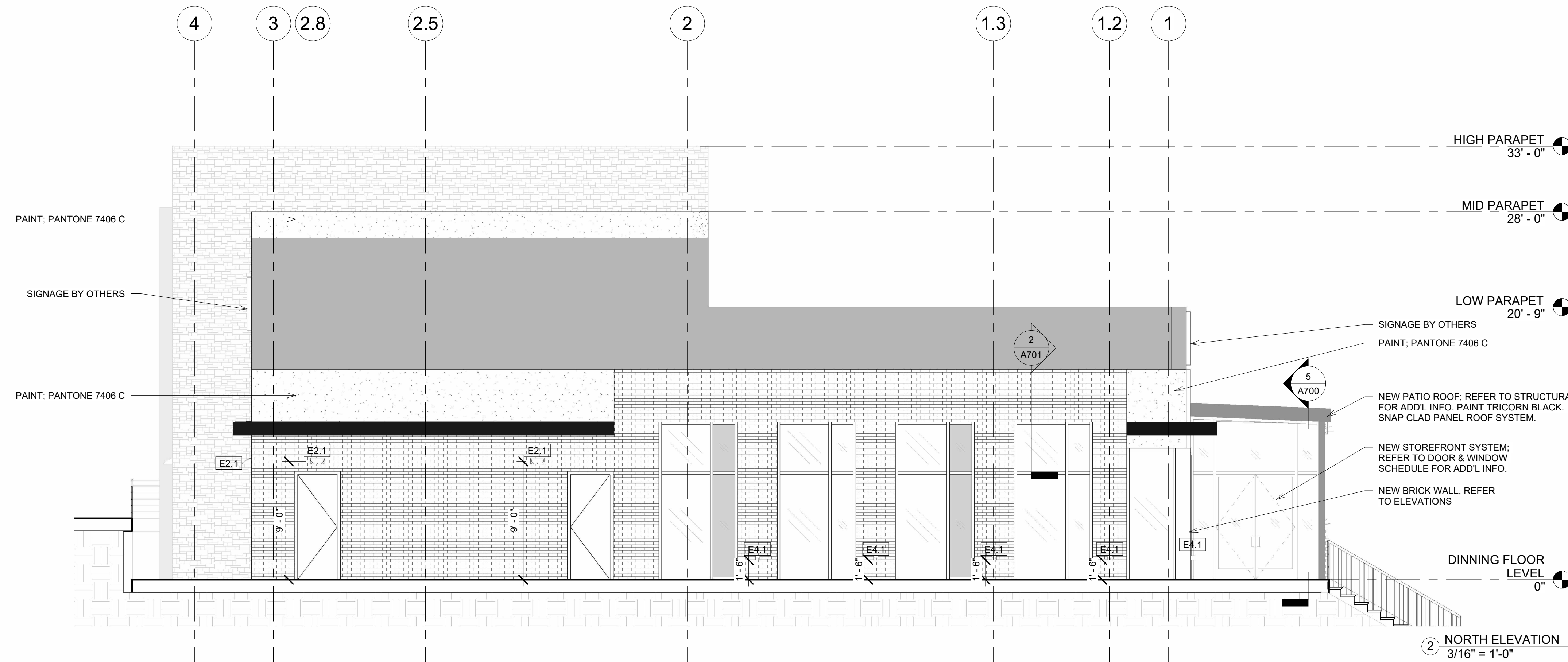
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(SP2023-026)

① EAST ELEVATION
3/16" = 1'-0"

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WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

ISSUE:

REVISIONS:

Date 8/18/2023

EXTERIOR ELEVATIONS

A200

VIDORRA ROCKWALL

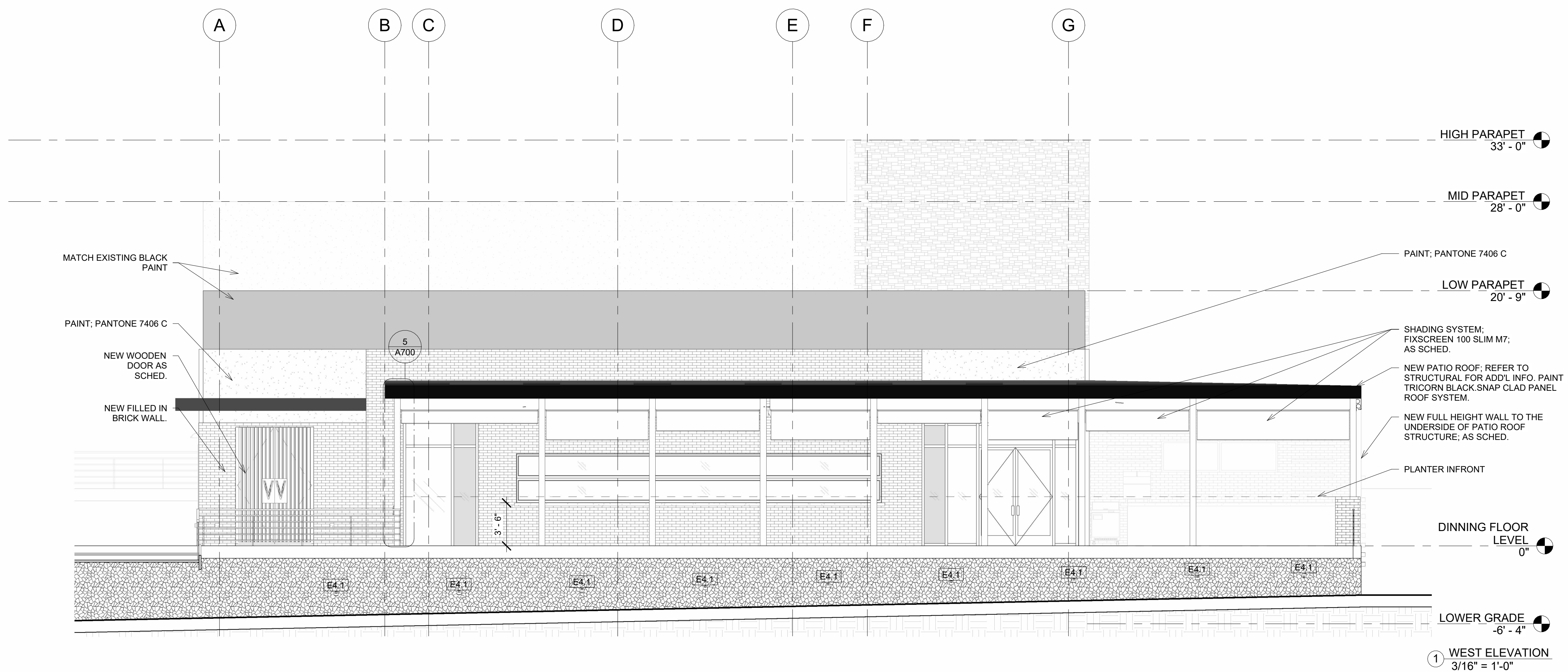
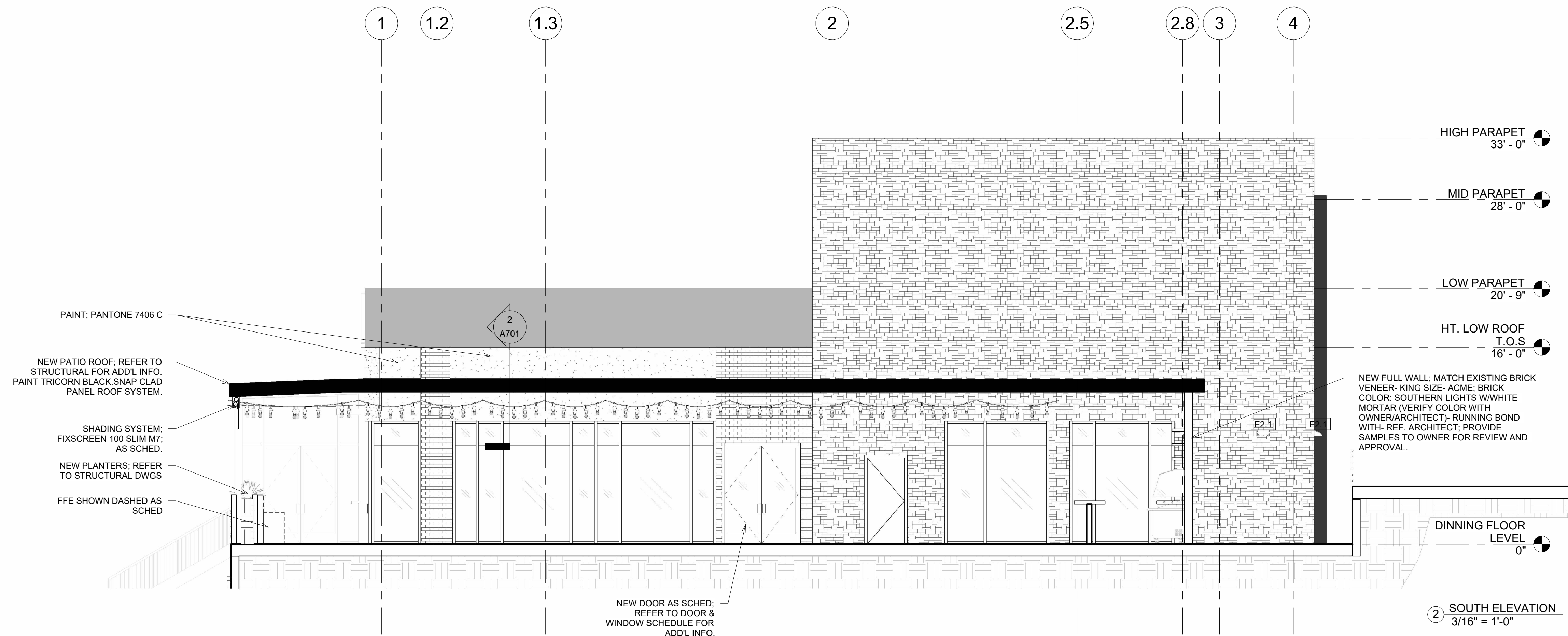
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CITY OF ROCKWALL CASE NUMBER
(SP2023-026)

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WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ISSUE:

REVISIONS:

Date 8/18/2023

EXTERIOR ELEVATIONS

A201

VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
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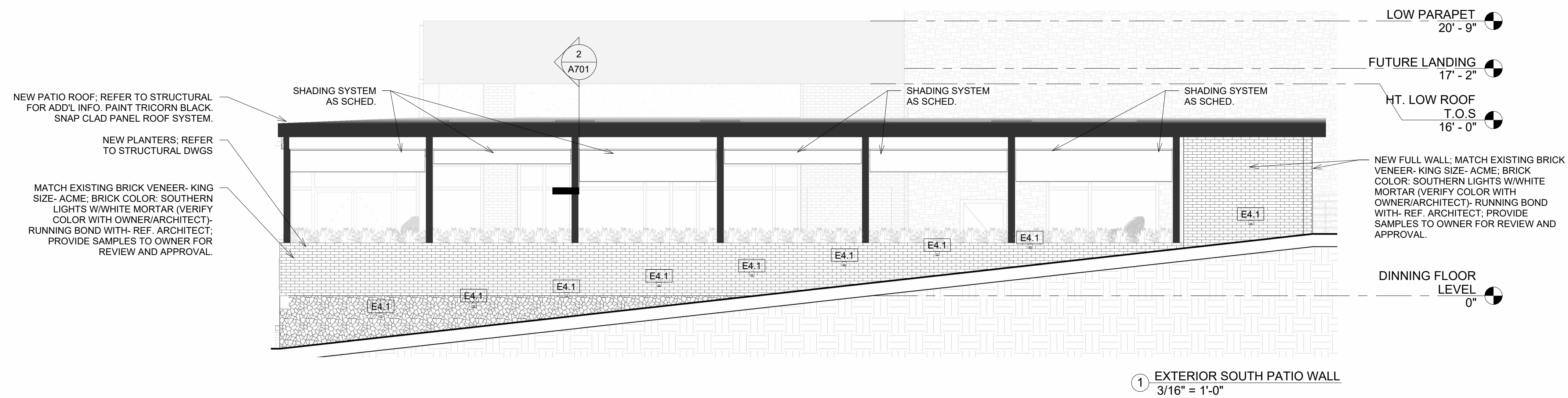
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WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EXTERIOR
ELEVATIONS

A202

EXISTING



PROPOSED



VIDORRA ROCKWALL

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ROCKWALL, TX 75032

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CITY OF ROCKWALL CASE NUMBER
(SP2023-026)

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WITNESS OUR HANDS, this ____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EXISTING AND
PROPOSED

G000.3

VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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DALLAS, TX 75207
TEL: 214-356-4949

GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFIS, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F. EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES. ADA REACH RANGE 15" MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS, CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

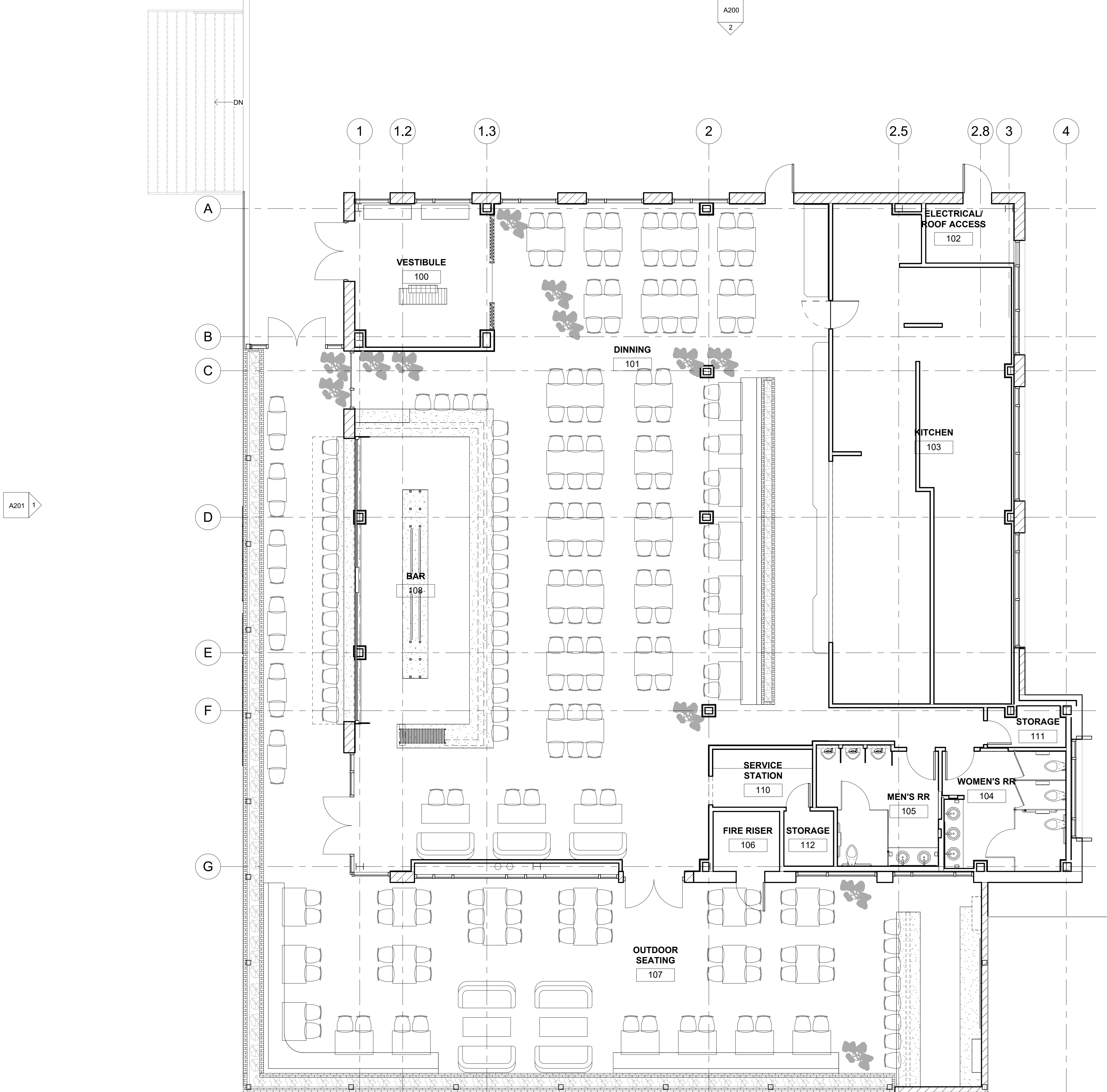
ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR, BUT NOT LIMITED TO, DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.



A201 1

A200 2

A200 1

A202 1
A201 2

1 FURNITURE PLAN
3/16" = 1'-0"



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ISSUE:

REVISIONS:

Date 8/18/2023

FURNITURE FLOOR PLAN

ID100

VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

ALL RIGHTS RESERVED. NO PART OF THESE DRAWINGS OR SPECIFICATIONS, AND THE IDEAS AND DESIGN CONCEPTS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, MAY BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK, OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM 75 DEGREE DESIGN STUDIO.

DESIGN CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-356-4949

GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFIS, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F., EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES. ADA REACH RANGE: 15" MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS, CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR, BUT NOT LIMITED TO: DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

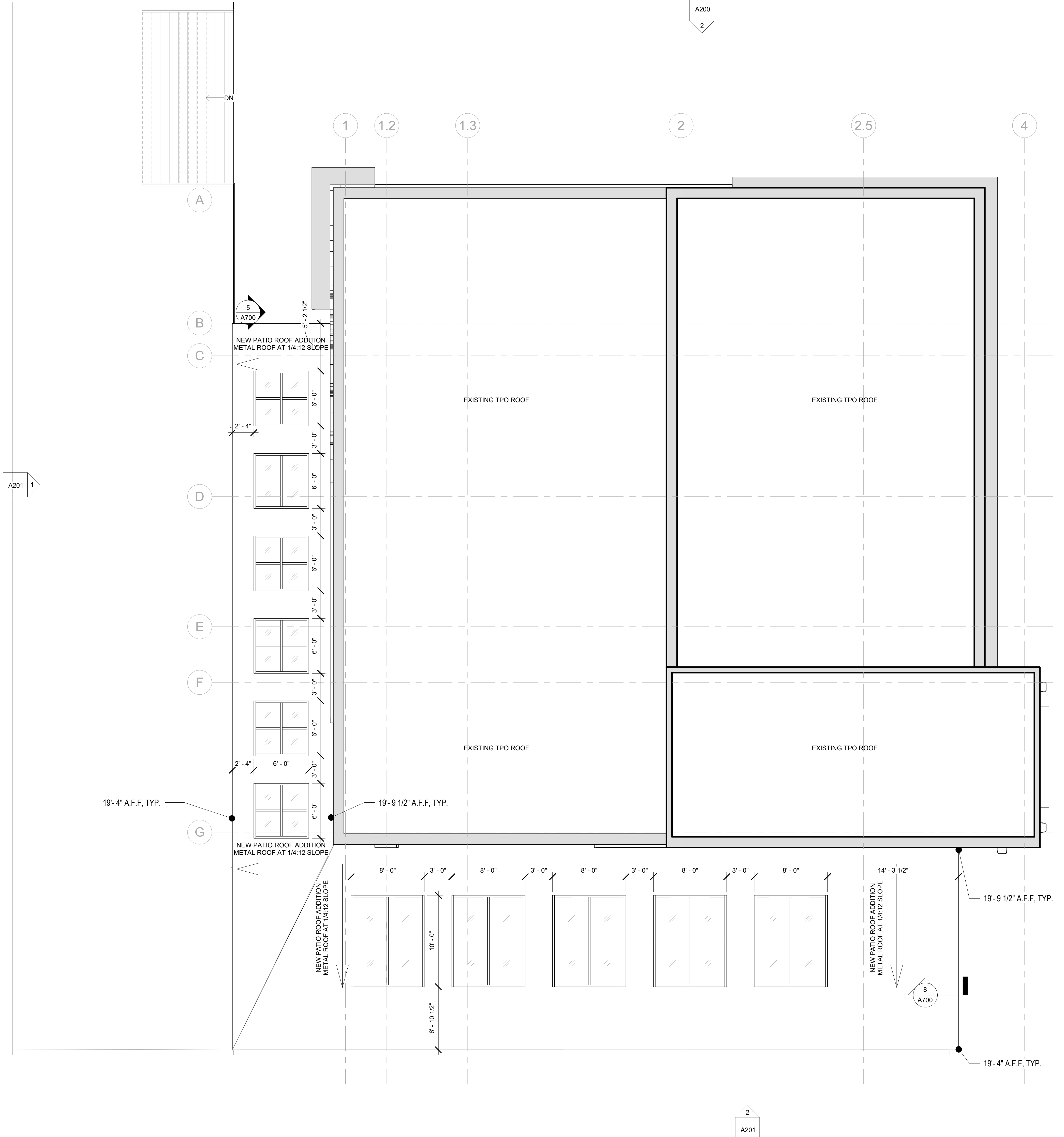
ISSUE:

REVISIONS:

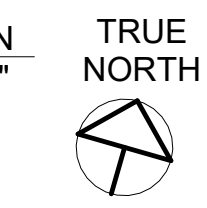
Date 8/18/2023

ROOF PLAN

A101



1 ROOF PLAN
3/16" = 1'-0"



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

A200
2

A201
1

A200
1

A700
8

A201
2



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 12, 2023
APPLICANT: Daniyal M. Awam; *Plutus21 Development Fund 5, LLC*
CASE NUMBER: SP2023-027; *Amended Site Plan for 2000-2038 Portofino Circle*

On May 4, 2019, staff administratively approved a site plan [Case No. SP2019-049] to allow the construction of two (2) condominium buildings that were never constructed as part of an expired site plan [Case No. PZ2000-120]. As part of the approved building elevations, there were curved stairways that allowed access to the different floors of the buildings. The applicant has since revised the stairways prompting them to resubmit for an amended site plan. Based on the proposed building elevations provided by the applicant, the stairwell will now step down in a square fashion, which is more typical of garden style condominiums or apartments. In addition to the changes to the building elevations, the applicant is proposing a landscaped amenity area on the northside of the subject property. In reviewing this request, staff has determined that the proposed amended site plan meets all of the density and dimensional requirements outlined within the Unified Development Code (UDC) and Planned Development District 22 (PD-22). On August 29, 2023, the Architectural Review Board (ARB) reviewed the proposed changes to the approved building elevations and approved a motion to recommend approval by a vote of 3-0, with Board Members Meyrat and Hudson absent and two (2) vacant positions on the board. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the September 12, 2023 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: **BUILDING 2, 2014-A, PORTOFIMO DR, ROCKWALL TX 75032**
 SUBDIVISION: **WATERS EDGE AT LAKE RAY HUBBARD** LOT **1** BLOCK **A**
 GENERAL LOCATION: **SUMMER LEE AND PORTOFIMO DRIVE**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

| | | | |
|-----------------|---------------|-----------------|----------------------|
| CURRENT ZONING | PD-22 | CURRENT USE | CONDOMINIUMS |
| PROPOSED ZONING | | PROPOSED USE | CONDOMINIUMS. |
| ACREAGE | 6.5995 | LOTS [CURRENT] | 85 |
| | | LOTS [PROPOSED] | 85 |

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | | | |
|---|------------------------------------|------------------------------------|--|
| <input checked="" type="checkbox"/> OWNER | PLUTUS 21 DEVELOPMENT V | <input type="checkbox"/> APPLICANT | |
| CONTACT PERSON | DANIYAL AWAN | CONTACT PERSON | |
| ADDRESS | 11455 NEWKIRK ST # 1405 | ADDRESS | |
| CITY, STATE & ZIP | DALLAS TX 75229 | CITY, STATE & ZIP | |
| PHONE | 469 853 6007 | PHONE | |
| E-MAIL | dm @ plutus21.dev | E-MAIL | |

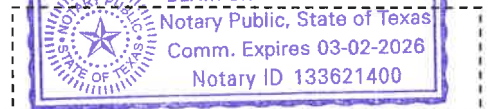
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniyal Awan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF AUGUST, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF August, 2023.

OWNER'S SIGNATURE




NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Blair Christine Jennings

MY COMMISSION EXPIRES 3-2-2026



SP2023-027: Amended Site Plan for Building 2,
2014-A Portofino Drive

Case Location Map = 

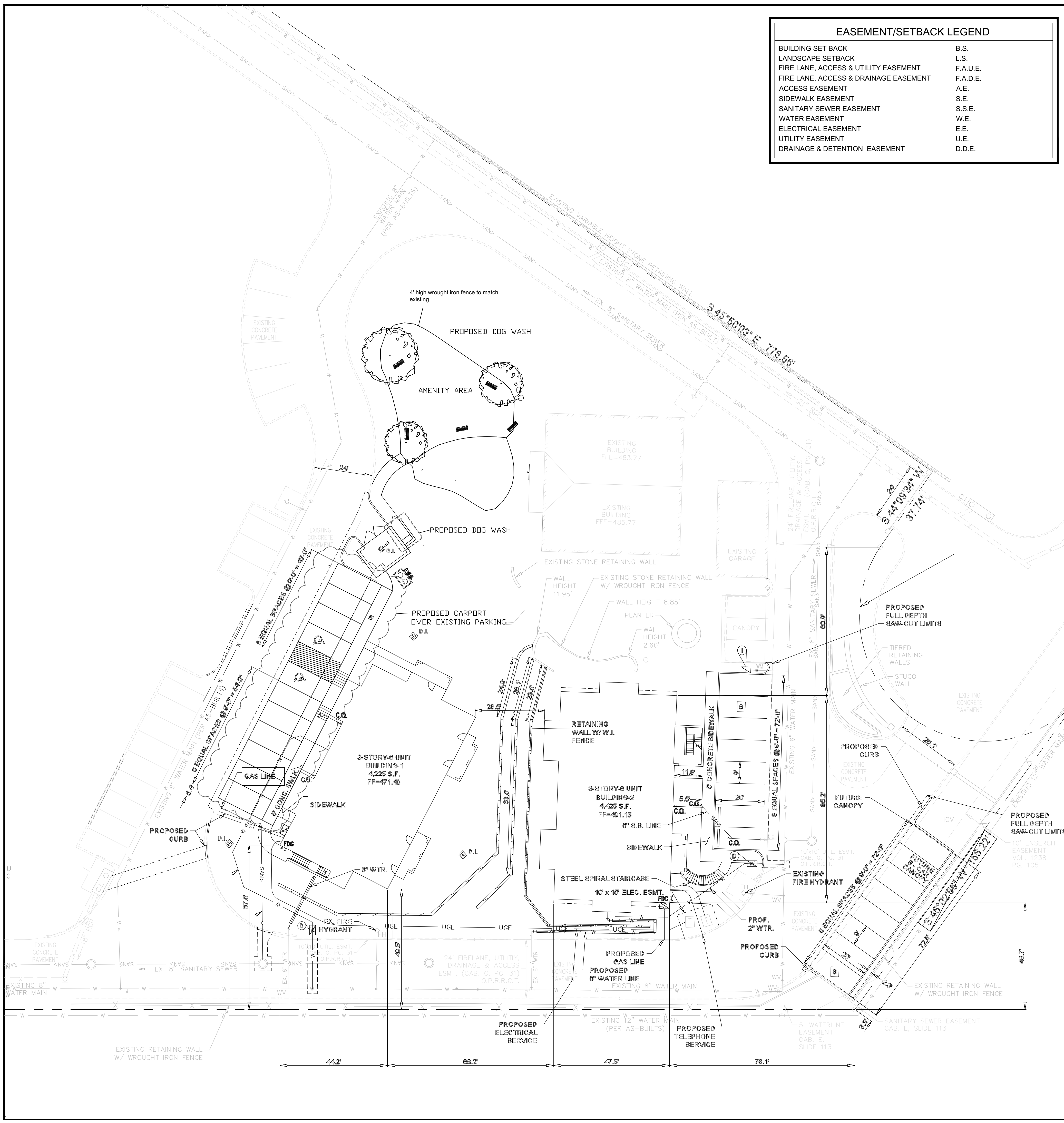


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





EASEMENT/SETBACK LEGEND

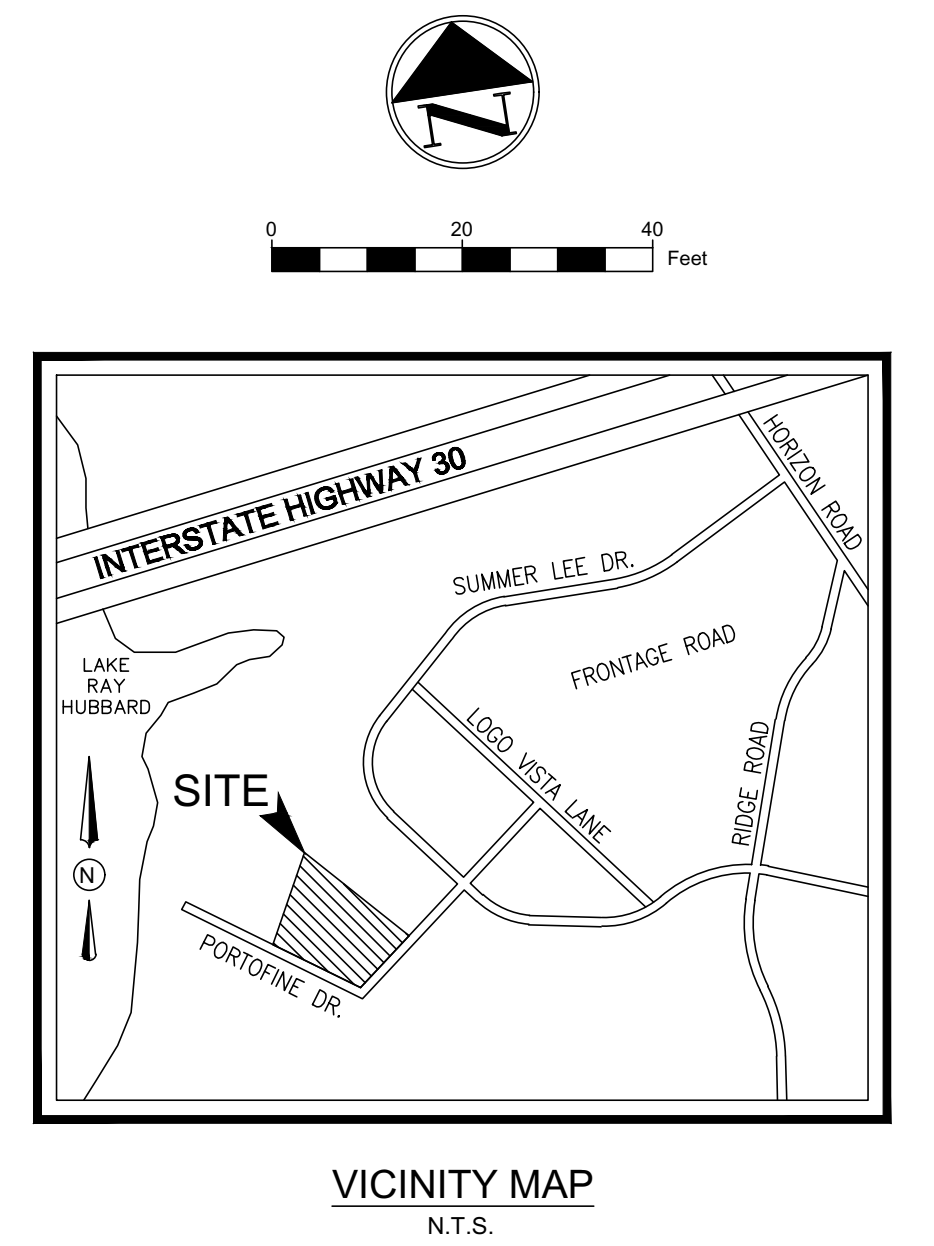
| | |
|---------------------------------------|----------|
| BUILDING SET BACK | B.S. |
| LANDSCAPE SETBACK | L.S. |
| FIRE LANE, ACCESS & UTILITY EASEMENT | F.A.U.E. |
| FIRE LANE, ACCESS & DRAINAGE EASEMENT | F.A.D.E. |
| ACCESS EASEMENT | A.E. |
| SIDEWALK EASEMENT | S.E. |
| SANITARY SEWER EASEMENT | S.S.E. |
| WATER EASEMENT | W.E. |
| ELECTRICAL EASEMENT | E.E. |
| UTILITY EASEMENT | U.E. |
| DRAINAGE & DETENTION EASEMENT | D.D.E. |

EXISTING LEGEND

| | | |
|------------------|-------------------|------------------|
| 3/8" IR FOUND | GAS MARKER | CHAINLINK FENCE |
| 1/2" IR FOUND | GAS METER | CONCRETE |
| 1/2" IR SET | IRRIGATION VALVE | COVERED AREA |
| 5/8" IR FOUND | LIGHT POLE | EASEMENT |
| 3/4" IP FOUND | SAN. SEW. CO. | FIRE LANE STRIPE |
| 1" IP FOUND | SAN. SEW. MH. | GRAVEL |
| 60-D NAIL FOUND | STONE COLUMN | GUY WIRE ANCHOR |
| PK NAIL SET | STORM DRAIN MH. | HANDICAP SPACE |
| POINT FOR CORNER | TRANS. BOX | HIGHBANK LINE |
| X-FOUND | UTILITY POLE | IRON FENCE |
| X-SET | WATER METER | NO PARKING |
| AC. PAD | WATER VALVE | PARKING STRIPE |
| BOLLARD POST | BARBED WIRE FENCE | PARKING STRIPE |
| BRICK COLUMN | BOUNDARY | PIPE RAIL FENCE |
| CABLE BOX | BRICK | RETAINING WALL |
| CONC. MONUMENT | BUILDING LINE | STONE |
| ELECTRIC BOX | BUILDING WALL | TILE |
| FIRE HYDRANT | BUILDING WALL | WOOD DECK |
| | | WOOD FENCE |

SITE DATA SUMMARY TABLE

| | |
|---|---------------------------|
| PHYSICAL ADDRESS | PORTOFINO DRIVE |
| GROSS SITE AREA | 287,476 S.F. / 6.60 ACRES |
| NET AREA | T.B.D. |
| ZONING | PD-22 |
| CURRENT USE | CONDOMINIUMS |
| PROPOSED USE | CONDOMINIUMS |
| LOT COVERAGE DATA | |
| BUILDING COVERAGE | 25,950 S.F. |
| BUILDING FOOTPRINT | 8,650 S.F. |
| TOTAL BUILDING AREA | 25,950 S.F. |
| IMPERVIOUS COVERAGE | 6,946 S.F. |
| PERVIOUS COVERAGE | 5,127 S.F. |
| PARKING SUMMARY | |
| PARKING SPACE REQUIREMENTS | |
| RESIDENTIAL PARKING - 2 SPACES PER UNIT | |
| TOTAL PARKING SPACES REQUIRED = 24 | |
| TOTAL PARKING SPACES PROVIDED = 27 | |
| BUILDING DATA | |
| BUILDINGS | 2 BUILDINGS & 1 GARAGE |
| STORIES | 3 |
| PEAK HEIGHT | 35'-0" |
| TOTAL SQUARE FOOTAGE | 25,950 S.F. |



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
- A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P, PG. 128 - 137, AND ANY AMENDMENTS THERETO.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

SITE LEGEND

| | |
|---------------------|----------|
| CONCRETE CURB | [Symbol] |
| SAW-CUT LINE | [Symbol] |
| FENCE | [Symbol] |
| FIRE LANE | [Symbol] |
| STRIPING | [Symbol] |
| PARKING SPACES | [Symbol] |
| MONUMENT/PYLON SIGN | [Symbol] |
| WHEEL STOPS | [Symbol] |
| HANDICAP LOGO | [Symbol] |
| HANDICAP SIGN | [Symbol] |
| RAMP | [Symbol] |
| BOLLARD | [Symbol] |
| TRAFFIC ARROW | [Symbol] |
| FIRE HYDRANT | [Symbol] |
| DUMPSTER | [Symbol] |
| LIGHT POLE | [Symbol] |

NOTE: PROPOSED BUILDING COLORS AND MATERIALS TO MATCH EXISTING BUILDINGS.

NOTE: TREES TO BE 5' AWAY FROM PUBLIC UTILITY LINES LESS THAN 10'. TREES TO BE 10' AWAY FROM PUBLIC UTILITY LINES THAT ARE 10' OR GREATER.

WATER METER & SANITARY SEWER SCHEDULE

| ID | TYPE | SIZE | NO. | SAN. SEW. |
|-----|------|--------|-----|-----------|
| (D) | DOM. | 1 1/2" | 2 | 6" |
| (I) | IRR. | 1" | 1 | N/A |

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

| NO. | DATE | DESCRIPTION | BY |
|-----|------------|--------------------|----|
| 1 | 11/25/2019 | 1st CITY SUBMITTAL | KP |
| 2 | 01/16/2020 | 2nd CITY SUBMITTAL | KP |
| 3 | 05/13/2020 | 3rd CITY SUBMITTAL | KP |
| 4 | 09/04/2020 | 4th CITY SUBMITTAL | KP |
| 5 | 08/08/2023 | 5th CITY SUBMITTAL | HK |

SP2023-027
SITE PLAN
WATER'S EDGE AT LAKE RAY HUBBARD
PORTOFINO DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

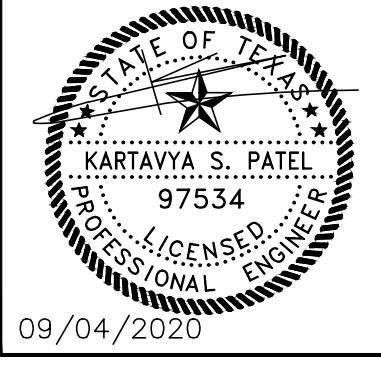
TRIANGLE ENGINEERING LLC

T. 469.331.8566 | E. info@triangle-engr.com
W. triangle-engr.com | 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | CM Engineering | Construction Management

| DESIGN DRAWN | DATE | SCALE | PROJECT NO. | SHEET NO. |
|--------------|------|-----------|---------------|-----------|
| KP | MLM | 11/7/2019 | SEE SCALE BAR | 040-19 |

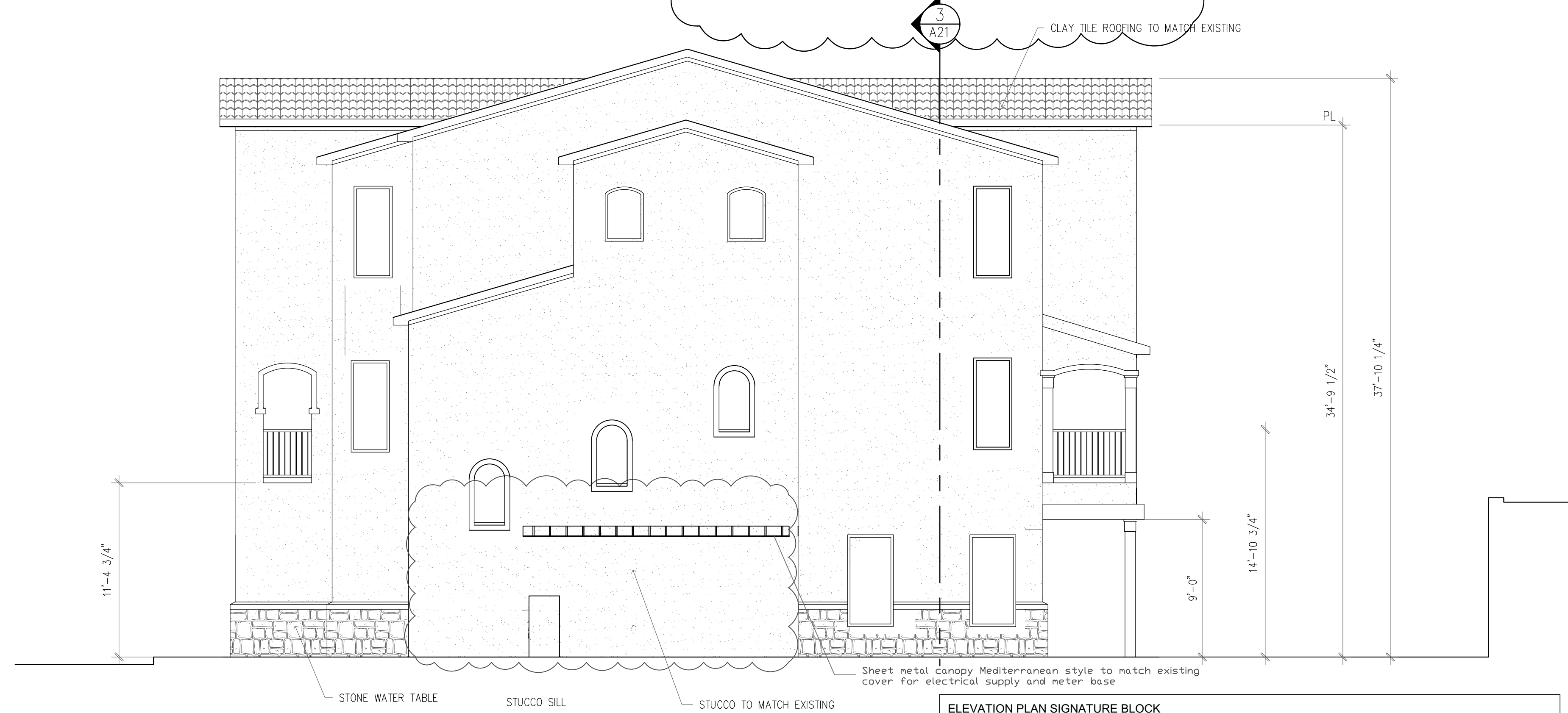
TX PE FIRM #11525



09/04/2020



NORTH ELEVATION
 100% MASONRY 10% STONE 90% STUCCO



WEST ELEVATION
 100% MASONRY 9% STONE 91% STUCCO

ELEVATION PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 20____.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER
PLUTUS 21 DEVELOPMENT
 6116 N. CENTRAL EXPY #700
 DALLAS, TEXAS 75206

CASE #SP2020-000

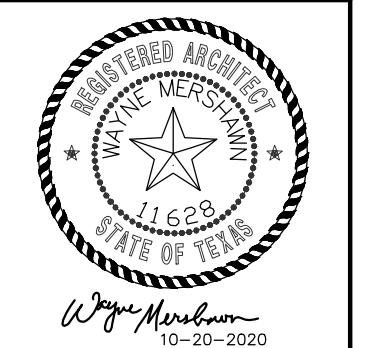
NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS. THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS
 2015 EAST INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 972-722-9302
 FAX: 972-249-2081

| No. | Date | Revision | By |
|-----|------------|------------|-------------|
| 1 | 04/21/2023 | ELEVATIONS | Hera Howard |



PLUTUS 21
WATER'S EDGE AT LAKE RAY HUBBARD
EXTERIOR ELEVATIONS

Scale: 3/16" = 1'-0"

Date: 04/21/2023

Project No.: 190602

Designed: GW

Drawn: GW

Checked: WM



SOUTH ELEVATION
100% MASONRY 10% STONE 90% STUCCO



EAST ELEVATION
100% MASONRY 9% STONE 91% STUCCO

ELEVATION PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2020.
 WITNESS OUR HANDS, this _____ day of _____, 2020.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS. THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

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4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER
PLUTUS 21 DEVELOPMENT
 6116 N. CENTRAL EXPY #700
 DALLAS, TEXAS 75206

CASE #SP2020-000

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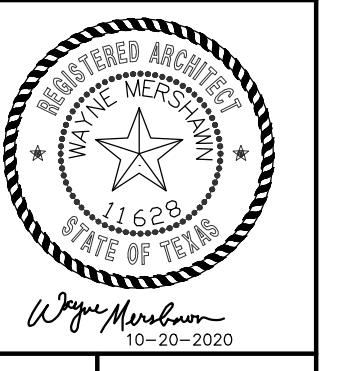
RESIDENTIAL RESTAURANTS
 INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
 CHURCHES
MERSHAWN

2015 EAST INTERSTATE 30
 ROCKWALL, TEXAS 75087

PHONE: 972-722-9302
 FAX: 972-249-2081

| No. | Date | Revision | By |
|-----|------------|------------|-------------|
| 1 | 04/21/2023 | ELEVATIONS | Hera Proulx |



PLUTUS 21
WATER'S EDGE AT LAKE RAY HUBBARD
EXTERIOR ELEVATIONS

Scale: 3/16" = 1'-0"

Date: 04/21/2023

Project No.: 190602

Designed: GW

Drawn: GW

Checked: WM



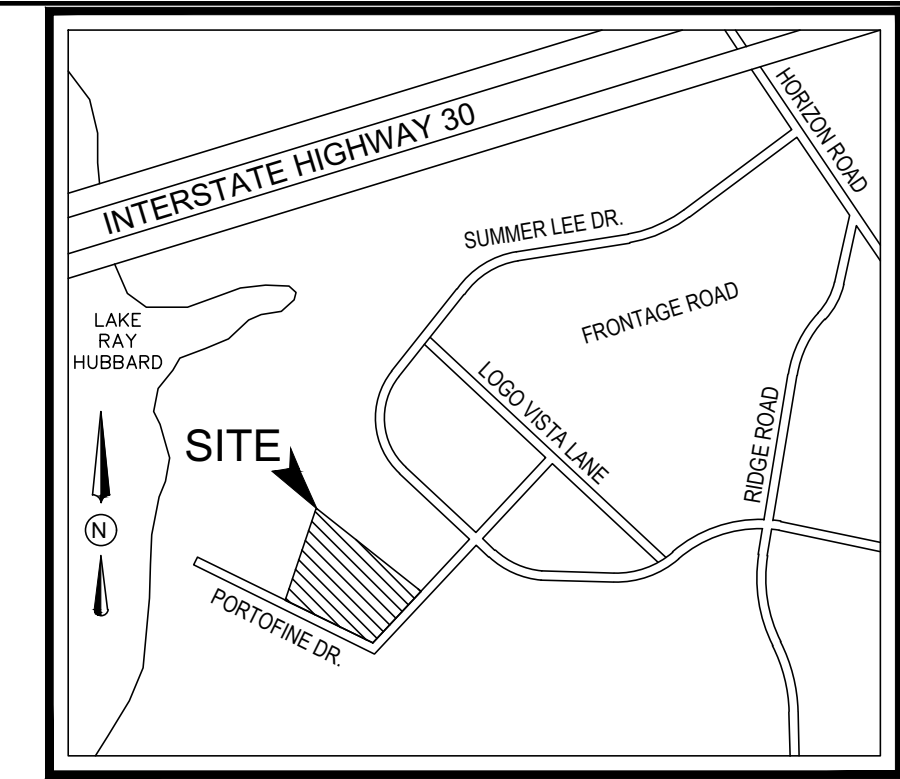






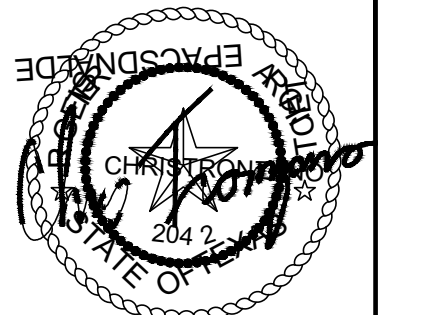






VICINITY MAP
N.T.S.

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



11.21.2019

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

PLANT MATERIAL SCHEDULE

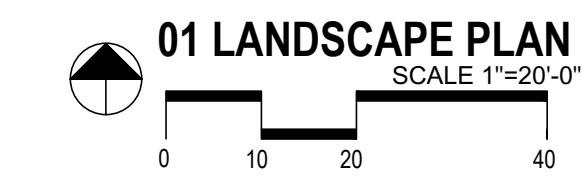
| TREES | | | | | |
|--------------|------|---------------------------|--|---------|--|
| TYPE | QTY | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
| CM | 2 | Crape Myrtle 'Dallas Red' | <i>Lagerstroemia indica 'Dallas Red'</i> | 6' ht. | container, 3 or 5 trunks, 4' spread min., tree form |
| LO | | Live Oak | <i>Quercus virginiana</i> | 4" cal. | container, 13' ht., 5' spread, 5' clear straight trunk |
| SHRUBS | | | | | |
| TYPE | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
| DYH | 14 | Dwarf Yaupon Holly | <i>Ilex vomitoria 'nana'</i> | 5 gal. | container, 18" ht., 18" spread |
| IH | 11 | Indian Hawthorn 'Clara' | <i>Rhodaphys indica 'clara'</i> | 5 gal. | container, 20" ht., 20" spread |
| LOR | 24 | Loropetalum 'Ruby' | <i>Loropetalum chinensis 'Ruby'</i> | 5 gal. | container, 20" ht., 20" spread |
| NPH | 27 | Needlepoint Holly | <i>Ilex cornuta 'Needlepoint'</i> | 5 gal. | container, 24" ht., 20" spread |
| GROUNDCOVERS | | | | | |
| TYPE | QTY | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
| | | '419' Bermudagrass | <i>Cynodon dactylon '419'</i> | | Solid Sod refer to notes |

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2019.
WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



WATER'S EDGE AT LAKE RAY HUBBARD

PORTOFINO DRIVE
ROCKWALL, TEXAS

SP2023-027

DATE:
11.21.2019

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.1

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS**
Refer to bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK**
Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee
- 1.3 REFERENCE STANDARDS**
A. American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards.
D. Hortis Third, 1976 - Cornell University
- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**
A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
C. Product Data: Submit complete product data and specifications on all other specified materials.
D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

- 1 BED PREPARATION & FERTILIZATION**
A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Areas:
1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.
- 2 INSTALLATION**
A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original piece of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
B. Guarantee:
1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
C. Selection of Plant Material:
1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- A. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sand/soil or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

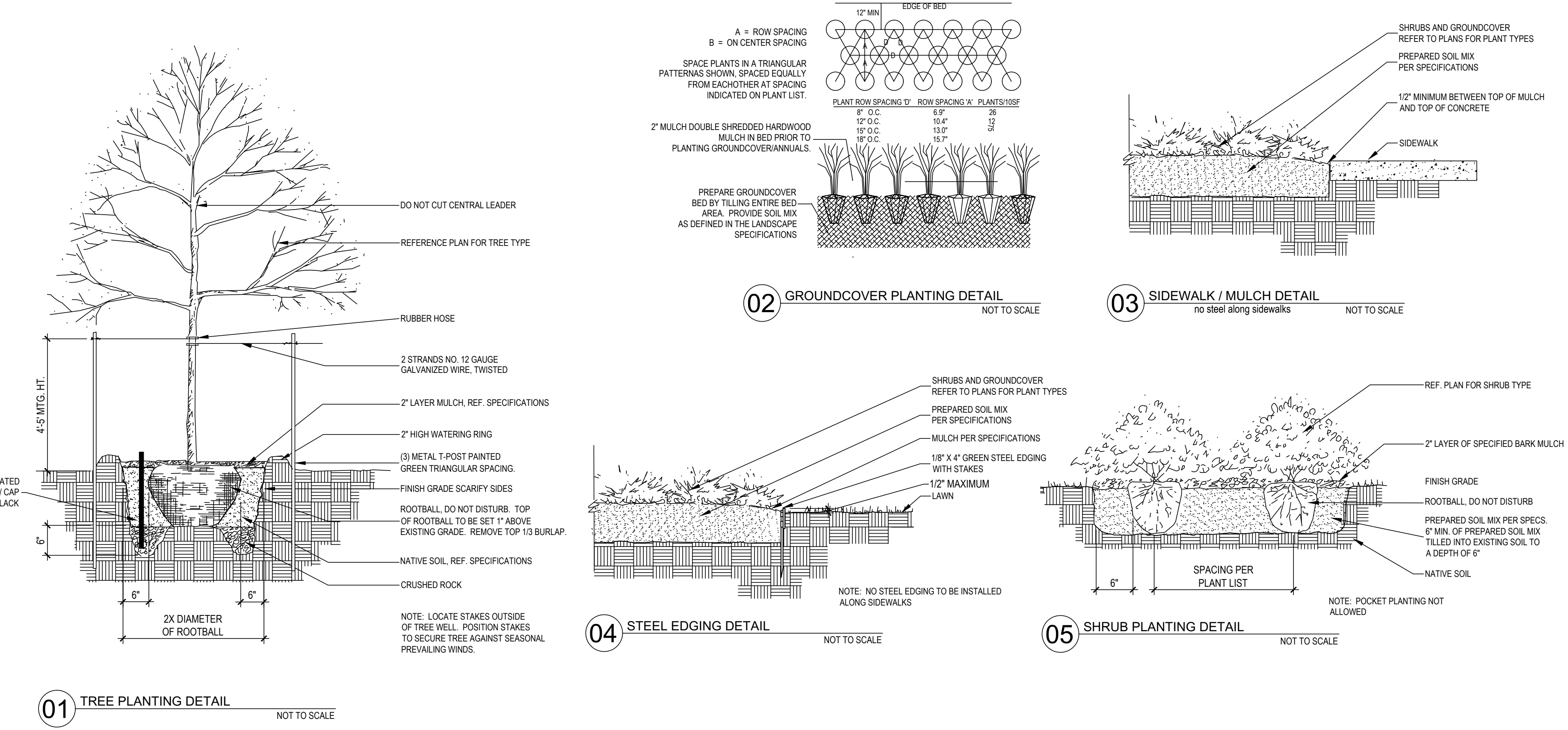
- 2.1 PLANTS**
A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tips of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball.
F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallassgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
Clay - between 7-22 percent
Silt - between 15-25 percent
Sand - less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladeview, Texas, Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
F. Organic Fertilizer: Fertiland, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
B. Staking Material for Shade Trees:
1. Post: Studded T-Post, #1 Armo with anchor plate; 6'-0" length, paint green.
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



- F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of 'root scoring'.
J. Do not wrap trees.
K. Do not over prune.
L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
N. Obstruction below ground. In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.
1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after pruning operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material shall be maintained.
Q. Steel Curbing Installation:
1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 3/4" maximum height above grade.
1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
2. Do not install steel edging along sidewalks.
3. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.CO



11.21.2019

WATER'S EDGE AT LAKE RAY HUBBARD
 PORTOFINO DRIVE
 ROCKWALL, TEXAS

SP2023-027

DATE:
11.21.2019

SHEET NAME:
LANDSCAPE SPECIFICATIONS

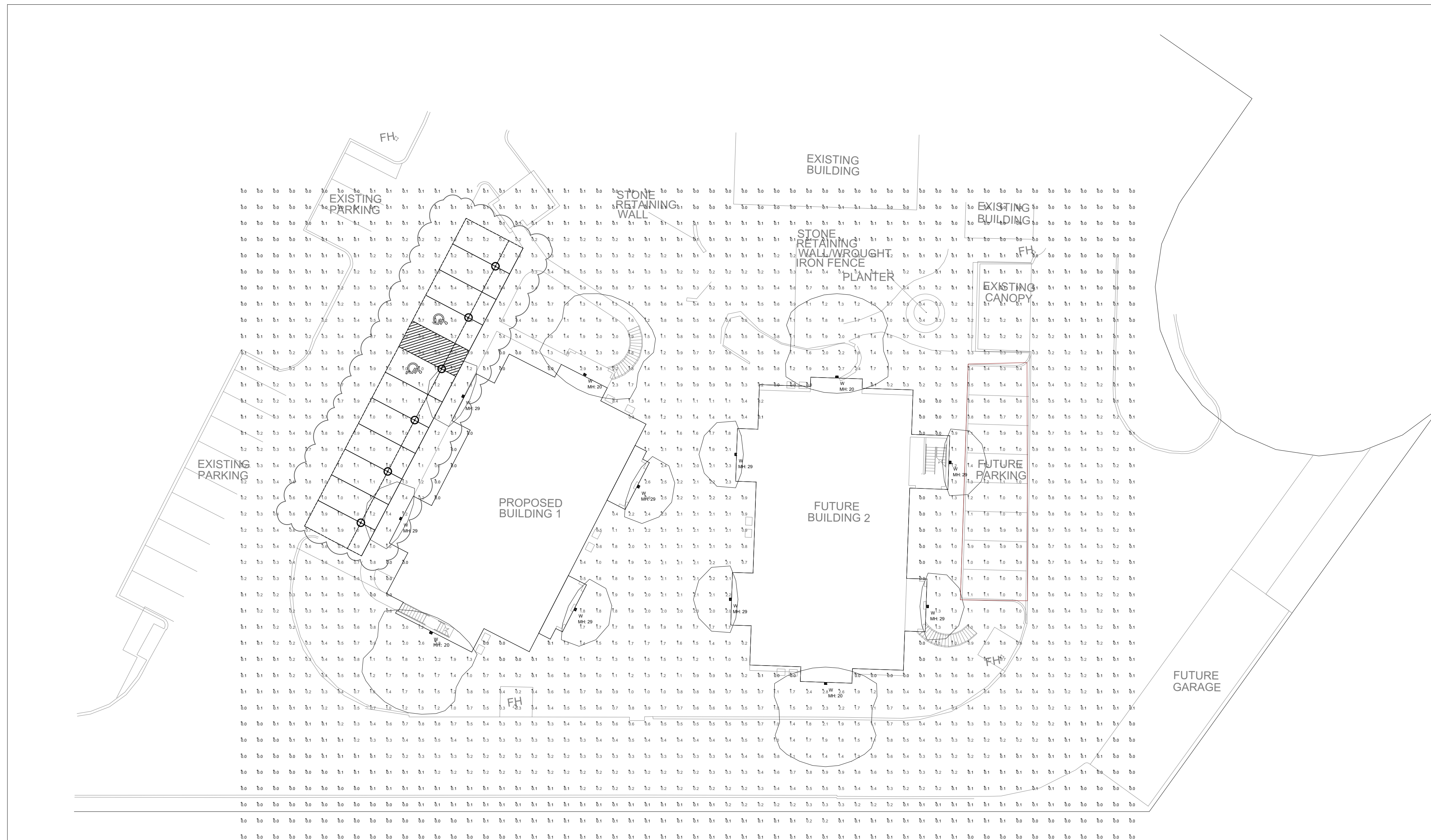
SHEET NUMBER:

L.2

LANDSCAPE SPECIFICATIONS SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 20___.
WITNESS OUR HANDS, this ___ day of _____, 20___.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



Elements
by **TCI**

LED Technical Data

LED Canopy Lights

Applications

This product family can be effectively used in outdoor ceiling mount locations. Commercial, industrial, retail and healthcare exterior lighting. Parking garages, awnings, canopies, security lighting, etc.

Construction


Cast aluminum housing
Durable powdercoat
Prismatic polycarbonate lens

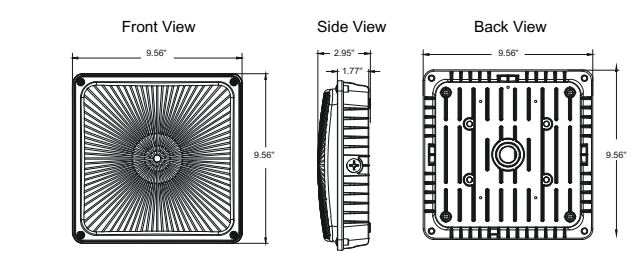
Electrical

Wet location and IP65 rated
Mounts directly to junction box
System rated for long 50,000 hour life
150 or 250W HID Equivalent.
Operating temperature: -4 to 133 F

Optics

Clear polycarbonate prismatic lens
Evenly spaced array of discrete LEDs
Delivers bright, white light and excellent uniformity

| Item Number | Type |
|---|-------------------------------------|
| Notes | |
|  | |
| Warranty | Listings |
| Five year limited warranty against defects in manufacturing. | UL and cUL listed RoHS Compliant |
| DLC v4.3 Standard | |



For the most up-to-date specs and warranty information, please visit www.tci.com Approximate Luminaire Weight: 5.3 lbs

| ITEM # | DESCRIPTION | DLC | LUMENS | WATTAGE | LPW | VOLTAGE | POWER FACTOR | CCT | CR | LIFE (HRS) | L IN | H IN | W IN |
|-----------|------------------------------------|-------|--------|---------|-----|---------|--------------|-------|------|------------|------|------|------|
| CP4500140 | LED Canopy Light 45W Non-Dim 4000K | 4000K | 5,350 | 45 | 119 | 120-277 | > 0.9 | 4000K | > 80 | 50,000 | 9.56 | 2.95 | 9.56 |
| CP4500150 | LED Canopy Light 45W Non-Dim 5000K | 5000K | 5,350 | 45 | 119 | 120-277 | > 0.9 | 5000K | > 80 | 50,000 | 9.56 | 2.95 | 9.56 |
| CP7000140 | LED Canopy Light 70W Non-Dim 4000K | 4000K | 7,600 | 70 | 109 | 120-277 | > 0.9 | 4000K | > 80 | 50,000 | 9.56 | 2.95 | 9.56 |
| CP7000150 | LED Canopy Light 70W Non-Dim 5000K | 5000K | 7,600 | 70 | 109 | 120-277 | > 0.9 | 5000K | > 80 | 50,000 | 9.56 | 2.95 | 9.56 |

Note: For photocell option add "PC" to the end of the part number

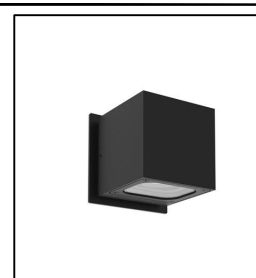


325 Campus Dr | Aurora, Ohio 44202 | P: 800-324-1496 | tci.com

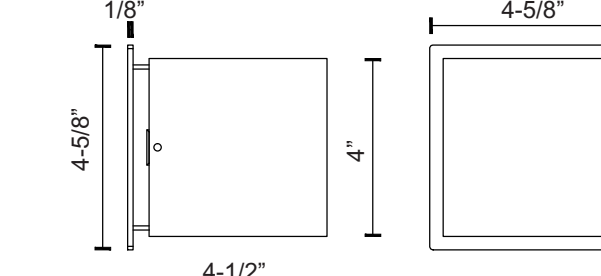
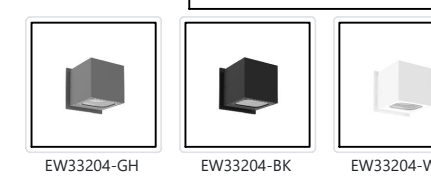
we know light.™

STATO
EW33204
WALL

PROJECT



DESCRIPTION
Architectural exterior wall sconce, die-cast cubic aluminum body with clear tempered glass cover and multi-faceted aluminum reflector maximizes light output. Optional beam angle plates can be installed to re-shape beam pattern.



EW33204-GH Graphite
EW33204-BK Black
EW33204-WH White

SPECIFICATION DETAILS

* For custom options, consult factory for details.

| | |
|------------------------|--|
| Fixture Dimensions | W4" x H4" x D1.2" |
| Light Source | LED with DC Driver |
| Wattage | 15W |
| Total Lumens | 1075lm |
| Beam Spread | 82-843lm |
| Voltage | 120-277V |
| Color Temperature | 3000K |
| CRI (Ra) | 80CRI |
| Optional Color Temps | 2700K - 5000K Available. Minimum Order Quantities 450W |
| LED Rated Life | 50,000 hours |
| Dimming | Non-Dimming |
| Diffuser Details | Parabolic Aluminum Reflector |
| Glass Details | Clear Glass |
| Location | Wet, IP65 |
| Compliance | IP65 |
| Warranty | 5 Year |
| Illumination Direction | Up and Down |
| Mounting Style | All Orientation: Wall |
| Canopy Dimensions | W6-5/8" x H4-5/8" x D1/8" |



1954 28TH AVENUE
SUNBELT - SC 152 2943
COLUMBIA
WWW.KUZZCO.COM

COMMENT

| Luminaire Schedule | Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
|--------------------|--------|------|---|-------------------------------|--------------------|-------------------|----------------|-------------------|---------------------|
| □ | W | 12 | LITHONIA WDG2 LED P3 40K 80CRI VW VOLTAGE MOUNTING FINISH | 3214 | 22.55 | 1.000 | 0.808 | 1.000 | |
| ○ | | 6 | LUXRITE LED Canopy Light LED 28W 3CCT 3000K | 3360 | 28 | | 0.70 | 1.000 | |

| Calculation Summary | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min |
|---------------------|--------------------|-------|------|-----|-----|---------|
| GRADE Planar | 0 | Fc | 0.53 | 2.9 | 0.0 | N.A. |
| PARKING1 | | Fc | 0.83 | 1.4 | 0.1 | 8.30 |
| PARKING2 | | Fc | 0.90 | 1.4 | 0.3 | 3.00 |

PARKING1
Illuminance (Fc)
Average = 0.83
Maximum = 1.4
Minimum = 0.1
Avg/Min Ratio = 8.30
Max/Min Ratio = 14.00

PARKING2
Illuminance (Fc)
Average = 0.90
Maximum = 1.4
Minimum = 0.3
Avg/Min Ratio = 3.00
Max/Min Ratio = 4.67

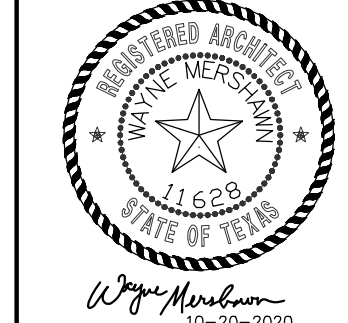
LIGHTING PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2021.
WITNESS OUR HANDS, this ___ day of _____, 2021.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

RESIDENTIAL RESTAURANTS
MEDICAL COMMERCIAL CHURCHES
INSTITUTIONAL ARCHITECTS
MERSHAWN
2015 EAST INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 972-722-9302
FAX: 972-249-2081

| REV | DATE | DESCRIPTION | BY |
|-----|----------|-----------------------|----|
| 1 | 11/30/20 | REV PER CITY COMMENTS | |
| 1 | | PHOTOMETRIC PLANS | |



PLUTUS 21
WATER'S EDGE AT LAKE RAY HUBBARD
PHOTOMETRIC PLAN

| | |
|--------------|------------|
| Scale: | |
| Date: | 08/31/2023 |
| Project No.: | |
| Designed: | GW |
| Drawn: | GW |
| Checked: | WM |

SHEET
A7 OF 26



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMORANDUM
PLANNING AND ZONING DEPARTMENT
 385 S. GOLIAD STREET • ROCKWALL, TX 75087
 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: September 12, 2023
SUBJECT: Z2023-038; *Amendment to Planned Development District 3 (PD-3)*

On June 5, 2023, the City Council directed staff to begin the process of initiating zoning to amend the City's older Planned Development (PD) Districts in order to prepare consolidating ordinances (*i.e. writing one [1] ordinance that supersedes all previous ordinances for the Planned Development Districts*). The purpose of this effort is to [1] make zoning easier to understand for the City's external customers (*i.e. developers, homebuilders, and citizens*), and [2] to make the zoning ordinances easier to interpret internally by City staff; however, the proposed consolidating ordinances are not intended to change any of the requirements, land uses, concept plans, or development standards stipulated for any Planned Development (PD) District. This was successfully done recently to the Planned Development (PD) District for the Chandler's Landing Subdivision (*i.e. Planned Development District 8 [PD-8]*).

The Shores Subdivision -- *also known as Planned Development District 3 (PD-3)* -- was originally adopted in 1972, and currently consists of 116 pages of regulations within 11 regulating ordinances. The biggest issue that staff has with interpreting this Planned Development (PD) District is that *Ordinance No. 96-23 -- which was City initiated, currently regulates the majority of the Shores Subdivision, and changed the zoning of certain tracts in PD-3 --* does not align with the phases that were actually platted and constructed. Specifically, this affects all of the Shores North phases as seen in *Figures 1 & 2*. This means that the lot sizes and dimensional requirements that were approved through the zoning ordinance do not correspond with the lots sizes and dimensional requirements that were approved through the concept plans and subsequent subdivision plats and building permits.

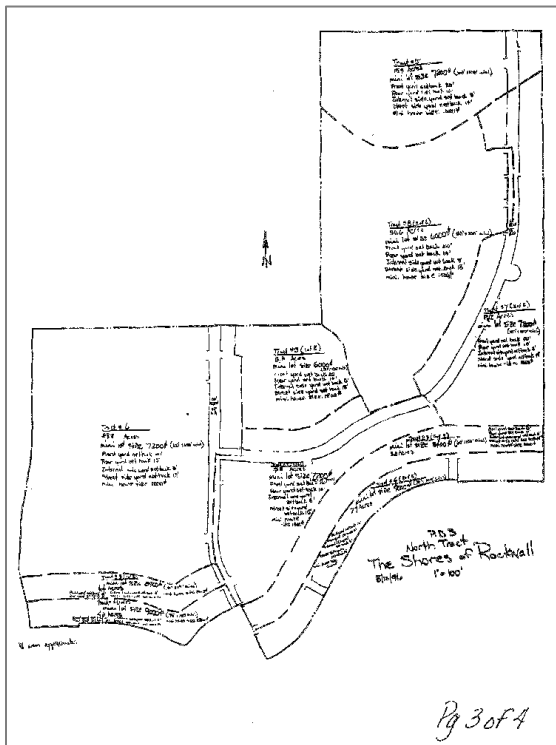


FIGURE 1: EXHIBIT FROM ORDINANCE NO. 96-23

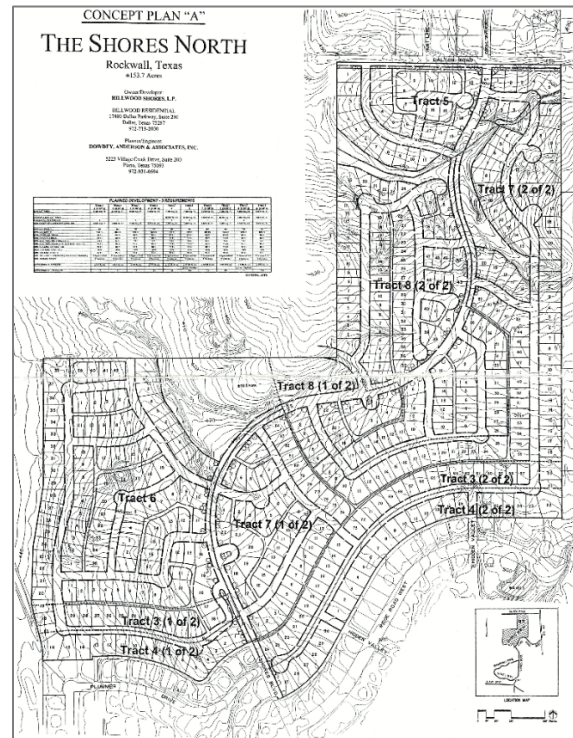


FIGURE 2: CONCEPT PLAN USED TO SUBDIVIDE AND PERMIT HOUSING IN THIS SUBDIVISION

This issue also exists in *Tracts O & P* as depicted in staff's updated concept plan contained in the draft ordinance. In addition, Tract 3 (*i.e. the Shores HOA Clubhouse and Rockwall Golf and Athletic Club*) does not include development standards or a base zoning district in any of the ordinances that make up Planned Development District 3 (PD-3); however, staff has found documentation showing that the development of this area was constructed under both the General Retail (GR) District requirements contained in the 1997 Zoning Ordinance and the *General Commercial District Standards* contained in the 2012 version of the Unified Development Code (UDC). To remedy these issues staff researched the building permits and development cases (*depicted in the attached timeline*) to ascertain the development standards for each of these properties and incorporate them into the proposed draft ordinance. With this being said, since staff utilized standards that match the approved concept plans, subdivision plats, and building permits for these phases of the Shores Subdivision, the proposed zoning ordinance does not change the land uses and density and dimensional requirements for any of the existing properties in Planned Development District 3 (PD-3). Rather the proposed draft ordinance will bring what was constructed into unison with the approved zoning for these areas.

This being a zoning case, staff sent out 2,216 notices to all property owners and occupants of the Shore Subdivision and within 500-feet of the Shores Subdivision. In addition, staff notified the Rockwall Shores, the Shores on Lake Ray Hubbard, the Random Oaks/Shores, Promenade Harbor, Harlan Park, Stone Creek, Lakeview Summit, the Preserve, and the Hillcrest at the Shores Homeowner's Associations (HOAs), which were the only HOAs within 1,500-feet of the subject property. Included within the notice was a link to the City's website -- *which has all of the zoning documents (i.e. the current Planned Development District 3 [PD-3] ordinances and the proposed draft ordinance) associated with the case --*, and included with the notice was a letter explaining the purpose of the zoning amendment. To date, staff has received:

- (1) Two (2) property owner notifications from two (2) property owners located within the Shores Subdivision in favor of the proposed amendment.
- (2) Two (2) property owner notifications from two (2) property owners located within the Shores Subdivision opposed to the proposed amendment (*staff should point out that neither notice seem to address the intent of the case*).
- (3) Two (2) property owner notifications from two (2) property owners located within the 500-foot notification buffer, but outside of the Shores Subdivision in favor of the proposed amendment.
- (4) One (1) email from one (1) property owner outside of the Shores Subdivision in favor of the proposed amendment.
- (5) One (1) response from the online *Zoning & Specific Use Permit Input Form* from one (1) property owner in the Shores Subdivision in favor of the proposed amendment.
- (6) One (1) response from the online *Zoning & Specific Use Permit Input Form* from one (1) property owner in the Shores Subdivision indicating being both in favor and opposed to the proposed amendment.

To assist the Planning and Zoning Commission in understanding this zoning change, staff has included a copy of the current ordinances that make up Planned Development District 3 (PD-3) and staff's proposed draft ordinance for comparison purposes. Should the Planning and Zoning Commission have any questions, staff will be available at the September 12, 2023 Planning and Zoning Commission Work Session Meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: September 12, 2023
SUBJECT: Development Cases for Planned Development District 3 (PD-3)

The Shores Subdivision -- also known as *Planned Development District 3 (PD-3)* -- was originally adopted in 1972, and currently consists of 116 pages of regulations within 11 regulating ordinances. The following is a timeline and summary of the ~85 development cases associated with this Planned Development District:

RED: EXPIRED ORDINANCES

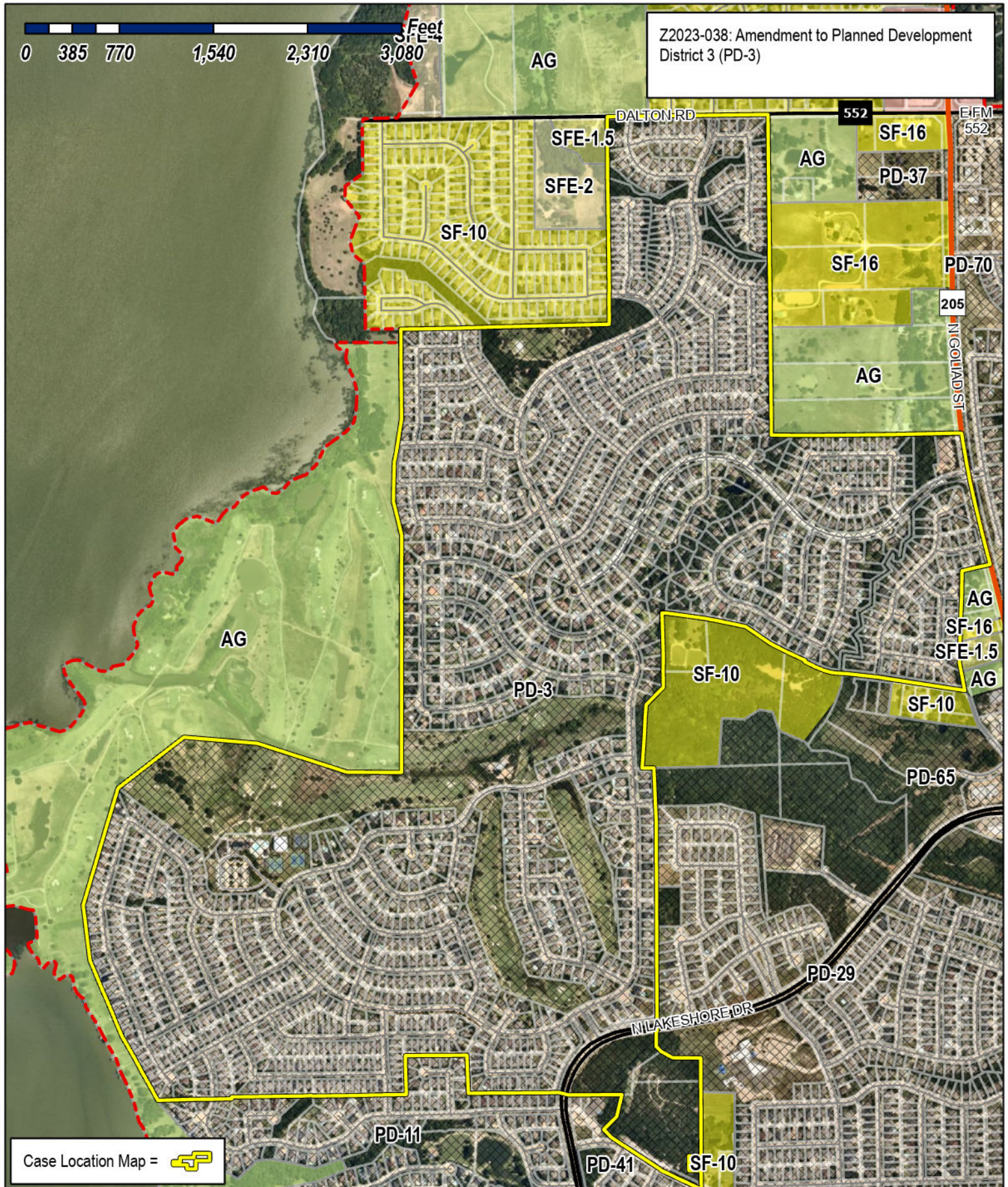
BLUE: SUPERSEDED ORDINANCES

GREEN: PARTIALLY SUPERSEDED ORDINANCES

- **1972:** The original Planned Development District 3 (PD-3) was established as part of the 1972 Zoning Ordinance, and allowed the following land uses: *Single-Family Dwellings, Single-Family Cluster Home Housing, Duplexes, Townhomes, Multiple Family Dwellings, Neighborhood Services, General Retail, Church, School, Park, Community Center, and Golf Course.* [**SUPERSEDED BY ORDINANCE NO. 73-02**]
- **FEBRUARY 5, 1973 (ORDINANCE NO. 73-02):** This ordinance superseded the existing Planned Development District 3 (PD-3), and adopted a concept plan for the 439.70-acre tract of land that allowed a total of 2,115 dwelling units. These units consisted of single-family homes, cluster homes, and apartments. In addition, the ordinance allowed the following non-residential land uses: *Church and Day School, School and Park Site, General Retail, Neighborhood Services and Office, Inn – Restaurant, Pro Shop – Marina, and Golf.* [**SUPERSEDED BY ORDINANCE NO. 77-19A**]
- **OCTOBER 3, 1977 (ORDINANCE NO. 77-19A):** This ordinance superseded *Ordinance No. 73-02*, and added an additional 147.10-acres to the Planned Development District for a total of 586.80-acres. Under this amendment the land uses were changed to: *Single-Family Detached, Cluster Attached (Eight [8] Units Per Acre), Multi-Family (18 Dwelling Units Per Acre), Retail, Recreation, Recreation (Golf Course), and School – Park.* In addition, this amendment added minimum lot area, lot depth, and lot width standards for each lot type. [**SUPERSEDED BY ORDINANCE NO. 80-33**]
- **DECEMBER 1, 1980 (ORDINANCE NO. 1980-33):** This ordinance superseded *Ordinance No. 77-19A*, changing the approved concept plan and added phasing for certain thoroughfare improvements proposed for the subdivision. Under this amendment the land uses were changed to: *Single-Family Detached, Cluster Attached, Multiple, Patio Homes, Retail, School, and Golf Course and Facilities.* This amendment also increased the number of permitted housing units from 2,115 to 2,714. [**PARTIALLY SUPERSEDED BY ORDINANCE NO.'s 83-39, 89-04, 94-35, & 96-23**]
- **APRIL 16, 1981:** Final Plat for Phase 2 of the Shores Subdivision was approved.
- **DECEMBER 3, 1984 (ORDINANCE NO. 1984-59):** [*Case No. PZ1984-101-01*] This ordinance added a *Temporary Recreation Vehicle Storage Area* to the Planned Development District. This area was located at the then terminus of Shores Boulevard north of Shores Circle (*approximately in the location of Islemere Drive or Aberdeen Lane*). [**EXPIRED**]
- **APRIL 8, 1986 (ORDINANCE NO. 86-23):** [*Case No. PZ1985-59-01 & PZ1985-102-01*] This ordinance allowed a *Private Club* as an accessory land use to a *General Restaurant* for the Shores Clubhouse, which was called out as Lot 1, Block A, The Shores Clubhouse Addition. [**EXPIRED**]
- **MAY 19, 1986 (ORDINANCE NO. 86-39):** [*Case No. PZ1986-022-01*] This ordinance amended *Ordinance No. 80-33* to add a 30.35-acre tract of land to Planned Development District 3 (PD-3) that created a total subdivision area of 611.15-acres. The northern areas of the Planned Development (PD) District were changed to a minimum lot size of 7,200 SF with a minimum unit size of 1,500 SF. This ordinance also established a buffer zone in between the 9,000 SF lots -- *platted as The Shores, Phase 1* -- and the proposed 7,200 SF lots. This buffer zone included three (3) rows of two (2) different product types that consisted of minimum lot sizes of 8,400 SF and minimum unit sizes that ranged from 1,500 SF to 1,800 SF. [**SUPERSEDED BY ORDINANCE NO. 96-23**]
- **JUNE 9, 1986:** [*Case No. PZ1986-38-01*] A Phasing Plan was adopted for the Shores Subdivision.


- JULY 21, 1986 (ORDINANCE NO. 86-61): [Case No. PZ1986-038-01] This ordinance amended Ordinance No. 80-33 to add special conditions relating to thoroughfare plan phasing based on the number of units that were constructed.
- AUGUST 17, 1987: [Case No. 1987-052-01] A Replat of Phase 1 of the Shores Subdivision was submitted; however, this case was withdrawn on August 17, 1987.
- OCTOBER 19, 1987: [Case No. PZ1987-063-01, PZ1987-064-01, & PZ1987-065-01] A Preliminary Plat for Phases 2, 3, & 4 of the Shores Subdivision was approved.
- FEBRUARY 20, 1989: [Case No. PZ1988-036-01] A revised Preliminary Plat for the Shores Subdivision was approved.
- MARCH 20, 1989: [Case No. 1989-007-01] A Final Plat for the Shores Club House was approved.
- MARCH 20, 1989 (ORDINANCE NO. 89-04): This ordinance amended Ordinance No. 1980-33 to change the concept plan and development standards for the northern tracts of land (i.e. the land north of the buffer established by Ordinance No. 89-39). This ordinance also established a concept plan and development standards for five (5) lots (i.e. Lots 17-21, Block H) east of the existing clubhouse off of Champions Drive. [**PARTIALLY SUPERSEDED BY ORDINANCE NO. 96-23**]
- 1989 (MISSING FOLDER): [Case No. PZ1989-027-01] A Preliminary Plat for Phase 2 of the Shores Subdivision was approved.
- 1989 (MISSING FOLDER): [Case No. PZ1989-029-01] A Final Plat for Phase 2 of the Shores Subdivision was approved.
- AUGUST 20, 1990: [Case No. PZ1990-024-01] A Preliminary Plat and Development Plan for Phases 3 & 4 of the Shores Subdivision was approved.
- OCTOBER 15, 1990: [Case No. PZ1990-026-01] A Final Plat for Phases 3 & 4 of the Shores Subdivision was approved. This subdivision plat was later vacated and replatted on March 18, 1991.
- JANUARY 18, 1993: [Case No. PZ1993-003-01 & Case No. PZ1993-004-01] A Preliminary Plat for Phases 4 & 5 of the Shores Subdivision was approved.
- APRIL 19, 1993: [Case No. PZ1993-008-01] A Final Plat for Phase 4 of the Shores Subdivision was approved.
- MAY 17, 1993: [Case No. PZ1993-016-01] A Final Plat for Phase 2 of the Shores Subdivision was approved. This subdivision plat was vacated by Case No. PZ1995-071-01 on January 15, 1996.
- JUNE 7, 1993: [Case No. PZ1993-017-01] A Final Plat and Zoning for the Shores Park and School was denied by the City Council.
- OCTOBER 17, 1994 (ORDINANCE NO. 94-35): [Case No. PZ1994-016-01] A Concept Plan, Zoning Change, and Preliminary Plat for the Random Oaks at the Shores Subdivision was approved. This ordinance amended Ordinance No. 80-33 to establish the concept plan and development standards for the Random Oaks at the Shores Subdivision.
- DECEMBER 19, 1994: [Case No. PZ1994-043-01] A Final Plat for the Random Oaks at the Shores Subdivision was approved.
- SEPTEMBER 18, 1995: [Case No. PZ1994-032-01] An abandonment of an Easement for Random Oaks at the Shores Subdivision was approved.
- JANUARY 15, 1996: [Case No. PZ1995-071-01] A Vacation Plat for Phase 3 of the Shores Subdivision was approved.
- JUNE 24, 1996 (ORDINANCE NO. 96-23): This was a City initiated zoning case that amended the concept plan and development standards associated with Planned Development District 3 (PD-3), and superseded portions of Ordinance No. 80-33. This also allowed two (2) non-residential tracts to be governed by the General (GR) Retail and Commercial (C) District standards. This established new standards for: [1] the northern areas of the Planned Development (PD) District, [2] the southern tracts, and [3] the areas along Ridge Road West.
- OCTOBER 21, 1996: [Case No. PZ1996-067-01 & PZ1996-067-02] A Concept Plan and Preliminary Plats for Crestview, Hillside, and Fairway Pointe Subdivisions at the Shores were approved.
- DECEMBER 16, 1996: [Case No. 1996-088-01] Final Plats for the Crestview and Hillside Subdivisions were approved.
- JANUARY 21, 1997: [Case No. PZ1996-100-01, PZ1996-100-02, PZ1996-101-01, PZ1996-102-01 & PZ1996-103-01] A Concept Plan for Creekside at the Shores Subdivision and Phase 2 of the Creekside Village Subdivision and a Final Plat and Tree Plan for the Hillside and Crestview Subdivisions were approved.
- FEBRUARY 17, 1997: [Case No. PZ1997-001-01] A Final Plat for Phase 2 of the Fairway Pointe at the Shores Subdivision was approved.
- MARCH 17, 1997: [Case No. PZ1997-011-01] A Final Plat for Creekside at the Shores Subdivision was approved.
- OCTOBER 22, 1997: [Case No. PZ1997-082-01] A Replat for Creekside at the Shores Subdivision was approved.
- OCTOBER 19, 1998: [Case No. PZ1998-062-01, PZ1998-062-02, PZ1998-064-01, & PZ1998-064-02] A Preliminary Plat and Tree Plan for Phase 3 of the Fairway Pointe at the Shores Subdivision and Phase 3 of the Crestview Subdivision were approved.
- NOVEMBER 16, 1998: [Case No. PZ1998-071-01] A Replat for Creekside at the Shores Subdivision was approved.

- JANUARY 19, 1999: [Case No. PZ1998-088-01 & PZ1998-090-01] A Final Plat for Phase 3 of the Fairway Pointe at the Shores Subdivision and Phase 3 of the Crestview Subdivision were approved.
- FEBRUARY 15, 1999: [Case No. PZ1998-089-01] A Final Plat for Phase 3 of the Hillside Subdivision was approved.
- JANUARY 18, 2000: [Case No. PZ1999-107-01] A Preliminary Plat for the Creekside at the Shores Subdivision was approved.
- FEBRUARY 21, 2000: [Case No. PZ2000-005-01] A Replat for Phase 3 of the Hillside Subdivision was approved.
- MARCH 20, 2000: [Case No. PZ2000-006-01 & PZ2000-023-01] A Preliminary Plat for Phase 4 of the Hillside Subdivision and a Replat for Phase 3 of the Crestview Subdivision were approved.
- MAY 19, 2000: [Case No. PZ2000-038-01] A Final Plat for Phase 2 of the Creekside Village Subdivision was approved.
- JUNE 19, 2000: [Case No. PZ1999-036-01, PZ2000-028-01, PZ2000-040-01, PZ2000-050-01 & PZ2000-054-01] A Concept Plan for the Shores North Subdivision, Final Plats for Phases 2, 4, & 5 of the Hillside Subdivision, and a Replat for Phase 3 of the Fairway Pointe at Shores Subdivision were approved.
- JULY 17, 2000: [Case No. PZ2000-059-01] A Preliminary Plat for the Shores North Subdivision was approved.
- AUGUST 21, 2000: [Case No. PZ2000-067-01] A Preliminary Plat for Phase 1 of the Shores North Subdivision was approved.
- OCTOBER 10, 2000: [Case No.'s PZ2000-092-01 & PZ2000-092-02] A Preliminary Plat and Tree Plan for Phase 5 of the Shores North Subdivision was approved.
- JANUARY 16, 2001: [Case No.'s PZ2000-129-01, PZ2000-130-01, PZ2000-131-01, & PZ2000-132-01] Final Plats for Phases 1, 2A, 3A, & 4A of the Shores North Subdivision were approved.
- FEBRUARY 19, 2001: [Case No. PZ2001-009-01] A Final Plat for Phase 5 of the Shores North Subdivision was approved.
- APRIL 16, 2001: [Case No. PZ2001-034-01] A Preliminary Plat for Phase 6 of the Shores North Subdivision was approved.
- OCTOBER 19, 2001: [Case No.'s PZ2001-096-01 & PZ2001-096-02] A Final Plat and Tree Plan for Phase 6 of the Shores North Subdivision was approved.
- OCTOBER 21, 2002: [Case No. PZ2002-077-01] A Final Plat amending Phase 4A of the Shores North Subdivision was approved.
- DECEMBER 16, 2002: [Case No.'s PZ2002-091-01, PZ2002-091-02, PZ2002-092-01, PZ2002-092-02, PZ2002-093-01, & PZ2002-093-02] Final Plats and Landscape Plans for Phases 2B, 3B, & 4B of the Shores North Subdivision were approved.
- FEBRUARY 6, 2006: [Case No. P2006-004] A Final Plat for Lots 1 & 2, Block 1, Shops at Ridge Creek Addition was approved.
- SEPTEMBER 4, 2012: [Case No. SP2012-019] A Site Plan for the Rockwall Golf and Athletic Club allowing a metal building to provide an office and employee break room was approved.
- NOVEMBER 21, 2013: [Case No. SP2013-018] A Site Plan for the Shores Homeowner's Association's (HOA's) Clubhouse Building was approved.
- DECEMBER 16, 2013: [Case No. P2013-040] A Final Plat for Lots 2 & 3, Block A, The Shores Club House Addition was approved.
- JULY 15, 2014: [Case No. SP2014-015] A Site Plan for the Rockwall Golf and Athletic Club Restroom Facility was approved.



Z2023-038: Amendment to Planned Development District 3 (PD-3)

0 385 770 1,540 2,310 3,080 Feet

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

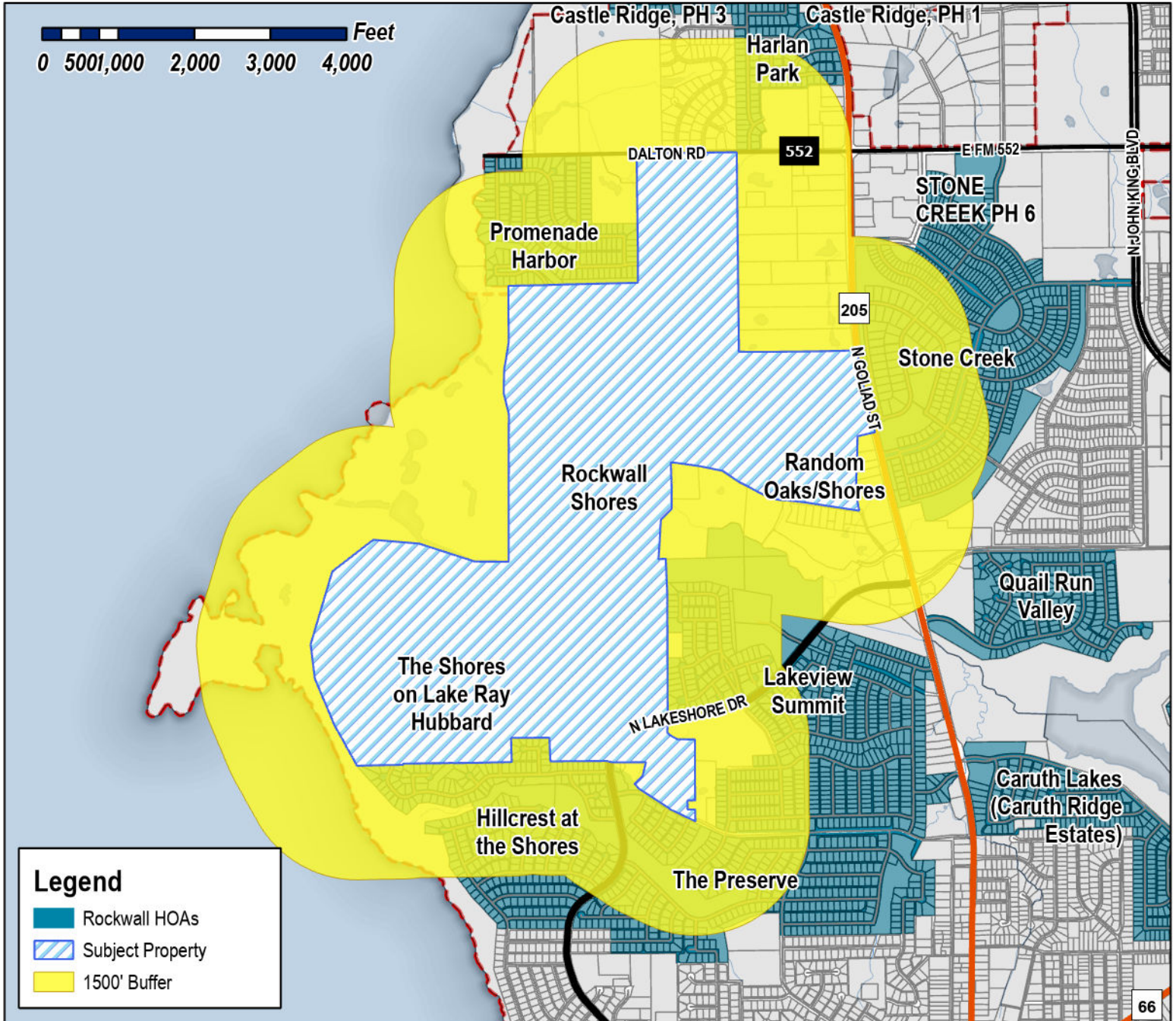




City of Rockwall

Planning & Zoning Department
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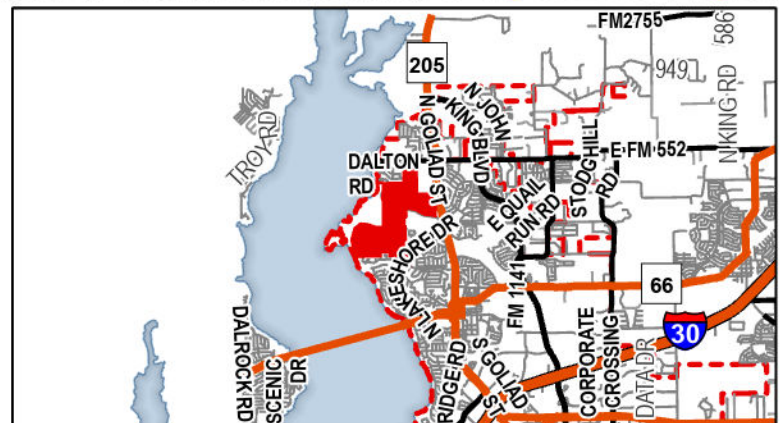
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Case Number: Z2023-038
Case Name: Amendment to PD-3
Case Type: Zoning
Zoning: Planned Development District 3 (PD-3)
Case Address: The Shores Subdivision

Date Saved: 8/16/2023

For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Zavala, Melanie
Sent: Thursday, August 17, 2023 2:02 PM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-038]
Attachments: Public Notice (P&Z) (08.16.2023).pdf; HOA Map (08.16.2023).pdf; Public Notice Letter (08.09.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [August 25, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 12, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 18, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-038: Amendment to PD-3

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a [Zoning Change](#) amending Planned Development District 3 (PD-3) [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23] for the purpose of consolidating the regulating ordinances for a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west of SH-205 [S. Goliad Street], and north of Lake Forest Drive, and take any action necessary.

Thank you,

Melanie Zavala

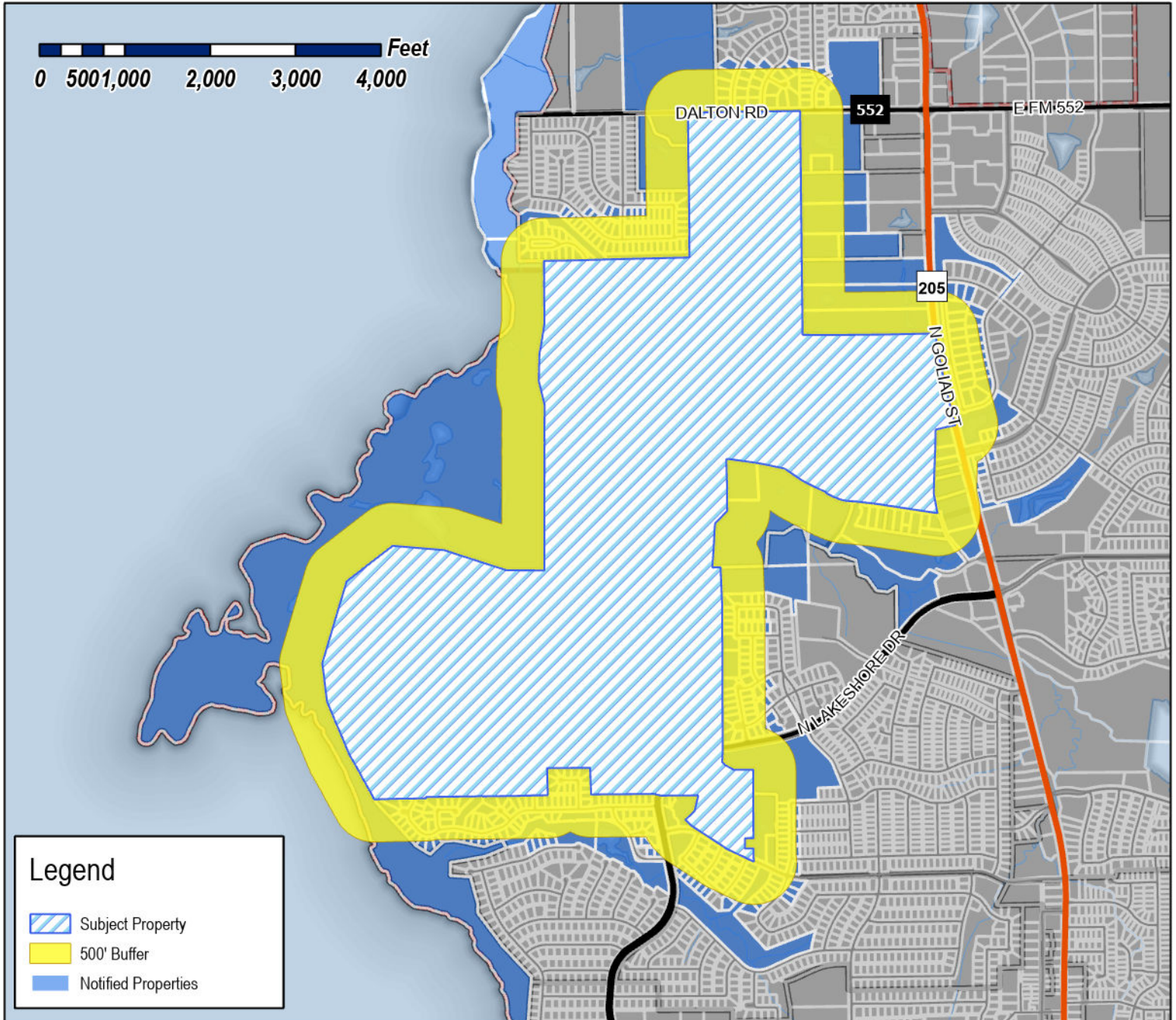
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

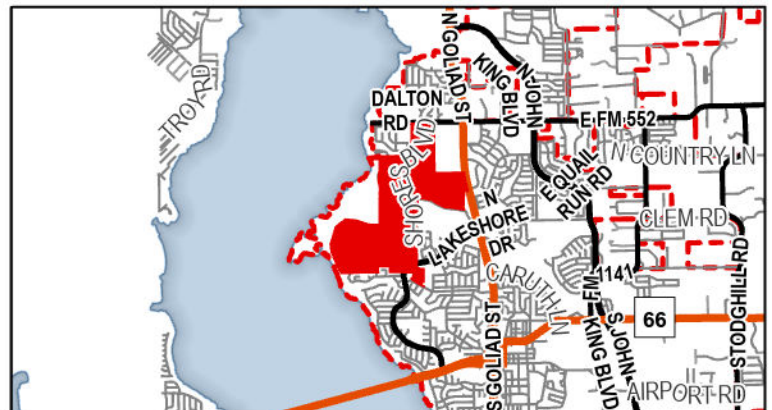
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-038
Case Name: Amendment to PD-3
Case Type: Zoning
Zoning: Planned Development District 3 (PD-3)
Case Address: The Shores Subdivision

Date Saved: 8/16/2023

For Questions on this Case Call: (972) 771-7746



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1000 POTTER AVE
ROCKWALL, TX 75087

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MCLENDON CHISHOLM, TX 75032

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1000 RIDGE ROAD COURT
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ABDUL RAHMAN KHAN AND MAIMOONA
RAHMAN KHAN CO TRUSTEES
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C/O NEIGHBORHOOD MANAGEMENT INC
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1195 LAKE GLEN CIR
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ROSE P LEE
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CHICAGO, IL 60606

SFR TEXAS ACQUISITIONS 1 LLC
120 S RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

HPA TEXAS SUB 2018-1 MS LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HOME PARTNERS OF AMERICA INC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2020-2 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2020-1 GA LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2019-1 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

DENMAN RYAN AND
HOLLY MAPEL
1200 POTTER AVE
ROCKWALL, TX 75087

KOCH EARLIS
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1200 WATERSIDE CIRCLE
ROCKWALL, TX 75087

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1203 WYNDEN CREEK DR
HOUSTON, TX 77056

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1205 SHORES BLVD
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1205 ABERDEEN LANE
ROCKWALL, TX 75087

ECKWERT HI SUN
1205 CRESTCOVE DR
ROCKWALL, TX 75087

MORROW BILL & JUDY LIVING TR
WILBURN B & JUDITH TRUSTEES
1205 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

NEDRUD ERIK & JENNIFER B
1205 ISLEMERE DR
ROCKWALL, TX 75087

SCHROEDER DARYL
1205 LAKE GLEN CIRCLE
ROCKWALL, TX 75087

BALTHROP GREGORY M & SHANNON R
1205 POTTER AVE
ROCKWALL, TX 75087

HARTZKE FRED A ETUX
1205 RIDGE RD W
ROCKWALL, TX 75087

UTNAGE WILLIAM L & VIRGINIA L
12074 RIDGE RD
FORNEY, TX 75126

RESIDENT
1210 RIDGEWAY DR
ROCKWALL, TX 75087

CONSELMAN FRANK B & NICOLE S
1210 CRESTCOVE DR
ROCKWALL, TX 75087

MALLOU DENISE MAXWELL
1210 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

SHORES COUNTRY CLUB LLC
ATTN JOHN DUNN
1210 GLENWOOD
OKLAHOMA CITY, OK 73116

TROXLER MATTHEW T &
DEBORAH A
1210 ISLEMERE DR
ROCKWALL, TX 75087

RAJ SANCHIN D
1210 POTTER AVE
ROCKWALL, TX 75087

QUINONEZ JASON AND HAYLEY
1210 RIDGE RD W
ROCKWALL, TX 75087

JEFFUS JUSTIN AND ERIN
1214 E FORK
ROCKWALL, TX 75087

JACKSON RONALD L &
LEEANN CROSSMAN
1215 ABERDEEN LANE
ROCKWALL, TX 75087

SOLOMON LAURA LEE
1215 COASTAL DR
ROCKWALL, TX 75087

RICHER JAMES E AND
DANIELLA TELLAM
1215 CRESTCOVE DRIVE
ROCKWALL, TX 75087

ELLIS CAMERON AND GINA
1215 ISLEMERE DR
ROCKWALL, TX 75087

HAMMOND JAMES THOMAS AND KATHLEEN
HAVERIN
1215 POTTER AVE
ROCKWALL, TX 75087

BROOKS J CRAIG & LISA M
1215 RIDGE ROAD WEST
ROCKWALL, TX 75087

COLLYEAR DEWITT & KIMBERLY
1215 SHORES BLVD
ROCKWALL, TX 75087

ERIC R AND MARIAH D FRANCIS FAMILY TRUST
ERIC R FRANCIS AND MARIAH D FRANCIS- CO
TRUSTEES
12171 BLUE RIDGE DR
FRISCO, TX 75033

RONALD J BOTT AND EILEEN P BOTT 2000
REVOCABLE TRUST
RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DR
LAKESIDE, CA 92040

RESIDENT
1220 POTTER AVE
ROCKWALL, TX 75087

RESIDENT
1220 RIDGEWAY DR
ROCKWALL, TX 75087

COATS CASEY AND LAUREN
1220 CRESTCOVE DRIVE
ROCKWALL, TX 75087

BLASE CHRISTOPHER & JILL
1220 E FORK
ROCKWALL, TX 75087

BIZO LLC
1220 E FORK
ROCKWALL, TX 75087

BREC ENTERPRISES LLC
1220 E FORK DRIVE
ROCKWALL, TX 75087

WILLMON RENEA MARGARET AND JOEL
THOMAS
1220 ISLEMERE DR
ROCKWALL, TX 75087

SALINAS ROBERT RHONDA
1220 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
1225 SHORES BLVD
ROCKWALL, TX 75087

ERICKSON DAVID L
1225 COASTAL DR
ROCKWALL, TX 75087

BANKSTON HELEN M AND WESLEY
1225 CRESTCOVE DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
1225 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

WOODHAM SIM AND BRANDI G
1225 ISLEMERE DR
ROCKWALL, TX 75087

TIAN PETER PIREN AND LISA YUMEI LU
1225 LADY DE VANCE LN
LEWISVILLE, TX 75056

FIGERT ALEX P & ERIN M
1225 POTTER AVE
ROCKWALL, TX 75087

THOMPSON JACK E & BARBARA E
1225 RIDGE RD W
ROCKWALL, TX 75087

OSORIO ERENDIRA R GUERRERO AND
ORLANDO JESUS OSORIO JIMENEZ
1230 CRESTCOVE DR
ROCKWALL, TX 75087

HOUSER CHRISTIAN & LAURA
1230 ISLEMERE DR
ROCKWALL, TX 75087

GILCREASE JACKIE EUGENE & SANDY ANNE
1230 POTTER AVE
ROCKWALL, TX 75087

DEMARCO DOUGLAS & CHERYLE
1230 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
1235 CRESTCOVE DR
ROCKWALL, TX 75087

RESIDENT
1235 POTTER AVE
ROCKWALL, TX 75087

CRUZ CHRISTIAN SHANE KAIWI AND LISA ANNE
1235 COASTAL DRIVE
ROCKWALL, TX 75087

TOWNSEND MICHAEL G AND MICHELLE G
1235 FAIRLAKES POINTE
ROCKWALL, TX 75087

WHITFIELD JAMES H & SHARON
1235 ISLEMERE DR
ROCKWALL, TX 75087

NORTON CHARLES CHRISTOPHER
1235 RIDGE WEST RD
ROCKWALL, TX 75087

FRERICHS KENNY J & DAVID BUSH
1235 SHORES BLVD
ROCKWALL, TX 75087

ANZAI BYRON H
1239 MISSION DRIVE
ROCKWALL, TX 75087

RESIDENT
1240 ISLEMERE DR
ROCKWALL, TX 75087

DEMIEN ARLIE & TIFFANY
1240 COASTAL DR
ROCKWALL, TX 75087

FLANAGAN SHEREE L
1240 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

DASILVA WAGNER E AND
DAWN M BUSKE DASILVA
1240 POTTER AVENUE
ROCKWALL, TX 75087

GOUCHER DUSTY
1240 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
1245 POTTER AVE
ROCKWALL, TX 75087

MCGILL MARK & CHERI
1245 CRESTCOVE DR
ROCKWALL, TX 75087

BREWER ANNETTE
1245 CRESTWAY DR
ROCKWALL, TX 75087

HUMPHREY MICHAEL D AND KONNI D
1245 ISLEMERE DRIVE
ROCKWALL, TX 75087

HUX MARK
1245 MISSION DR
ROCKWALL, TX 75087

PUMMILL ZACHARY L AND MELISSA A
1245 RIDGE ROAD W
ROCKWALL, TX 75087

MANIS KATHRYN D
1245 SHORES BLVD
ROCKWALL, TX 75087

TAYEM ALEXANDER G & CINDY SIKES
1245 WALES DR
ROCKWALL, TX 75032

MANNING BILLY T & TAMMY L
1250 COASTAL DR
ROCKWALL, TX 75087

ZEPP JENNIFER AND
MARK PHELPS
1250 CRESTCOVE
ROCKWALL, TX 75087

NARVID ANDREA MURPHY AND JUSTIN C
1250 POTTER AVENUE
ROCKWALL, TX 75087

MCCUNE DAVID CHARLES AND PAMELA
1250 RIDGE ROAD WEST
ROCKWALL, TX 75087

CONFIDENTIAL
1251 MISSION DR
ROCKWALL, TX 75087

JAMES DONA D
1255 CRESTCOVE DR
ROCKWALL, TX 75087

EASTLAND LEWIS WILLIAM AND KENDAL ST
CLAIR
1255 CRESTWAY DRIVE
ROCKWALL, TX 75087

MITCHELL JASON N & AMELIA KATRINA
1255 POTTER AVENUE
ROCKWALL, TX 75087

GOFF JAMES AND TIFFANY
1255 RIDGE ROAD WEST
ROCKWALL, TX 75087

TAUZIN MICHAEL JAMES
1255 SHORES BOULEVARD
ROCKWALL, TX 75087

WANG JESSE AND
LESLIE C ROACH
1257 MISSION DR
ROCKWALL, TX 75087

SOWA MARK AND PATRICIA
12573 MONTEGO PLZ
DALLAS, TX 75230

COREY & SHEILA ALSOBROOK REVOCABLE
TRUST
COREY G ALSOBROOK AND SHEILA E
ALSOBROOK- TRUSTEES
1260 COSTAL DRIVE
ROCKWALL, TX 75087

COMINGORE J ANDREW AND M KATIE
1260 CRESTCOVE DR
ROCKWALL, TX 75087

KEY JENNIFER V AND JOSHUA
1260 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

MELTON RICHARD E AND ELIZABETH S
1260 SHORES CT
ROCKWALL, TX 75087

RESIDENT
1263 MISSION DR
ROCKWALL, TX 75087

RESIDENT
1264 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1265 CRESTCOVE DR
ROCKWALL, TX 75087

RESIDENT
1265 CRESTWAY DR
ROCKWALL, TX 75087

RESIDENT
1265 GRANDVIEW DR
ROCKWALL, TX 75087

RESIDENT
1265 SHORES BLVD
ROCKWALL, TX 75087

MAHROUMI MOHAMMAD AND PARISA
SHAHBAZI
MANOCHEHR KIANPOUR
1269 MISSION DRIVE
ROCKWALL, TX 75087

DASGUPTA ROSHNI & AJAY VISVANATHAN
1270 COASTAL DR
ROCKWALL, TX 75087

COOK BRETT AND LISA
1270 CRESTCOVE DRIVE
ROCKWALL, TX 75087

PEYROVAN PEYMAN & MANDANA HAKIMI
1270 GRANDVIEW
ROCKWALL, TX 75087

A WILLIAM AND SANDRA LINGNELL REVOCABLE
TRUST
1270 SHORES CT
ROCKWALL, TX 75087

RWC HILLCREST SHORES THREE HOMEOWNERS
ASSOC INC
C/O PRINCIPAL MANAGEMENT GROUP
12700 PARK CENTRAL DRIVE, SUITE 600
DALLAS, TX 75251

MUMPER MATT A AND PAMELA J
1274 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1275 CRESTWAY DR
ROCKWALL, TX 75087

RESIDENT
1275 GRANDVIEW DR
ROCKWALL, TX 75087

RESIDENT
1275 MISSION DR
ROCKWALL, TX 75087

FARROW DOUGLAS & LYNN
1275 CRESTCOVE DR
ROCKWALL, TX 75087

DALSTON JEAN R & JANICE M
1275 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1280 SHORES CT
ROCKWALL, TX 75087

IGLESIA MIRIAM
1280 COASTAL DR
ROCKWALL, TX 75087

SCICLUNA JON
1280 CRESTCOVE DR
ROCKWALL, TX 75087

LOPEZ FRANKLIN AND AMBER
1280 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

MCCORMICK LINDA
1280 GRANDVIEW DR
ROCKWALL, TX 75087

RESIDENT
1281 MISSION DR
ROCKWALL, TX 75087

ROGERS DEBORAH R
1284 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1285 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
1285 CRESTCOVE DR
ROCKWALL, TX 75087

CLARK BRICE D AND BRITTANY A
1285 CRESTWAY DR
ROCKWALL, TX 75087

GONZALEZ FERNANDO
1285 GRANDVIEW
ROCKWALL, TX 75087

RESIDENT
1287 MISSION DR
ROCKWALL, TX 75087

BOWMAN JOHN II AND DEBORAH A
1290 COASTAL DR
ROCKWALL, TX 75087

BAYIH MESFIN AND
EYERUSALEM ABERA BALAKER
1290 CRESTCOVE DRIVE
ROCKWALL, TX 75087

THELEN ROMAN
1290 FAIRLAKES DR
ROCKWALL, TX 75087

SMITH JAMES R
1290 GRANDVIEW DR
ROCKWALL, TX 75087

CUPPETT BRYAN S & LISA H
1290 SHORES BLVD
ROCKWALL, TX 75087

HARTWIG FENTON WILLIAM & BETSY S
1290 SHORES CT
ROCKWALL, TX 75087

ARDEN JOSEPH R AND
LISA M STEWART ARDEN
1292 HIGHLAND DR
ROCKWALL, TX 75087

CHANDLER JEFFREY & KIMBERLY
1293 MISSION DR
ROCKWALL, TX 75087

RESIDENT
1295 GRANDVIEW DR
ROCKWALL, TX 75087

AYALA LOREANA AND BENY
1295 CRESTCOVE DRIVE
ROCKWALL, TX 75087

DORTON HAROLD AND DIANE M AND
DIANE DORTON
1295 CRESTWAY DRIVE
ROCKWALL, TX 75087

DUPLECHAIN REVOCABLE TRUST
RODNEY J DUPLECHAIN AND SUE A
DUPLECHAIN- COTRUSTEES
1295 SHORES BOULEVARD
ROCKWALL, TX 75087

GUANCIAL JOSEPH LOUIS AND SOPHIA XUAN VO
1299 MISSION DR
ROCKWALL, TX 75087

HOLDER JANICE
1300 CHAMPIONS DRIVE
ROCKWALL, TX 75087

HATHCOCK LANA & CHRISTOPHER
1300 GOLD COAST DRIVE
ROCKWALL, TX 75087

SORENSEN DOUG AND SUSAN
1300 MEANDERING WAY
ROCKWALL, TX 75087

YANCY CHRISTOPHER BURNS & KATHY ELAINE
1300 SCARBORO HILLS LN
ROCKWALL, TX 75087

PITLIK MARTIN & LUANN
1300 SHORES BLVD
ROCKWALL, TX 75087

SCOTT MICHAEL & MANUELA
1300 SHORES CIR
ROCKWALL, TX 75087

CONFIDENTIAL
1303 SHORES CIR
ROCKWALL, TX 75087

KELLY JAMES H IV & DAO
1305 CHAMPIONS DRIVE
ROCKWALL, TX 75087

DUNN KENT AND AMBER
1305 CLEARMEADOW COURT
ROCKWALL, TX 75087

HALL TIMOTHY ROBERT
1305 CRESTWAY DR
ROCKWALL, TX 75087

VANDERPOOL ANDREA T
1305 GOLD COAST DR
ROCKWALL, TX 75087

BELL CHARLES ELMER
1305 MEANDERING WAY
ROCKWALL, TX 75087

WARD COLIN & SHELBY
1305 SHORES BLVD
ROCKWALL, TX 75087

HAND WESLEY C AND KARLIE J
1307 SHORES CIRCLE
ROCKWALL, TX 75087

HARDY DAMON AND JODIE
1309 BRIMWOOD DR
MCKINNEY, TX 75070

KOPINSKI CLIFFORD & BERNIECE B
1309 MEANDERING WAY
ROCKWALL, TX 75087

HEATH RENTAL PROPERTIES LLC
1309 MORAIN PLACE
HEATH, TX 75032

RESIDENT
1310 SHORES BLVD
ROCKWALL, TX 75087

MCCORMACK RODNEY LEE & JULIA
1310 CHAMPIONS DR
ROCKWALL, TX 75087

FIELDSMITH ROBERT NATHAN
1310 CLEARMEADOW COURT
ROCKWALL, TX 75087

HUNT PRISCILLA AND DARREN
1310 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

CANTWELL PATRICK L & JENNY M
1310 GOLD COAST DRIVE
ROCKWALL, TX 75087

PRUITT ROBERT A & NANCY N
1310 MEANDERING WAY
ROCKWALL, TX 75087

DERIEMAECCKER JESSICA AND THOMAS
1310 SCARBORO HILLS LN
ROCKWALL, TX 75087

KIDD STEVEN D & GAYLE R
1310 SHORES CIR
ROCKWALL, TX 75087

WALTERS MICHAEL F & DAWN A
1311 SHORES CIRCLE
ROCKWALL, TX 75087

KIM DANIELLE RENEE & JOHN SUB
1313 MEANDERING WAY
ROCKWALL, TX 75087

RESIDENT
1315 CLEARMEADOW CT
ROCKWALL, TX 75087

MCCALL STEVEN A & MARYANN HALL
1315 CHAMPIONS DRIVE
ROCKWALL, TX 75087

WORSHAM BRAD AND RAEGAN
1315 CRESTWAY DR
ROCKWALL, TX 75087

WRIGHT DAVID A AND JENEE P
1315 SHORES BOULEVARD
ROCKWALL, TX 75087

HICKSON SAM M & DEBORAH
1315 SHORES CIR
ROCKWALL, TX 75087

2019 K.B. OREGAN REVOCABLE TRUST
KEITH JAMES OREGAN & BARBARA LINDSAY
TRUSTEES
1317 MEANDERING WAY
ROCKWALL, TX 75087

LAWHON THOMAS E & DEBORAH J
1319 SHORES CIR
ROCKWALL, TX 75087

JENKS KAREN SUE
1320 CHAMPIONS DRIVE
ROCKWALL, TX 75087

DIXON DOUGLAS E AND ANDREA L
1320 COASTAL DR.
ROCKWALL, TX 75087

CLEMENTS PHILLIP & AMY
1320 COLONIAL CT
ROCKWALL, TX 75087

WILDING DAVID AND MICHELLE
1320 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

SCHWARTZ DAVID M AND CHERYL D
1320 GOLD COAST DR
ROCKWALL, TX 75087

CUNNINGHAM ELIZABETH M
1320 MEANDERING WAY
ROCKWALL, TX 75087

SOTOODEH ALI & NARGES KABIRI
1320 SCARBORO HILLS LANE
ROCKWALL, TX 75087

LANCASTER JERRY GLEN
1320 SHORES BLVD
ROCKWALL, TX 75087

HEJKE K MICHAEL
1320 SHORES CIR
ROCKWALL, TX 75087

RESIDENT
1325 CLEARMEADOW CT
ROCKWALL, TX 75087

RESIDENT
1325 PETALUMA DR
ROCKWALL, TX 75087

RESIDENT
1325 SHORES CIR
ROCKWALL, TX 75087

RESIDENT
1325 TANGLEVINE DR
ROCKWALL, TX 75087

CLARK JAMES RONALD & MARCIA E
1325 CHAMPIONS DR
ROCKWALL, TX 75087

SMITH DAVID & ANDREA
1325 GOLD COAST DRIVE
ROCKWALL, TX 75087

TAYLOR JAMES R
1325 HILLWAY DRIVE
ROCKWALL, TX 75087

GINGERICH PHILIP R & DIANE L
1325 MEANDERING WAY
ROCKWALL, TX 75087

JONES HERMAN B
1325 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1330 CLEAR MEADOW CT
ROCKWALL, TX 75087

RESIDENT
1330 MEANDERING WAY
ROCKWALL, TX 75087

MUNCY WILLARD DON AND NORMA
MCCALLUM
1330 CHAMPIONS DR
ROCKWALL, TX 75087

BOTT ERIC & JULIE
1330 COASTAL DR
ROCKWALL, TX 75087

PEREZ FERDINANDO
1330 CRESTWAY DR
ROCKWALL, TX 75087

DAVIS DARIN L AND LORILYN R
1330 SCARBORO HILLS LN
ROCKWALL, TX 75087

BRITT SUSAN JANETTE
1330 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
1330 SHORES CIR
ROCKWALL, TX 75087

SIMS BENJAMIN D
1335 CHAMPIONS DRIVE
ROCKWALL, TX 75087

SELF DAVID & DEBRA
1335 CLEAR MEADOW COURT
ROCKWALL, TX 75087

BELTRAN WILLIE AND ANNE
1335 CLUBHILL DRIVE
ROCKWALL, TX 75087

CARLETON REVOCABLE LIVING TRUST
GEOFFREY A AND PHUONG M CARLETON
TRUSTEES
1335 COLONIAL CT
ROCKWALL, TX 75087

ACKERMAN KRISTA J
1335 GOLD COAST DR
ROCKWALL, TX 75087

ABDELSHAHIED MAHER &
ROSE MARIE
1335 MEANDERING WAY
ROCKWALL, TX 75087

BINGHAM WAYNE DOUGLAS & MARY KATHRYN
1335 SHORES BLVD
ROCKWALL, TX 75087

KELLY KEVIN B ETUX
1335 SHORES CIR
ROCKWALL, TX 75087

WALTER PAMELA H
1335 TANGLEVINE LN
ROCKWALL, TX 75087

BASINGER RICHARD R AND MARY D
1340 CHAMPIONS DR
ROCKWALL, TX 75087

SPIERS TERRY L & ANA P
1340 CLEAR MEADOW COURT
ROCKWALL, TX 75087

SIMOWITZ MARK AND
LETICIA UNDERWOOD
1340 COASTAL DRIVE
ROCKWALL, TX 75087

SEARCY LAURA L
1340 COLONIAL CT
ROCKWALL, TX 75087

WILLIAMS LETA A
1340 CRESTWAY DR
ROCKWALL, TX 75087

NORVELL RONNIE L & ROBBIE L
1340 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

TUCKER PATRICIA ANN
1340 MEANDERING WAY
ROCKWALL, TX 75087

DWORKIN ROBERT E AND PATRICIA M
1340 SCARBORO HILLS LN
ROCKWALL, TX 75087

EDDIE AND EDITH FRAZIER REVOCABLE TRUST
EDDIE LEON FRAZIER AND EDITH ANN FRAZIER-
COTRUSTEES
1340 SHORES BLVD
ROCKWALL, TX 75087

SCHWANEKE EDWARD E ETUX
1340 SHORES CIR
ROCKWALL, TX 75087

WALKER LEONARD A JR & TRESSIA Y
1340 TANGLEVINE LN
ROCKWALL, TX 75087

TRESHOCK WILLIAM AND EMILY ANN MATSON
1341 SCARBORO HILLS LANE
ROCKWALL, TX 75087

GERLACH CHRISS AND RON FAMILY TRUST
RON GERLACH, TRUSTEE
13435 ROANE CIR
SANTA ANA, CA 92705

GARDENCREST SERIES
A SEPARATE SERIES OF CAYUGA REALTY LLC
13449 BIGELOW LANE
FRISCO, TX 75035

RESIDENT
1345 CLEARMEADOW CT
ROCKWALL, TX 75087

MUSSER ROGER L & CAROL E
1345 CHAMPIONS DR
ROCKWALL, TX 75087

RODEN JERRY & SHARON
1345 CLUBHILL DR
ROCKWALL, TX 75087

JORDAN ROY L & STACY L
1345 GOLD COAST DR
ROCKWALL, TX 75087

FISHER JENNIFER A
1345 HILLWAY DR
ROCKWALL, TX 75087

ULLMANN JOSEPH J & ELIZABETH
1345 MEANDERING WAY
ROCKWALL, TX 75087

SACHSE JUSTIN & LISA M
1345 PEBBLE HILLS DR
ROCKWALL, TX 75087

NICHOL CHARLES T & KAREN R
1345 SHORES BLVD
ROCKWALL, TX 75087

KRIKORIAN RICHARD N & KATHERINE S
1345 SHORES CIR
ROCKWALL, TX 75087

JESTER IRVING P & ALICE
1345 TANGLEVINE LN
ROCKWALL, TX 75087

RESIDENT
1350 CLEARMEADOW CT
ROCKWALL, TX 75087

RESIDENT
1350 WHITE SAND DR
ROCKWALL, TX 75087

BROESKE JASON S AND CRISTINA
1350 CHAMPIONS DR
ROCKWALL, TX 75087

FIKES JAY S
1350 COASTAL DR
ROCKWALL, TX 75087

IRWIN CHARLES H & WILMA K
1350 COLONIAL CT
ROCKWALL, TX 75087

PRATER CHRISTOPHER WARREN & MEREDITH
1350 LEEWARD DR
ROCKWALL, TX 75087

SANSOM TED & ANN
1350 MEANDERING WAY
ROCKWALL, TX 75087

PIKE FAMILY TRUST
1350 MISTY COVE
ROCKWALL, TX 75087

RANDOLPH LARRY L & CHARLOTTE
1350 PEBBLE HILLS DR
ROCKWALL, TX 75087

GOAD JOHN C
1350 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

PARNELL BRIAN AND BRIANA
1350 SCARBORO HILLS LANE
ROCKWALL, TX 75087

LINDSEY WAYNE III
1350 SHORES BLVD
ROCKWALL, TX 75087

HOFMANN SASCHA FRANZ & MARIA E
1350 SHORES CIRCLE
ROCKWALL, TX 75087

ELLIS LAKE AND ELIZABETH
1351 COASTAL DR
ROCKWALL, TX 75087

BROWN BENJAMIN AND MAURA H D
1351 LEEWARD DR
ROCKWALL, TX 75087

ASBELL JOHN C & PAMELA K
1351 MISTY CV
ROCKWALL, TX 75087

RIPPY REVOCABLE TRUST
1351 SCARBORO HILLS LN
ROCKWALL, TX 75087

HUNTER JERRY & KIM
1351 WHITE SAND DRIVE
ROCKWALL, TX 75087

RESIDENT
1355 TANGLEVINE DR
ROCKWALL, TX 75087

SANDERS BRIAN PETER AND CASSANDRA ALICE
1355 CLEAR MEADOW CT
ROCKWALL, TX 75087

SWIERCINSKY JOSHUA L
1355 CLUBHILL DR
ROCKWALL, TX 75087

STURKIE DONNA AND DAVID
1355 COLONIAL CT
ROCKWALL, TX 75087

LYONS JONATHAN D AND HOLLY E
1355 SHORES BOULEVARD
ROCKWALL, TX 75087

NEWSOM RUSSELL AND OLIVIA
1355 SHORES CIRCLE
ROCKWALL, TX 75087

BROZE GREGORY J & KATHLEEN K
1360 CHAMPIONS DR
ROCKWALL, TX 75087

STERLING MICHAEL C & KENYATTA T
1360 CLUBHILL ROAD
ROCKWALL, TX 75087

COLE CHARLES C AND
LADONNA L IMMKEN
1360 COASTAL DR
ROCKWALL, TX 75087

BLACKWELL GILBERT & MICHELLE
1360 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

LEDE' HOWARD G AND ANNETTE M
1360 GOLD COAST DRIVE
ROCKWALL, TX 75087

VAN MAREL CARL J REV TR
CARL J & SARA S VAN MAREL CO TRUSTEES
1360 LEEWARD DR
ROCKWALL, TX 75087

LAZORKO JACK & BRENDA G
1360 MEANDERING WAY
ROCKWALL, TX 75087

MURREY JOHN & ROSA
1360 MISTY COVE
ROCKWALL, TX 75087

NEECE SCOTT AND CARA
1360 RIVERSIDE OAK DR
ROCKWALL, TX 75087

MAGILL MICHAEL
1360 SCARBORO HILLS LANE
ROCKWALL, TX 75087

BROSIG DANIEL & DANIELA
1360 SHORES BOULEVARD
ROCKWALL, TX 75087

JANENE MAXINE SHANKS REVOCABLE TRUST
JANENE MAXINE SHANKS- TRUSTEE
1360 SHORES CIRCLE
ROCKWALL, TX 75087

THOMPSON BENJAMIN R & COURTNEY B
1360 SOUTHERN PINES
ROCKWALL, TX 75087

CARBAUGH KEVAN J AND ALICIA REBECA
1360 TANGLEVINE LANE
ROCKWALL, TX 75087

RAY MICHAEL AND ASHLEY
1360 WHITE SAND DR
ROCKWALL, TX 75087

ENGLISH SCOTT T & GRETCHEN
1361 COASTAL DR
ROCKWALL, TX 75087

NUYTEN CHRISTOPHER C AND
KATHLEEN T NUYTEN
1361 LEEWARD DR
ROCKWALL, TX 75087

NEYLAND MATTHEW AARON AND TAMSYN
ALICIA
1361 MISTY COVE DR
ROCKWALL, TX 75087

POSEY STEPHEN
1361 RIVERSIDE OAKS DRIVE
ROCKWALL, TX 75087

SAMPLES KEVIN W & AMANDA J
1361 SCARBORO HILLS LN
ROCKWALL, TX 75087

MOSELEY JULIA BETH AND CODY ALLEN
1361 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1365 CLEARMEADOW CT
ROCKWALL, TX 75087

RESIDENT
1365 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1365 SOUTHERN PINES DR
ROCKWALL, TX 75087

GALLANDER TYSON & SUSAN
1365 CLUBHILL DRIVE
ROCKWALL, TX 75087

TRAIL MARK A & DIANE P
1365 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

UUSITALO JOUNI
1365 PEBBLE HILLS DR
ROCKWALL, TX 75087

HARTE REBECCA J & MICHAEL D
1365 SHORES CIR
ROCKWALL, TX 75087

RAYSHELL DRAKE M & SHELBY M
1365 TANGLEVINE LANE
ROCKWALL, TX 75087

RESIDENT
1370 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

RESIDENT
1370 TANGLEVINE DR
ROCKWALL, TX 75087

PLUMMER JAROD AND HOLLY
1370 CHAMPIONS DR
ROCKWALL, TX 75087

VANDERVER WES A & SARA A
1370 CLEAR MEADOW COURT
ROCKWALL, TX 75087

STARK KELLY
1370 COASTAL DR
ROCKWALL, TX 75087

HALLFORD BARON & STEPHANIE
1370 GOLD COAST DR
ROCKWALL, TX 75087

ROHRIG JAMES & LAURA
1370 LEEWARD DR
ROCKWALL, TX 75087

KARGAKIS GEORGIOS & LAURA COOKIE
SHAPIRO-KARGAKIS
1370 MEANDERING WAY
ROCKWALL, TX 75087

2022 S A SPROUL REVOCABLE TRUST
STACEY ANN SPROUL- TRUSTEE
1370 MISTY COVE
ROCKWALL, TX 75087

WELCH GERALD J AND ELIZABETH A
1370 PEBBLE HILLS DR
ROCKWALL, TX 75087

COOK DAVID L AND NANCY A
1370 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

WHATLEY KYLE THOMAS AND ERICA KRUEGER
1370 SCARBORO HILLS LN
ROCKWALL, TX 75087

GARRISON CHARLES AND SHASTA
1370 SHORES BLVD
ROCKWALL, TX 75087

THOMPSON MAURICE AND
PAT HARDEN
1370 SHORES CIRCLE
ROCKWALL, TX 75087

CUNDY ROBERT PETER & MILDRED ARLENE
1370 SOUTHERN PNES
ROCKWALL, TX 75087

PARKER PAUL G & ALEIDA G
1370 WHITE SAND DRIVE
ROCKWALL, TX 75087

RESIDENT
1371 COASTAL DR
ROCKWALL, TX 75087

ASBILL JOINT REVOCABLE LIVING TRUST
1371 LEEWARD DR
ROCKWALL, TX 75087

CURRY RUSSELL E & HYON C
1371 MISTY CV
ROCKWALL, TX 75087

TEDDER PAUL BURTON AND JANET
1371 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

COOK MICHAEL D & TERESA
1371 SCARBORO HILLS LN
ROCKWALL, TX 75087

NAUERT MELANIE BLISS
1371 WHITE SAND DRIVE
ROCKWALL, TX 75087

MELLODY-CAMACHO GERARD AND CASEY
13734 BRAMBOROUGH ROAD
HUNTERSVILLE, NC 28078

RESIDENT
1375 CLEARMEADOW CT
ROCKWALL, TX 75087

SANFORD JOSHUA K
1375 CLUBHILL DR
ROCKWALL, TX 75087

ZOUTMAN DEBRA LYNN
1375 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

HAYEK CAROLINE C
1375 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

DURAN EMILIO AND BARBARA
1375 SHORES BLVD
ROCKWALL, TX 75087

JOHNSEN AMANDA AND KENNETH
1375 SHORES CIR
ROCKWALL, TX 75087

RESIDENT
1380 MEANDERING WAY
ROCKWALL, TX 75087

RESIDENT
1380 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

MASELLA JOSHUA DANIEL
1380 CLUBHILL DR
ROCKWALL, TX 75087

NOWACZYK DARREN
1380 COASTAL DRIVE
ROCKWALL, TX 75087

MARTINSON ERIC AND CINDY
1380 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

JARMUSCH KIRSTEN PATRICE
1380 GOLD COAST DR
ROCKWALL, TX 75087

GOBER COURTNEY AND DEVYN
1380 LEEWARD DR
ROCKWALL, TX 75087

MCINTIRE ROBERT AND SUSAN
1380 MISTY COVE DR
ROCKWALL, TX 75087

PETERSON MATTHEW DAVID AND KEELY ANNE
1380 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

MORRIS TAYLOR AND AMBER
1380 SCARBORO HILLS LM
ROCKWALL, TX 75087

MISHOU STEPHANIE COLBERT
1380 SHORE BLVD
ROCKWALL, TX 75087

MCKEE MARCUS D & GENA
1380 SHORES CIR
ROCKWALL, TX 75087

LOCKWOOD RYAN
1380 SOUTHERN PINES
ROCKWALL, TX 75087

LANGFORD JAMES GORDON
1380 TANGLEVINE LANE
ROCKWALL, TX 75087

CONFIDENTIAL
1380 WHITE SAND DR
ROCKWALL, TX 75087

MIX B CLAIRE
1380 WHITNEY LAKES DR
ROCKWALL, TX 75087

YATES MICHAEL CHRISTOPHER AND
AMIE CHEATHAM
1381 COASTAL DRIVE
ROCKWALL, TX 75087

HARGROVE TODD & TONDA
1381 LEEWARD DR
ROCKWALL, TX 75087

EVANS KRIS AND AMANDA
1381 MISTY COVE DR
ROCKWALL, TX 75087

JONES IAN D AND CASSANDRA R
1381 RIVERSIDE OAKS DRIVE
ROCKWALL, TX 75087

DICKERSON JODY AND
ASHWORTH JEFFREY D
1381 SCARBORO HILLS LANE
ROCKWALL, TX 75087

KEARNS WILLIAM JOSEPH JR
1381 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1385 TANGLEVINE DR
ROCKWALL, TX 75087

RESIDENT
1385 WHITNEY LAKES DR
ROCKWALL, TX 75087

GAGE DONALD R & GAIL M
1385 CLUBHILL DR
ROCKWALL, TX 75087

MORROW SHANNON AND CHRISTOPHER
1385 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

BROWN HUBERT E & NORMA J
1385 PEBBLE HILLS DR
ROCKWALL, TX 75087

SMITH MICHAEL D & KELLYE M
1385 SHORES BLVD
ROCKWALL, TX 75087

WEBB KAMI W & JASON M
1385 SHORES CIRCLE
ROCKWALL, TX 75087

ANDERSON VERNON & HARRIET
1385 SOUTHERN PNES
ROCKWALL, TX 75087

DUNCAN JEFFREY A & NANCY S
139 HUNTER LN
SAVANNAH, GA 31405

CAMPOS BENJAMIN & TRACY
139 WAGON TRAIL
ROCKWALL, TX 75032

DUNIGAN FRANK C
1390 COASTAL DR
ROCKWALL, TX 75087

JOHNSON GREGORY DON
1390 GOLD COAST DR
ROCKWALL, TX 75087

SMITH FRANKLIN & ARMENIA
1390 LEEWARD DR
ROCKWALL, TX 75087

FLETCHER PATRICK D & LINDA D
1390 MEANDERING WAY
ROCKWALL, TX 75087

TARANGO HERCULES & MARIA
1390 MISTY CV
ROCKWALL, TX 75087

GIARDINO ANDREW AND ANNE
1390 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

DIVITA PAUL S & D LYNNE
1390 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

ALBRECHT ERIC W & STEPHANIE L
1390 SCARBORO HILLS LN
ROCKWALL, TX 75087

VALENTINE H WAYNE
1390 SHORES BLVD
ROCKWALL, TX 75087

JONES SUNNY & MICHAEL BRENT
1390 SOUTHERN PINES
ROCKWALL, TX 75087

NEECE DAVID W SR & LYNNE MARIE
1390 TANGLEVINE LN
ROCKWALL, TX 75087

LLAVONA RAMON J AND LAURA M
1390 WHITE SAND DR
ROCKWALL, TX 75087

ADAMS INNA AND DAVID M
1390 WHITNEY LAKES DRIVE
ROCKWALL, TX 75087

ALPERT SHIRLEY
1391 COASTAL DR
ROCKWALL, TX 75087

ROTH DOUGLAS R & HEATHER Z
1391 LEEWARD DR
ROCKWALL, TX 75087

BURNS EDWARD E III AND JULI
1391 MISTY COVE
ROCKWALL, TX 75087

CHIDESTER RONALD C JR & MONIDA LA TERISA
1391 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

BROOKS CECIL S III & KARLY E
1391 SCARBORO HILLS LN
ROCKWALL, TX 75087

STONE STEVEN T
1391 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1395 CLEARMEADOW CT
ROCKWALL, TX 75087

JIMMIE MCKENNEY LIFE ESTATE AND
MARIA VICTORIA BARTSCH
1395 CLUBHILL DRIVE
ROCKWALL, TX 75087

CROCKER MICHAELA C AND
LEE A BAESLER
1395 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

RATTLER NEKITHA TOSHEA
1395 SHORES BLVD
ROCKWALL, TX 75087

STUART MICHAEL D AND REBECCA
1395 SOUTHERN PINES
ROCKWALL, TX 75087

SOUTH STACY M AND STACEY M
1395 WHITNEY LAKES DR
ROCKWALL, TX 75087

KURUVILA JACOB KUNNIRICKAL AND SUJAMMA
14 NUGENT STREET
NEW HYDE PARK, NY 11040

RESIDENT
1400 CHAMPIONS DR
ROCKWALL, TX 75087

QUILL DAVID
1400 CLUBHILL DR
ROCKWALL, TX 75087

TRAXLER DEBRA
1400 COASTAL DR
ROCKWALL, TX 75087

ESTRIDGE RONALD D & KAREN D
1400 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

LOWRANCE ROBERT L & CHRISTINE J
1400 GOLD COAST DR
ROCKWALL, TX 75087

MUMFORD BLAKE
1400 LEEWARD DRIVE
ROCKWALL, TX 75087

MERRITT CHRISTOPHER S
1400 MEANDERING WAY
ROCKWALL, TX 75087

JOHNSON RUTH A
1400 MISTY CV
ROCKWALL, TX 75087

BOEHM JEFFREY S & LISA
1400 PLUMMER DR
ROCKWALL, TX 75087

MILLS SEAN & CATHERINE
1400 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

WILEY JEFFREY J & MARCELLA I
1400 SCARBORO HILLS LN
ROCKWALL, TX 75087

ALEXANDER WILLIAM JACKSON
1400 SOUTHERN PINES DR
ROCKWALL, TX 75087

WILSON ANDREW AND CARRI
1400 TANGLEVINE LANE
ROCKWALL, TX 75087

PUGSLEY RICHARD D & KIM M
1400 WHITE SAND DR
ROCKWALL, TX 75087

TROWBRIDGE LEROY
1400 WHITNEY LAKES DR
ROCKWALL, TX 75087

BROUILLETTE DON PAUL & NICOLE K
1401 COASTAL DR
ROCKWALL, TX 75087

CUELLAR CRISTINA & SALOMON
1401 LEEWARD DR
ROCKWALL, TX 75087

SLINKARD TREY AND JACKIE
1401 MISTY COVE
ROCKWALL, TX 75087

BOWLES ANTHONY W AND KELSEY M
1401 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

YOUNG HENRY & KATHLEEN
1401 SCARBORO HILLS LN
ROCKWALL, TX 75087

WILHELM DEBRA LYN & STEVEN D
1401 WHITE SAND DR
ROCKWALL, TX 75087

KABOBEL GRANT PETER AND
NICOLE RAMONITA MORENO
1403 SAN BRUNO COURT
ROCKWALL, TX 75087

RESIDENT
1405 PEBBLE HILLS DR
ROCKWALL, TX 75087

RESIDENT
1405 SHORES BLVD
ROCKWALL, TX 75087

BACH GEORGE L & JANE K
1405 CLUBHILL DRIVE
ROCKWALL, TX 75087

SHEFFIELD CLAYTON AND ANGELA SLAWINSKI
1405 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

DAY LISA R
1405 MEADOWS DR
ROCKWALL, TX 75087

DINNELL AMANDA AND ROBERT JOHN
1405 MEANDERING WAY
ROCKWALL, TX 75087

WALES JUSTIN TYLER
1405 PLUMMER DRIVE
ROCKWALL, TX 75087

KHIEN TY & SEYLA EANG
1405 SOUTHERN PINE DRIVE
ROCKWALL, TX 75087

MCGUIRE JAMES CASE AND PAULA
1405 WHITNEY LAKES DR
ROCKWALL, TX 75087

JONES LAURENT & ROBIN
14069 DOVE CANYON DR
RIVERSIDE, CA 92503

VOGT NATHANIEL HENRY AND JENNIFER R
1407 SAN BRUNO COURT
ROCKWALL, TX 75087

FIRST UNITED METHODIST CHURCH
1408 S GOLIAD ST
ROCKWALL, TX 75087

SUDBOROUGH IVAN HAL &
LINDA MORALES
1410 COASTAL DR
ROCKWALL, TX 75087

DUE KEITH & SHERRI
1410 GOLD COAST DR
ROCKWALL, TX 75087

TRIGO KIMBERLY E AND RONALD D
1410 LEEWARD DR
ROCKWALL, TX 75087

CONFIDENTIAL
1410 MEANDERING WAY
ROCKWALL, TX 75087

SHEPARD DARLA J
1410 MERION DR
ROCKWALL, TX 75087

MORGAN CHAD D AND MAEGAN S
1410 MISTY COVE
ROCKWALL, TX 75087

MATTSON MARK W & DOMONIE
1410 PEBBLE HILLS DR
ROCKWALL, TX 75087

PARKER H WAYNE JR & PATRICIA
1410 PLUMMER DR
ROCKWALL, TX 75087

CEDAR ROBERT K & PAULA S
1410 RIVERSIDE OAKS DRIVE
ROCKWALL, TX 75087

NELSON ALAN G & LINDA J
1410 SCARBORO HILLS LN
ROCKWALL, TX 75087

BRINKLEY JESSE K
1410 TANGLEVINE DR
ROCKWALL, TX 75087

LEFF RYAN R AND SUSAN K
1410 WHITE SAND DR
ROCKWALL, TX 75087

KOKARAM VICTORIUS AND
MARGARET A MCBRIDE
1410 WHITNEY LAKES DRIVE
ROCKWALL, TX 75087

NOFZIGER SCOTT
1411 COASTAL DR
ROCKWALL, TX 75087

AKRIDGE SHERRIE ANN
1411 LEEWARD DR
ROCKWALL, TX 75087

MORRIS BRANDON K & JAN P
1411 MISTY CV
ROCKWALL, TX 75087

TAWADROUS ZAKARIA AND MARIANA
1411 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

SANCHEZ LUIS
1411 WHITE SAND
ROCKWALL, TX 75087

BINGHAM KURT D AND BRENDA R
1415 CLUBHILL DR
ROCKWALL, TX 75087

ROLLINS DEBORAH & BILLY
1415 MEADOWS DR
ROCKWALL, TX 75087

KING SHAUN BUCKLEY AND MARY CLAIRE
1415 MEANDERING WAY
ROCKWALL, TX 75087

SULLIVAN TIMOTHY E & JOYCE
1415 PLUMMER DR
ROCKWALL, TX 75087

ARCENEUX WAYNE T
1415 SHORES BOULEVARD
ROCKWALL, TX 75087

FATHKE AMANDA AND ROBERT DWAYNE
1415 SOUTHERN PNES
ROCKWALL, TX 75087

BROWN ANGELA
1415 WHITNEY LAKES DR
ROCKWALL, TX 75087

SMITH ELIZABETH & IAN J
1420 CLUBHILL DRIVE
ROCKWALL, TX 75087

CONIGLIO CHRISTOPHER & BRANDIE
1420 COASTAL DRIVE
ROCKWALL, TX 75087

SULLIVAN BRIAN AND GABRIELLA
1420 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

GARRETT GARY R AND HOLLY L
1420 GOLD COAST DR
ROCKWALL, TX 75087

BURNETT SARAHA E & GARY W
1420 LEEWARD DRIVE
ROCKWALL, TX 75087

HOLLOWAY TY W
1420 MEANDERING WAY
ROCKWALL, TX 75087

RIMMER J DUANE & ALEXIA W
1420 MERION DR
ROCKWALL, TX 75087

TAYLOR MELISSA S
1420 MISTY COVE DRIVE
ROCKWALL, TX 75087

MITCHELL LETHA DANIELLE
1420 PLUMMER DR
ROCKWALL, TX 75087

PARKER BRYAN L & DENISE R
1420 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

FISCHER JASON AND STEPHANIE M
1420 SCARBORO HILLS LN
ROCKWALL, TX 75087

SHOLTIS EUGENE J JR AND SHANNON L
1420 TANGLEVINE LN
ROCKWALL, TX 75087

PITCHLYN DEANO M & LYNETTE A
1420 WHITE SAND DR
ROCKWALL, TX 75087

ATTEBERRY KELLE
1421 COASTAL DRIVE
ROCKWALL, TX 75087

MCLEOD KIMBERLY
1421 MISTY COVE DRIVE
ROCKWALL, TX 75087

CRAIN RONNIE R AND LAURA K
1421 RIVERSIDE OAK DR
ROCKWALL, TX 75087

STARR NATHAN
1421 SCARBORO HILLS LANE
ROCKWALL, TX 75087

YANG SIMON AND
FANG JUNG YE
1421 WHITE SAND DRIVE
ROCKWALL, TX 75087

ALAN J WONSOWSKI REVOCABLE TRUST &
FRANCES H WONSOWSKI REVOCABLE TRUST
ALAN J WONSOWSKI AND FRANCES H
WONSOWSKI- TRUSTEES
1425 CARMEL DRIVE
ROCKWALL, TX 75087

LUTZEL TED W & GENNY
1425 CLUBHILL DR
ROCKWALL, TX 75087

CARRASCO CHRIS AND KIMBERLY
1425 FAIRLAKES POINTE
ROCKWALL, TX 75087

CARTER ELIAS J
1425 MEADOWS DRIVE
ROCKWALL, TX 75087

HENSLEY ALBERT R
1425 MEANDERING WAY
ROCKWALL, TX 75087

LINDSAY RICHARD H AND DEBRA K LIVING
TRUST
1425 PEBBLE HILLS DR
ROCKWALL, TX 75087

CARMICHAEL GLENN JAMES JR
1425 PLUMMER DR
ROCKWALL, TX 75087

PARKS AMY E
1425 WHITNEY LAKES DRIVE
ROCKWALL, TX 75087

MICHAELS DONNA LORETTA GAIL
1430 CLUB HILL DRIVE
ROCKWALL, TX 75087

SPERLICH ROLAND & JENNIFER
1430 COASTAL DRIVE
ROCKWALL, TX 75087

SUMMERS JILL ANN
1430 GOLD COAST DR
ROCKWALL, TX 75087

BARNETT JOHN ROBERT ETUX
1430 MEANDERING WAY
ROCKWALL, TX 75087

REEDER JOHN KARL
1430 MERION DR
ROCKWALL, TX 75087

ELSIK SCOT & KIMBERLY
1430 MISTY CV
ROCKWALL, TX 75087

MATTHYS CHARLES D & JANIS E
1430 PEBBLE HILLS DR
ROCKWALL, TX 75087

MINO MICHAEL P AND JACI S
1430 PLUMMER DR
ROCKWALL, TX 75087

COX SHULER P & KATHALYN
1430 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

WOMACK TIMOTHY R & AMY E
1430 SCARBORO HILLS LN
ROCKWALL, TX 75087

LOVE PRESTON AND SHANNON
1430 WHITE SAND DR
ROCKWALL, TX 75087

TAN FELECIA
14300 CERVANTES AVE
GERMANTOWN, MD 20874

COFFMAN THOMAS E &
LINDA DARNELL
1431 COASTAL DR
ROCKWALL, TX 75087

COFFMAN THOMAS E & LINDA
1431 COASTAL DR
ROCKWALL, TX 75087

BADER THOMAS WILLIAM AND MARGARET
ABIGAIL URBAN-BADER
1431 MISTY COVE
ROCKWALL, TX 75087

WARREN LINCOLN E III & NANCY BRANDON
1431 RIVERSIDE OAKS
ROCKWALL, TX 75087

AMICK ROBERT L & SANDRA S
1431 SCARBORO HILLS LN
ROCKWALL, TX 75087

ABREGO DARRIN K & DARLA R
1431 WHITE SAND DRIVE
ROCKWALL, TX 75087

MARTINEZ JOSE GONZALEZ
1435 CARMEL DRIVE
ROCKWALL, TX 75087

QUARTRONE WILLIAM B JR AND JULIE A
1435 CLUBHILL DR
ROCKWALL, TX 75087

PORTER ELIZABETH B
1435 MEADOWS DR
ROCKWALL, TX 75087

WOODSON THOMAS D
1435 MEANDERING WAY
ROCKWALL, TX 75087

HAMILTON SHAWN & SANDRA
1435 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

WEATHERS THERESA
1435 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1440 MISTY COVE DR
ROCKWALL, TX 75087

RESIDENT
1440 TANGLEVINE DR
ROCKWALL, TX 75087

CONFIDENTIAL
1440 CLUBHILL DRIVE
ROCKWALL, TX 75087

CLEMENT CHRISTOPHER ROBERT
1440 COASTAL DR
ROCKWALL, TX 75087

CAREY KACIE L & MICHAEL D
1440 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

BARKER ROBERT BRUCE RICHARD AND DANICA
BRYN
1440 GOLD COAST DRIVE
ROCKWALL, TX 75087

OLTMANNS RICHARD E & MARY
1440 MEANDERING WAY
ROCKWALL, TX 75087

ROBERT FITZGERALD REVOCABLE TRUST
ROBERT FITZGERALD-TRUSTEE
1440 MERION DRIVE
ROCKWALL, TX 75087

JACKSON ALAN P & CYNTHIA W
1440 PLUMMER DR
ROCKWALL, TX 75087

POWELL LINDSEY AND ROBERT RAINER
1440 SCARBORO HILLS LANE
ROCKWALL, TX 75087

WALKER JEFFREY LEE
1440 WHITE SAND DR
ROCKWALL, TX 75087

PACESETTER HOMES LLC
14400 THE LAKES BLVD BUILDING C, SUITE 200
AUSTIN, TX 78660

WANTTAJA KEITH F
1441 COASTAL DRIVE
ROCKWALL, TX 75087

MUNDEN MICHAEL D & LOUANNE B
1441 MISTY CV
ROCKWALL, TX 75087

HAINLINE WILLIAM AND LORI
1441 RIVERSIDE OAK DR
ROCKWALL, TX 75087

TORRE DANIEL ALEJANDRO DE LA AND NAOMI
CAROL DE LA
1441 WHITE SASND DR
ROCKWALL, TX 75087

RESIDENT
1445 CLUBHILL DR
ROCKWALL, TX 75087

SINGLETON MICHAEL AND LYMEDA
1445 CARMEL DRIVE
ROCKWALL, TX 75087

ANDREWS DARRIN
1445 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

ILAOA BARBARA
1445 MEADOWS DR
ROCKWALL, TX 75087

COOK JONATHAN EMERY & REBECCA ANN
1445 MEANDERING WAY
ROCKWALL, TX 75087

COLLINS HARVEY
1445 PEBBLE HILLS DR
ROCKWALL, TX 75087

CUTLER VIVIAN M
1445 PLUMER DR
ROCKWALL, TX 75087

RESIDENT
1450 PLUMMER DR
ROCKWALL, TX 75087

WALSER JERRY B & DEBBIE K
1450 ASHBOURNE DR
ROCKWALL, TX 75087

BOYKIN MADELYN AND JACK
1450 CLUBHILL DR
ROCKWALL, TX 75087

2016 S H STEVENSON REVOCABLE TRUST
1450 COASTAL DRIVE
ROCKWALL, TX 75087

HURD DEBORAH
1450 MEANDERING WAY
ROCKWALL, TX 75087

JACKSON DAVID B & CONSTANCE
1450 MERION DR
ROCKWALL, TX 75087

HUBER LEE M
1450 MISTY CV
ROCKWALL, TX 75087

BROWN CHRISTOPHER W AND JAMIE L
1450 WHITE SAND DR
ROCKWALL, TX 75087

ZEARES MELINDA A
1451 COASTAL DR
ROCKWALL, TX 75087

DUTTA KANWAL N & MATTIE K
1451 WHITE SAND DR
ROCKWALL, TX 75087

ABDULLA OSAMA AND
SHAHAD MOHAMMED
1452 CARMEL DRIVE
ROCKWALL, TX 75087

DRISCOLL GREGORY D JR
1455 CARMEL DRIVE
ROCKWALL, TX 75087

HILGER CHARLES EDWARD AND DENISE MARIE
SAADI
1455 CLUBHILL DRIVE
ROCKWALL, TX 75087

KREYMER TIMMY RAY & ROBIN
1455 MEADOWS DR
ROCKWALL, TX 75087

BAKER MARK Q
1455 MEANDERING WAY
ROCKWALL, TX 75087

FLAIG ANNA-ROSE AND RICHARD GLEN
1455 PEBBLE HILLS DR
ROCKWALL, TX 75087

MURRAY ROBERT AND JENNIFER
1455 PLUMMER DR
ROCKWALL, TX 75087

BELL JOINT REVOCABLE LIVING TRUST
EARL WAYNE BELL AND AMINA JUMA BELL -
TRUSTEES
1456 CARMEL DRIVE
ROCKWALL, TX 75087

RESIDENT
1459 CARMEL DR
ROCKWALL, TX 75087

RESIDENT
1460 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
1460 PLUMMER DR
ROCKWALL, TX 75087

LINCECUM TIMOTHY B AND KIMBERLY M
EDWARDS
1460 CARMEL DR
ROCKWALL, TX 75087

WEATHERFORD JASON S & KATHRYN N
1460 COASTAL DR
ROCKWALL, TX 75087

GARRISON GARY & KARLA
1460 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

OLVERA JOSE &
LESLIE ZAVALA
1460 MEANDERING WAY
ROCKWALL, TX 75087

ZIMMERMAN KARL J AND KARLA J
1460 MERION DR
ROCKWALL, TX 75087

YARBROUGH BRUCE AND JOANNE
1460 MISTY COVE DR
ROCKWALL, TX 75087

HILES KIMBERLY S
1460 WHITE SAND DR
ROCKWALL, TX 75087

SALTER GREGORY SCOTT
1461 COASTAL DRIVE
ROCKWALL, TX 75087

FERNANDEZ JAMES P & AMY E
1461 WHITE SAND DR
ROCKWALL, TX 75087

CHU CHUNHSIN AND KOYI CHOU CHU
14610 14TH AVE SE
MILL CREEK, WA 98012

YOON SEUNG WON AND
JOHYUN KIM
14620 FALLING LEAF DRIVE
FRISCO, TX 75035

STALLINS HOLLY
1463 CARMEL DR
ROCKWALL, TX 75087

ROBINSON STACEY
1464 CARMEL DRIVE
ROCKWALL, TX 75087

DETHLOFF RAYMOND P JR
1465 AVONLEA DR
ROCKWALL, TX 75087

PARKS JAMES AND LAURIE
1465 CLUBHILL DRIVE
ROCKWALL, TX 75087

MARCHAND SAMUEL JOHN AND OLGA
1465 MEADOWS DRIVE
ROCKWALL, TX 75087

CANTRELL ROBERT D AND DEBORAH M
1465 MEANDERING WAY
ROCKWALL, TX 75087

DARKAZANLI AMMAR
1465 PLUMMER DRIVE
ROCKWALL, TX 75087

WILLIAMS LARRY J AND CLAUDIA H
1465 SHORES BLVD
ROCKWALL, TX 75087

FLUITT MARCUS LEE AND
ANAIS CHAVEZ
1467 CARMEL DR
ROCKWALL, TX 75087

RAYAS SANDY MELENDEZ AND JUAN C
MELENDEZ-RAYAS
1468 CARMEL DR
ROCKWALL, TX 75087

RESIDENT
1470 PLUMMER DR
ROCKWALL, TX 75087

SMITH JEFFREY R
1470 ASHBOURNE DR
ROCKWALL, TX 75087

LEE JEONG HEE
1470 COASTAL DR
ROCKWALL, TX 75087

EAST LLOYD C & CAROLYN T
1470 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

KEPNER JOHN D AND ESTHER
1470 MEANDERING WAY
ROCKWALL, TX 75087

COOK MARY F & WALLACE C
1470 MERION DR
ROCKWALL, TX 75087

EASTERWOOD CHET & AMANDA
1470 MISTY CV
ROCKWALL, TX 75087

PETERSON JUSTIN H
1470 S JOHN KING BLVD #1207
ROCKWALL, TX 75032

KONGER CHAD AND CAITLIN REESE
1470 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1471 WHITE SAND DR
ROCKWALL, TX 75087

LYONS WILLIAM CHRISTOPHER & ANGELA
RENEE
1471 COASTAL DR
ROCKWALL, TX 75087

TOWNSEND SCOTT DAVID AND
NUBIA A CARVAJAL
1475 ASHBOURNE DRIVE
ROCKWALL, TX 75087

WAGGONER STEVEN AND PERRI
1475 AVONLEA DR
ROCKWALL, TX 75087

BRUCE JAY R AND TAYLOR L
1475 PLUMMER DRIVE
ROCKWALL, TX 75087

LUBURICH DENNIS JACK
1475 SHORES BLVD
ROCKWALL, TX 75087

SERNA ALBERT T
1480 ASHBOURNE DRIVE
ROCKWALL, TX 75087

ANSTEAD CHARLOTTE & CLIFF
1480 AVONLEA DR
ROCKWALL, TX 75087

THE CELLI FAMILY TRUST
SARA SUE CELLI AND ROBERT H JR CELLI
TRUSTEES
1480 COASTAL DR
ROCKWALL, TX 75087

SCOTT JASON AND CASEY
1480 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

BURROWS PATRICIA R AND CYNTHIA R RAMIREZ
1480 PLUMMER DR
ROCKWALL, TX 75087

CONFIDENTIAL
1480 SHORES BLVD
ROCKWALL, TX 75087

WILLIAMS MICHAEL P & PIPER A
1480 WHITE SAND DR
ROCKWALL, TX 75087

PWBG LIVING TRUST
TYLER D GROSS AND TABATHA O'HARE GROSS-
TRUSTEES
1481 COASTAL DR
ROCKWALL, TX 75087

MOORE MARK T & JAN L
1481 WHITE SAND DR
ROCKWALL, TX 75087

COLE JANICE & CURT COLE
1485 ASHBOURNE DR
ROCKWALL, TX 75087

CHILDRESS FRANCES S
1485 AVONLEA DRIVE
ROCKWALL, TX 75087

TAVANA EI MARY E
1485 PLUMMER
ROCKWALL, TX 75087

MOON JASON
1485 SHORES BOULEVARD
ROCKWALL, TX 75087

RESIDENT
1490 ASHBOURNE DR
ROCKWALL, TX 75087

COLLINS PETER F AND CHRIS
1490 AVONLEA DR
ROCKWALL, TX 75087

AUGURSON CORNELIUS & VICTORIA
1490 COASTAL DRIVE
ROCKWALL, TX 75087

CORDRAY CHRIS AND ERIN
1490 WHITE SAND DR
ROCKWALL, TX 75087

MORREN JAMES DAVID & ELIZABETH ANN
1491 COASTAL DRIVE
ROCKWALL, TX 75087

CHEEK JAMES & HALEY
1491 WHITE SAND DR
ROCKWALL, TX 75087

EIDE ANDREW
1495 ASHBOURNE DR
ROCKWALL, TX 75087

WHATLEY LEAMON TODD AND KAREN K
1495 AVONLEA DR
ROCKWALL, TX 75087

CULLINS JO ANN
1495 PLUMMER DR
ROCKWALL, TX 75087

DAVIS SUSAN PATRICIA
1500 ASHBOURNE DRIVE
ROCKWALL, TX 75087

LUIZ ZACHARY AND COURTNEY SHLENSKY
1500 AVONLEA DR
ROCKWALL, TX 75087

SHARP J W
1500 CHAMPIONS DR
ROCKWALL, TX 75087

WIMS DANNY J & KRISTY E
1500 COASTAL DRIVE
ROCKWALL, TX 75087

ANDERSON REBECCA LYNNE & DAVID JAY
1500 MEADOWS CIR
ROCKWALL, TX 75087

SIMON KIMBERLY
1501 BURLINGAME DR
ROCKWALL, TX 75087

MILLER PAUL JOSEPH
1501 CARMEL DRIVE
ROCKWALL, TX 75087

GRUBBS GREGG & WENDEE
1501 COASTAL DRIVE
ROCKWALL, TX 75087

AYALA JOSE A II & KRystal
1502 BURLINGAME DRIVE
ROCKWALL, TX 75087

ADAMS CANDACE
1503 BURLINGAME DR
ROCKWALL, TX 75087

RESIDENT
1505 AVONLEA DR
ROCKWALL, TX 75087

RESIDENT
1505 BURLINGAME DR
ROCKWALL, TX 75087

ARMSTRONG BRAD ROSS
1505 ASHBOURNE DRIVE
ROCKWALL, TX 75087

PARKS KALEB AND MACKENZIE
1505 CARMEL DRIVE
ROCKWALL, TX 75087

FITZGERALD JAMES V & SHIRLEY A
FITZGERALD LIVING TRUST
1505 PLUMMER DR
ROCKWALL, TX 75087

THOMAS ROBIN
1506 BURLINGAME DR
ROCKWALL, TX 75087

MCCORMICK GENEVIEVE M
1509 BURLINGAME DRIVE
ROCKWALL, TX 75087

RESIDENT
1510 AVONLEA DR
ROCKWALL, TX 75087

BUTLER CONSTANCE (CONNIE) L
1510 ASHBOURNE DR
ROCKWALL, TX 75087

MILSTEAD AMY O AND MATTHEW C
1510 BURLINGAME DRIVE
ROCKWALL, TX 75087

DILLARD ANDY C
1510 CHAMPIONS DR
ROCKWALL, TX 75087

CONGER DAVID & DEBRA
1510 COASTAL DR
ROCKWALL, TX 75087

WINKLER JIMMY B & MARY A
1510 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

TOWNES KEVIN AND JAN
1511 COASTAL DRIVE
ROCKWALL, TX 75087

RESIDENT
1515 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
1515 AVONLEA DR
ROCKWALL, TX 75087

FISHER STEVEN TROY & DONNA C
1515 PLUMMER DR
ROCKWALL, TX 75087

ANTON DAVID G AND BAMBI A
1517 BURLINGAME DRIVE
ROCKWALL, TX 75087

MARES RODOLFO AND
ALICIA CEDENO
1518 BURLINGAME DRIVE
ROCKWALL, TX 75087

RESIDENT
1520 MEADOWS CIR
ROCKWALL, TX 75087

BARNHILL ALEXANDER & SHAWN FAZEKAS
1520 ASHBOURNE DRIVE
ROCKWALL, TX 75087

COPENHAVER CRYSTALINE AMBER & GARY
RICHARD
1520 AVONLEA DR
ROCKWALL, TX 75087

RAY RHONDA G & TOMMY L
1520 CHAMPIONS DR
ROCKWALL, TX 75087

FISCHER PAUL A & JOY A TRUSTEES
FISCHER FAMILY TRUST
1520 COASTAL DR
ROCKWALL, TX 75087

PERKINS MAC H & SHIRLEY A
1520 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

MCGUIRE PATRICK A AND JOANN L
1521 BURLINGAME DR
ROCKWALL, TX 75087

OLGIN SHANNON D AND MARK
1522 BURLINGAME DRIVE
ROCKWALL, TX 75087

RESIDENT
1523 TELEGRAPH DR
ROCKWALL, TX 75087

JOHNSON TODD CHRISTIAN & NOEL DENISE
SAUL
1524 BAY VALLEY CIRCLE
HEATH, TX 75032

WILLS DALANA JEANE
1525 ASHBOURNE DR
ROCKWALL, TX 75087

WILLIAMS RICHARD D III AND CAITLYN M
1525 TELEGRAPH DRIVE
ROCKWALL, TX 75087

RAIBOURN JAMES C
1529 TELEGRAPH DRIVE
ROCKWALL, TX 75087

RESIDENT
1530 AVONLEA DR
ROCKWALL, TX 75087

PRIMROSE ANTHONY LEON & TAMMY ELAINE
1530 ASHBOURNE DR
ROCKWALL, TX 75087

HART CHARLETTE RENE AND
RONZE HART
1530 CHAMPIONS DR
ROCKWALL, TX 75087

BOUCHER RICHARD K & OLYMPIA T
1530 COASTAL DRIVE
ROCKWALL, TX 75087

CAVIN KYLE ANDREW & KELLEY LYNN
1530 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

TERRY MARGARET JOAN
1530 MEADOWS CIR
ROCKWALL, TX 75087

RIVERA ROGELIO JR
1531 COASTAL DR
ROCKWALL, TX 75087

CONFIDENTIAL
1533 TELEGRAPH DRIVE
ROCKWALL, TX 75087

NUNEZ MARIO
1535 ASHBOURNE DR
ROCKWALL, TX 75087

BOERNER DANIEL AND KELSEY
1537 TELEGRAPH DRIVE
ROCKWALL, TX 75087

SMITH MICHAEL L & AMY
BURNETT CAROL & JOHN
1540 ASHBOURNE DR
ROCKWALL, TX 75087

FERGUSON KENNETH R & CHEREE L
1540 AVONLEA DR
ROCKWALL, TX 75087

MINNISH JAMES E AND ROXANNE W
1540 CHAMPIONS DR
ROCKWALL, TX 75087

KARDA BRUCE AND DONNA
1540 COASTAL DR
ROCKWALL, TX 75087

TAYLOR COLEMAN DAVID & SARA DIANE
1540 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

WRIGHT ANTHONY AND CLAUDIA N
1541 COASTAL DR
ROCKWALL, TX 75087

WALLE VANESSA AND MERA
1541 TELEGRAPH DRIVE
ROCKWALL, TX 75087

HAMBLIN ADRIENNE AND KEVIN
1545 ASHBOURNE DR
ROCKWALL, TX 75087

GRAND HOMES 2014 LP
15455 DALLAS PARKWAY SUITE 1000

BARTON BRIAN
1550 ASHBOURNE DR
ROCKWALL, TX 75087

REYES JULIO C & CECILIA F
1550 AVONLEA DRIVE
ROCKWALL, TX 75087

ANGUISH ROBERT H ET UX
1550 CHAMPIONS DR
ROCKWALL, TX 75087

BURTON THOMAS G AND PEGGY W
1550 COASTAL DR
ROCKWALL, TX 75087

CANNAVO GENE GARY
1550 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

CHAFFIN DAVID AND JOANN
1550 MEADOWS CIR
ROCKWALL, TX 75087

ROLLINS ROBBY AND JAMI
1550 WATER WAY COURT
ROCKWALL, TX 75087

DARE BENJAMIN R & KATHERINE L
1551 COASTAL DRIVE
ROCKWALL, TX 75087

PULATIE EARL JAMES JR
1554 CHAMPIONS CT
ROCKWALL, TX 75087

DANAHY KATHLEEN & JOHN M
1555 CHAMPIONS CT
ROCKWALL, TX 75087

CLEM DONALD & MINDY
1555 FAIRLAKES CT
ROCKWALL, TX 75087

RESIDENT
1560 MEADOWS CIR
ROCKWALL, TX 75087

2018 R M LOVETT REVOCABLE TRUST
RANDALL JAY LOVETT AND MELANIE NICHOLE
LOVETT- TRUSTEES
1560 CHAMPIONS DRIVE
ROCKWALL, TX 75087

COLTON DUDLEY TEEPPELL AND KAREN SUE
1560 COASTAL DR
ROCKWALL, TX 75087

ACHENBACH WILLIAM M & REBECCA A
1560 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

TACAZON MARK
1560 WATER WAY COURT
ROCKWALL, TX 75087

BARTHOLD FRED L
1561 COASTAL DRIVE
ROCKWALL, TX 75087

LINTER PAUL R &
LORETTA M LINTER
1561 WATER WAY CT
ROCKWALL, TX 75087

TORRES RICHARD R
1564 CHAMPIONS CT
ROCKWALL, TX 75087

CANTRELL RICHARD D & CYNTHIA P
1565 CHAMPIONS COURT
ROCKWALL, TX 75087

VANARSDALL EDNA MAE
1565 CHAMPIONS CT
ROCKWALL, TX 75087

LANG WILLIAM J & JILL A
1565 FAIRVIEW DR
ROCKWALL, TX 75087

GONZALEZ EDUARDO H
1570 CHAMPIONS DRIVE
ROCKWALL, TX 75087

CADDELL LYLE AND CATHERINE
1570 COASTAL DRIVE
ROCKWALL, TX 75087

LEEK PATRICIA A & LEONARD
1570 FAIRLAKES CT
ROCKWALL, TX 75087

LEEK LEONARD R
1570 FAIRLAKES CT
ROCKWALL, TX 75087

GRUBBS DAVID F JR & SHANNON
1570 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

WEIR ROBERT & MELANIE
1570 FAIRVIEW DR
ROCKWALL, TX 75087

WESTMORELAND SHELLEY
1570 WATER WAY CT
ROCKWALL, TX 75087

ALHUSSEINI MAZEN
1571 COASTAL DRIVE
ROCKWALL, TX 75087

GLUCK STEFAN & ELIZABETH ASHLEY
1571 WATER WAY CT
ROCKWALL, TX 75087

SMITH AMY DIANE & ANTHONY DAVID
1574 CHAMPIONS CT
ROCKWALL, TX 75087

CARROLL JUDY AND RICHARD
1575 CHAMPIONS COURT
ROCKWALL, TX 75087

COGGINS MICHAEL AND BRITTAIN
1575 FAIRLAKES COURT
ROCKWALL, TX 75087

LAMBRETH CHARLES & SUSAN
1575 FAIRVIEW DR
ROCKWALL, TX 75087

RESIDENT
1580 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

CLAGGETT STEVEN B
1580 CHAMPIONS DRIVE
ROCKWALL, TX 75087

BASSILI ANTHONY AND MELANIE
1580 COASTAL DRIVE
ROCKWALL, TX 75087

JONES KEVIN AND JILL
1580 FAIRVIEW DR
ROCKWALL, TX 75087

REID MICHAEL E & SUZANNE
1580 WATER WAY CT
ROCKWALL, TX 75087

RAPP ANDREW AND WHITNEY
1581 COASTAL DRIVE
ROCKWALL, TX 75087

GROOP GARY A & CINDY
1581 WATER WAY CT
ROCKWALL, TX 75087

VICTOR B MILLER AND SUSAN D MILLER 2017
REVOCABLE TRUST
15815 INDIAN VALLEY RD
JAMAL, CA 91935

KENNETH J FOLEY AND MARGARET S FOLEY
FAMILY TRUST
KENNETH J AND MARGARET S FOLEY- TRUSTEES
1584 CHAMPIONS COURT
ROCKWALL, TX 75087

BAUER DONALD G AND DEE ANN
1585 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

FISHER CHARLES H & DONNA M
1585 FAIRVIEW DR
ROCKWALL, TX 75087

SWITZER KEVIN & NICOLE
1590 CHAMPIONS DR
ROCKWALL, TX 75087

BURKE MARK P
1590 COASTAL DR
ROCKWALL, TX 75087

BARFIELD JOHN E & RACHEL M
1590 WATER WAY CT
ROCKWALL, TX 75087

VONDERHOYA SALLY
1600 CHAMPIONS DR
ROCKWALL, TX 75087

DUREN MATTHEW L AND JENNIFER RENEE
1600 COASTAL DR
ROCKWALL, TX 75087

NELSON MICHAEL S AND SUSAN B
1600 FAIRLAKES CT
ROCKWALL, TX 75087

KALASH JAMES AND SUSAN
1600 FAIRVIEW DR
ROCKWALL, TX 75087

GLOSSUP VERNON R AND MARY ANNE
1600 PLUMMER DR
ROCKWALL, TX 75087

ALLEN CLAUDIS
1600 WATER WAY CT
ROCKWALL, TX 75087

PATTERSON BRANDON E AND JASMINE
1601 COASTAL DRIVE
ROCKWALL, TX 75087

BOMKAMP TONYA ANN
1605 ASHBOURNE DR
ROCKWALL, TX 75087

EVAN E COCHRANE IRREVOCABLE TRUST
PATRICIA L COCHRANE TRUSTEE
1605 FAIRLAKES COURT
ROCKWALL, TX 75087

ELAM BRAD S & KATHLEEN A
1605 FAIRVIEW DRIVE
ROCKWALL, TX 75087

PUCKETT MARY
1605 PLUMMER DR
ROCKWALL, TX 75087

STANLEY SHIRLEY AND KEVIN
1605 SHORES BLVD
ROCKWALL, TX 75087

NORMAN GREGORY
1610 ASHBOURNE DRIVE
ROCKWALL, TX 75087

MARTINEZ JOHN C & TONNIE
1610 CHAMPIONS DR
ROCKWALL, TX 75087

MORELAN RICHARD P & SANDRA L
1610 COASTAL DRIVE
ROCKWALL, TX 75087

THURLKILL BILLY RAY II AND MARIE KAY
1610 FAIRLAKES POINT DR
ROCKWALL, TX 75087

BOGGS JOHN S
1610 PLUMMER DR
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS
1610 SHORES BLVD
ROCKWALL, TX 75087

LUKOWSKY DENISE DANIELLE
1610 WATER WAY CT
ROCKWALL, TX 75087

SIVATHARMAN NATHAN & GOWRY
1611 COASTAL DR
ROCKWALL, TX 75087

RESIDENT
1615 SHORES BLVD
ROCKWALL, TX 75087

ROBERTS KYLE L & SUNDEE L
1615 CRESTHILL DR
ROCKWALL, TX 75087

SCOTT JAMES DAVID & JOLAINE MARIE
1615 FAIRLAKES POINT DR
ROCKWALL, TX 75087

WATKINS JAMES C JR & LYDIA
1615 PLUMMER DR
ROCKWALL, TX 75087

ELKINS MATTHEW AND KATHARINE
1620 ASHBOURNE DRIVE
ROCKWALL, TX 75087

SARPONG JOSEPH F
1620 AVONLEA DRIVE
ROCKWALL, TX 75087

HESLER ROBERT L & LYNN B
1620 CHAMPIONS DR
ROCKWALL, TX 75087

STANESIC FRANK L AND CHRISTINE Z
1620 COASTAL DR
ROCKWALL, TX 75087

STROHMEYER NANCY & JAMES
1620 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

FULMER BETTY L
1620 PLUMMER DR
ROCKWALL, TX 75087

LAWS DON MICHAEL
1620 SHORES BLVD
ROCKWALL, TX 75087

RHODES TERRY E
1620 WATER WAY CT
ROCKWALL, TX 75087

MCGARY DONALD
1621 COASTAL DRIVE
ROCKWALL, TX 75032

SPARKS M JANE
1625 ASHBOURNE DR
ROCKWALL, TX 75087

HONEYCUTT CLINTON R & DAWN C
1625 CRESTHILL DR
ROCKWALL, TX 75087

CROOM FORREST D & KAREN M
1625 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

GROARK MICHAEL H & CONSTANCE M
1625 PLUMMER DR
ROCKWALL, TX 75087

MILLER RYAN ROGER WILLIAM
1625 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1630 ASHBOURNE DR
ROCKWALL, TX 75087

MELINDA STARKEY ODOM REVOCABLE TRUST
MELINDA STARKEY ODOM- TRUSTEE
1630 AVONLEA DRIVE
ROCKWALL, TX 75087

IRIS BELK SMITH REVOCABLE TRUST
IRIS BELK SMITH- TRUSTEE
1630 COASTAL DRIVE
ROCKWALL, TX 75087

MORGAN CHAD AND NICOLE
1630 PLUMMER DRIVE
ROCKWALL, TX 75087

SHULMAN STEVEN MARC AND
VICTORIA OLIVE DREW
1630 SHORES BLVD
ROCKWALL, TX 75087

BARBAY TERRY & ZELENA
1635 CRESTHILL DR
ROCKWALL, TX 75087

WOFFORD REVOCABLE LIVING TRUST
JOHN WILLIAM WOFFORD AND LINDA SUE
WOFFORD TRUSTEES
1635 PLUMMER DRIVE
ROCKWALL, TX 75087

SOLOMON HAROLD E & SANDRA S
1635 SHORES BLVD
ROCKWALL, TX 75087

KENNEDY JUAN AND ANDREA
1640 ASHBOURNE DRIVE
ROCKWALL, TX 75087

MIAN JASMINE AND SAMI
1640 COASTAL DRIVE
ROCKWALL, TX 75087

BARNETT AARON AND KATESSA
1640 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1645 CRESTHILL DR
ROCKWALL, TX 75087

JAHNER ERIC
1645 ASHBOURNE
ROCKWALL, TX 75087

BIRKHOLZ LYNELLE KAYE HILL-
1645 PLUMMER DRIVE
ROCKWALL, TX 75087

BAUGHIER BARRY G & STEPHANIE L
1645 SHORES BLVD
ROCKWALL, TX 75087

HERB LOUIS L & MICHELE R
THE LOUIS L HERB & MICHELE R HERB
REVOCABLE LIVING TRUST
1650 ASHBOURNE DRIVE
ROCKWALL, TX 75087

HAGENY MARY & MATTHEW
1650 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1655 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
1655 ASHBOURNE DR
ROCKWALL, TX 75087

FOSTER DAVID L AND VICKI H
1655 CRESTHILL DRIVE
ROCKWALL, TX 75087

HUGHES DAVID H AND
BRENDA SUE FIELD
1655 PLUMMER DRIVE
ROCKWALL, TX 75087

COOK RUSSELL E & AMANDA L
1660 ASHBOURNE DR
ROCKWALL, TX 75087

ANDERSON DONALD S & LINDA T
1660 PLUMMER DR
ROCKWALL, TX 75087

GRESHAM BRENT & MELINDA
1665 ASHBOURNE DR
ROCKWALL, TX 75087

VRANA CAITLIN & ALEXANDER
1665 CRESTHILL DRIVE
ROCKWALL, TX 75087

MIXON JAMES
1665 PLUMMER DR
ROCKWALL, TX 75087

WALL DOUGLAS G AND
DEANA C WALL
1665 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1670 ASHBOURNE DR
ROCKWALL, TX 75087

KOLLEHNER STEVEN AND AMY
1670 LAKE BROOK CIR
ROCKWALL, TX 75087

ELY JAMES
1670 PARK VIEW DR
ROCKWALL, TX 75087

SEED DANIEL BRUCE & BARBARA A
1670 PLUMMER
ROCKWALL, TX 75087

SEED DANIEL B & BARBARA A
1670 PLUMMER DR
ROCKWALL, TX 75087

WEST JIMMIE C AND CAROLYN O
16710 TELGE ROAD
CYPRESS, TX 77429

KING JENNIFER
1675 ASHBOURNE DR.
ROCKWALL, TX 75087

HUDGENS GERALD FRANK & ROCHELLE
EAVONNE
1675 AVONLEA DRIVE
ROCKWALL, TX 75087

PYLE JERRY W & JUDY K
1675 CRESTHILL DR
ROCKWALL, TX 75087

RIGGINS JOSH DAVID AND
MEGHAN HARRIS
1675 LAKE BROOK CIRCLE
ROCKWALL, TX 75087

COLWELL DAVID
1675 PLUMMER DRIVE
ROCKWALL, TX 75087

CECIL WILLIAM R ETUX
1675 SHORES BLVD
ROCKWALL, TX 75087

BURNS JOE W & DEBORAH
1680 ASHBOURNE DR
ROCKWALL, TX 75087

GARRETT DAVID W & JULIE L
1680 LAKE BROOK CIR
ROCKWALL, TX 75087

CATLETT JAMES W & PATRICIA A TRUSTEES
JAMES W & PATRICIA A CATLETT REV LIVING
TRUST
1680 PARK VIEW DR
ROCKWALL, TX 75087

HUYNH SANG T
1680 PLUMMER DRIVE
ROCKWALL, TX 75087

RESIDENT
1685 CRESTHILL DR
ROCKWALL, TX 75087

EFENEY W MICHAEL JR & AMY LYNN
1685 LAKE BROOK CIR
ROCKWALL, TX 75087

PRODAHL DALE AND KAREN
1685 PLUMMER DR
ROCKWALL, TX 75087

PRODAHL DALE A & KAREN S
1685 PLUMMER DR
ROCKWALL, TX 75087

KING CLYDE A & VICKIE
1685 SHORES BLVD
ROCKWALL, TX 75087

CHEEK CHARLES M & JUNE M
1690 ASHBOURNE DRIVE
ROCKWALL, TX 75087

FORINASH JONATHAN
1690 LAKE BROOK CR
ROCKWALL, TX 75087

EDWARDS DENISE
1690 LAKE FOREST DR
ROCKWALL, TX 75087

BARTON ALLEN J SR &
STANA WHITE BARTON
1690 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1695 LAKE BROOK CIR
ROCKWALL, TX 75087

SHARTZER LEVI GENE & LAUREN NICHOLE
1695 LAKE FOREST DR
ROCKWALL, TX 75087

PARR JACOB AND ANGELA
1695 PLUMMER DRIVE
ROCKWALL, TX 75087

RESIDENT
1700 CRESTHILL DR
ROCKWALL, TX 75087

RESIDENT
1700 PLUMMER DR
ROCKWALL, TX 75087

SOWARDS DAVID E & EDNA M
1700 ASHBOURNE DRIVE
ROCKWALL, TX 75087

BOYNE DAVID ROBERT & DEBORAH K
1700 LAKE BROOK CIR
ROCKWALL, TX 75087

DEMOVILLE TREY & SARAH
1700 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
1705 CRESTHILL DR
ROCKWALL, TX 75087

MANCUSO TYLER J & TAMMY B
1705 LAKE FOREST DR
ROCKWALL, TX 75087

LEE KENNETH M AND TERRI LEE
1705 PLUMMER DR
ROCKWALL, TX 75087

ZHU JIA & JIANXIONG DONG
1706 MAGNOLIA CIRCLE
PLEASANTON, CA 94566

RESIDENT
1709 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1710 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
1710 PLUMMER DR
ROCKWALL, TX 75087

HEATHINGTON ERNESTINE
1710 CRESTHILL DR
ROCKWALL, TX 75087

DEARING JAMES AND KANESHA
1710 LAKE FOREST DR
ROCKWALL, TX 75087

LAWSHE G MICHAEL & SARAH E
1713 PLUMMER DR
ROCKWALL, TX 75087

PIPES CAMERON S AND
STEPHANIE P DUTY
1715 CRESTHILL DRIVE
ROCKWALL, TX 75087

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

JONES GARY
1717 PLUMMER DR
ROCKWALL, TX 75087

WHIPPLE JOHN & COLLEEN
1720 CRESTHILL DR
ROCKWALL, TX 75087

PRISOCK ANGELA RENEE
1720 LAKE FOREST DRIVE
ROCKWALL, TX 75087

MCCUTCHEON JOHN C AND
MYCHEL L MACINNIS
1720 PLUMMER DR
ROCKWALL, TX 75087

HOLDMAN KRISTOPHER D AND SARAH A
1721 PLUMMER DRIVE
ROCKWALL, TX 75087

HERNANDEZ IGNACIO AND ELVIA
1725 CRESTHILL DR
ROCKWALL, TX 75087

JARCY EVAN
1725 LAKE FOREST DRIVE
ROCKWALL, TX 75087

BAUCHMAN MICHAEL & JEANETTE
1725 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1729 PLUMMER DR
ROCKWALL, TX 75087

LOE REVOCABLE TRUST
STEVEN LOE AND KIMBERLEY LOE- TRUSTEES
173 BLACK POWDER CIRCLE
FOLSOM, CA 95630

RESIDENT
1730 CRESTHILL DR
ROCKWALL, TX 75087

KIM SEONG CHEOL & HEE SOOK
1730 LAKE FOREST DR
ROCKWALL, TX 75087

JEFFRESS TIMOTHY W & MICHELLE L
1730 PLUMMER DR
ROCKWALL, TX 75087

STARK ROBERT JR & KIMBERLY A
1730 WIND HILL RD
ROCKWALL, TX 75087

HILL MICHAEL G ETUX
1733 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1735 PLUMMER DR
ROCKWALL, TX 75087

TETLEY GEOFFREY & PAULA SCRUBBS TETLEY
1735 CRESTHILL DR
ROCKWALL, TX 75087

MARSHALL JOHN & HEATHER
1735 LAKE FOREST DR
ROCKWALL, TX 75087

CLARK CHARLES L & SANDRA J TRUSTEES
CHARLES L & SANDRA J CLARK FAMILY TRUST
1739 MORLEY STREET
SIMI VALLEY, CA 93065

RESIDENT
1740 CRESTHILL DR
ROCKWALL, TX 75087

ULAND HARRY E & JERI M
1740 LAKE FOREST DR
ROCKWALL, TX 75087

ODOM STEVEN WILLIAM AND AMPARO
1740 PLUMMER DR
ROCKWALL, TX 75087

FONTENOT JORDAN L AND ALISON R
1740 WIND HILL ROAD
ROCKWALL, TX 75087

RESIDENT
1745 CRESTHILL DR
ROCKWALL, TX 75087

MARTIN DONALD
1745 LAKE FOREST DRIVE
ROCKWALL, TX 75087

WEGHORST ALLAN & NANETTE
1745 PLUMMER DR
ROCKWALL, TX 75087

CONFIDENTIAL
1750 CRESTHILL DR
ROCKWALL, TX 75087

WILLIAMSON MICHAEL R & NANCY S
1750 LAKE FOREST DR
ROCKWALL, TX 75087

CRAFT REID L AND ELIZABETH A WADE
1750 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1755 CRESTHILL DR
ROCKWALL, TX 75087

FAWCETT BRIAN P & THERESA E
1755 PLUMMER DRIVE
ROCKWALL, TX 75087

SOUTH KIMBERLY GAIL
1760 CRESTHILL DRIVE
ROCKWALL, TX 75087

FOSTER MARTHA K REVOCABLE TRUST
1760 LAKE FOREST DR
ROCKWALL, TX 75087

MINO MADISON AND ADRIANA
1760 PLUMMER DRIVE
ROCKWALL, TX 75087

DOLLINS JUSTIN RYAN AND LISA NOEL
1760 WIND HILL ROAD
ROCKWALL, TX 75087

REASOR BRYAN E & KIMBERLY
1765 CRESTHILL DR
ROCKWALL, TX 75087

BAAS DENNIS R & MITZI K
1765 LAKE FOREST DR
ROCKWALL, TX 75087

CORDELL JOSEPH AND APRIL
1765 PLUMMER DR
ROCKWALL, TX 75087

ATHEY PATSY R
1770 PLUMMER DRIVE
ROCKWALL, TX 75087

CUTLER STEVEN R
1770 WIND HILL RD
ROCKWALL, TX 75087

WHITE BONNIE SUE
1775 LAKE FOREST DRIVE
ROCKWALL, TX 75087

COLLIER DARBY AND
CASEY JAMES COLLIER
1775 PLUMMER DRIVE
ROCKWALL, TX 75087

RESIDENT
1780 WIND HILL RD
ROCKWALL, TX 75087

WEIGAND THOMAS MATTHEW AND JOANNA
1780 LAKE FOREST
ROCKWALL, TX 75087

DYE KATIE
1780 PLUMMER DR
ROCKWALL, TX 75087

KING CLIFTON C & ROBBI LINN
1790 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1800 LYNCH CT
ROCKWALL, TX 75087

KULA THOMAS W & JEANNETTE G
1800 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1801 ISLE ROYALE DR
ROCKWALL, TX 75087

STEPHENS BRIAN SCOTT & MARGARET
JOSEPHINE
1801 LYNCH COURT
ROCKWALL, TX 75087

WRIGHT MELINDA M
1805 RANDOM OAKS DR
ROCKWALL, TX 75087

PALLONE JOSEPH & MONIKA
1805 WIND HILL RD
ROCKWALL, TX 75087

METCALF-KELLY KEVIN P
1810 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1811 ISLE ROYALE DR
ROCKWALL, TX 75087

DEHART KEVIN D & LEE ANN
1811 LYNCH CT
ROCKWALL, TX 75087

ULSRUD TAREN A & JASON ULSRUD
1811 RANDOM OAKS DR
ROCKWALL, TX 75087

SONNEN GREGORY & ANNETTE
1814 EMERALD BAY DR
ROCKWALL, TX 75087

PERKINS STEVEN M & LISA M
1815 WIND HILL RD
ROCKWALL, TX 75087

HUGHES COLE
1817 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1820 LYNCH CT
ROCKWALL, TX 75087

GIBSON JASON D AND LEILA D
1820 HIDDEN HILLS
ROCKWALL, TX 75087

BROWN CHARLES W & AMBERLY A
1820 WINDHILL RD
ROCKWALL, TX 75087

BROWNING JAMES O & JAN RAMEY BROWNING
REVOCABLE TRUST
JAMES O & JAN R BROWNING TRUSTEES
1821 ISLE ROYALE DRIVE
ROCKWALL, TX 75087

LYNCH JOSEPH P & CONSTANCE J
1821 LYNCH CT
ROCKWALL, TX 75087

WALLACE DUANE & PAULA
1822 EMERALD BAY DR
ROCKWALL, TX 75087

NICHOLS MONTE C & SHERRI E
1823 RANDOM OAKS DR
ROCKWALL, TX 75087

KOOB F PAUL & CAROLE A
1825 WIND HILL RD
ROCKWALL, TX 75087

HUA ALEXANDER AND THU THUY
1829 HAINESWORTH DR
ROCKWALL, TX 75087

FOSNIGHT PETER AND MELISSA
1829 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

NEUGENT MEREDITH & ANNE
1830 EMERALD BAY DR
ROCKWALL, TX 75087

KLEIN MAX E JR & GLENDA M
1830 HIDDEN HLS
ROCKWALL, TX 75087

SLOAN CHRISTOPHER A & MISTI D
1830 OAK BEND DRIVE
ROCKWALL, TX 75087

PERSER JOHN R ETUX
1830 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1831 HAINSWORTH DR
ROCKWALL, TX 75087

TAYLOR DAVID C AND HEATHER
1831 ISLE ROYALE DR
ROCKWALL, TX 75087

AVENETTI QUINT D & BRENDA
1831 LYNCH CT
ROCKWALL, TX 75087

RESIDENT
1833 HAINSWORTH DR
ROCKWALL, TX 75087

LAABS MICHAEL AND HAYLEY
1835 HIDDEN HILL
ROCKWALL, TX 75087

BOBACK STEPHEN P & DONNA A
1835 RANDOM OAKS DR
ROCKWALL, TX 75087

OSTROWSKI JOHN J SR & VITA M
1835 WIND HILL RD
ROCKWALL, TX 75087

HATCHER BLAYNE AND KRISTEN
1838 EMERALD BAY DR
ROCKWALL, TX 75087

MONTGOMERY BARRY A AND MARY R
1838 OAK BEND DR
ROCKWALL, TX 75087

NARRAVULA SUNDEEP AND
VENKATA N CHINTALA
18380 CLEMSON AVE
SARATOGA, CA 95070

RESIDENT
1839 OAK BEND DR
ROCKWALL, TX 75087

RESIDENT
1840 WIND HILL RD
ROCKWALL, TX 75087

GARCIA MANUEL DE JESUS AND MONICA J
1840 CLUBVIEW DRIVE
ROCKWALL, TX 75087

IVEY CRAIG & NICOLE
1840 CRESTLAKE DR
ROCKWALL, TX 75087

OWENS MARLENE SANDERS
1840 HIDDEN HILLS
ROCKWALL, TX 75087

KUNHARDT CARL J & JULIA E
1841 ISLE ROYAL DRIVE
ROCKWALL, TX 75087

HUSTON BRIAN AND SUSAN
1841 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

MULLET STEPHEN PAUL
1844 OAK BEND DR
ROCKWALL, TX 75087

COX RAEUL G JR & SUSAN
1845 HIDDEN HLS
ROCKWALL, TX 75087

RAKOW DONALD E JR & RHONDA
1845 OAK BEND DR
ROCKWALL, TX 75087

LAMBERT THOMAS & JULIE
1847 RANDOM OAKS DR
ROCKWALL, TX 75087

HUNDLEY TERRY G & SHERRIE M
1850 CRESTLAKE DR
ROCKWALL, TX 75087

BYROM ROBERT M & JANET R
1850 HIDDEN HLS
ROCKWALL, TX 75087

PENCE RICHARD G & SHELLEY R
1850 LA GRANDE DR
ROCKWALL, TX 75087

GREEN CHRISTOPHER AND JULIE
1850 OAK BEND DRIVE
ROCKWALL, TX 75087

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

FKH SFR PROPCO A LP
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

SUNDERSON JOHN MAURICE JR & GWENDOLYN
B
1850 WIND HILL RD
ROCKWALL, TX 75087

PECORARO LUIGI AND JULIE
1851 OAK BEND DRIVE
ROCKWALL, TX 75087

COWDEN DIANE S
1853 RANDOM OAKS DR
ROCKWALL, TX 75087

FOWLER JEREMEY & DALAIH
1855 CRESTLAKE DR
ROCKWALL, TX 78087

BARNETT JOSEPH R & LADONNA K
1855 HIDDEN HLS
ROCKWALL, TX 75087

TOKUZ MAHMUT & BARBARA LYNN
1855 WIND HILL RD
ROCKWALL, TX 75087

REDMOND BRIAN AND NICOLE
1856 OAK BEND DR
ROCKWALL, TX 75087

LOPEZ CECILIA LIZETH MENDEZ
1857 OAK BEND DR
ROCKWALL, TX 75087

BARTLEY JOSHUA AND ASHLEY
1859 RANDOM OAKS DR
ROCKWALL, TX 75087

MOORE HEATHER & STEVEN
1859 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

ELY MINNIE E
1860 CLUBVIEW DR
ROCKWALL, TX 75087

KAMINSKI STEVEN J &
LORRAINE F KAMINSKI
1860 CRESTLAKE DR
ROCKWALL, TX 75087

WIEDEMANN MATTHEW
1860 LA GRANDE DRIVE
ROCKWALL, TX 75087

DOBIYANSKI JOHN WILLIAM & DORIS MAILLOUX
1860 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1862 OAK BEND DR
ROCKWALL, TX 75087

GARCIA RACHELLE N
1863 OAK BEND DR
ROCKWALL, TX 75087

KAMINSKI CHERYL L
1865 CRESTLAKE DR
ROCKWALL, TX 75087

WHITE TRACY ALANE
1865 HILLCROFT DR
ROCKWALL, TX 75087

SMITH PATRICK R & KIMBERLY
1865 RANDOM OAKS DR
ROCKWALL, TX 75087

NIKKARI MELISSA R
1865 WIND HILL ROAD
ROCKWALL, TX 75087

MAPENGO DERECK B AND TERI
1868 OAK BEND DRIVE
ROCKWALL, TX 75087

RESIDENT
1869 OAK BEND DR
ROCKWALL, TX 75087

GEGENHEIMER MARLENE
1870 CLUBVIEW DRIVE
ROCKWALL, TX 75087

WHITAKER BARBARA A AND WADE H
1870 CRESTLAKE DR
ROCKWALL, TX 75087

MIZE JAMES M AND JULIE K
1870 HILLCROFT DRIVE
ROCKWALL, TX 75087

FERGUSON TRAVIS & MELISSA
1870 WIND HILL CIR
ROCKWALL, TX 75087

ASBILL PAULA L
1871 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1875 CRESTLAKE DR
ROCKWALL, TX 75087

RESIDENT
1875 OAK BEND DR
ROCKWALL, TX 75087

HERVEY CLAY AND ANNIE
1876 OAK BEND DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
1877 RANDOM OAKS DR
ROCKWALL, TX 75087

HOPKINS GARY L & GRETCHEN C
1880 CRESTLAKE DR
ROCKWALL, TX 75087

HILL CHRISTOPHER AND SHELLEY
1880 WIND HILL CIRCLE
ROCKWALL, TX 75087

STEPHENS KENNETH & HOLLY
1885 CLUBVIEW DR
ROCKWALL, TX 75087

STEWART NATHAN A & BRITTANY T, TRUSTEES
OF NATHAN &
BRITTANY STEWART LIVING TRUST
1885 CREEKSIDE DRIVE
ROCKWALL, TX 75087

FOSTER MARCIA M
1885 CRESTLAKE DRIVE
ROCKWALL, TX 75087

NASUFI ZIKRI & TEUTA
1885 HILLCROFT DR
ROCKWALL, TX 75087

I&G SFR II BORROWER LLC
1887 WHITNEY MESA DRIVE #3380
HENDERSON, NV 89014

TURNER FAMILY TRUST
GARY & DANA TURNER CO-TRUSTEES
1890 CLUBVIEW DR
ROCKWALL, TX 75087

SANTANA ALBERTO J
1890 CRESTLAKE DRIVE
ROCKWALL, TX 75087

BILLUPS RYAN & REBECCA
1890 HILLCROFT DRIVE
ROCKWALL, TX 75087

STONE WARREN C
1890 WIND HILL CIR
ROCKWALL, TX 75087

RESIDENT
1895 CRESTLAKE DR
ROCKWALL, TX 75087

RHYNER KENNETH R & VALERIE L
1895 CREEKSIDE DR
ROCKWALL, TX 75087

BUNCH HAROLD GARY & LAUREN ANN
1895 HILLCROFT DRIVE
ROCKWALL, TX 75087

ROJAS PEDRO & SANDRA
1900 CLUB LAKE CIR
ROCKWALL, TX 75087

LOWHORN JEREMIAH AND BROOKE
1900 CREEKSIDE DRIVE
ROCKWALL, TX 75087

STRICKER MICHAEL CLAY & CYNTHIA JAYNELL
1900 CRESTLAKE DRIVE
ROCKWALL, TX 75087

LOCKETTE RAGAN FRANKLIN AND DONNA ANN
1900 HILLCROFT DRIVE
ROCKWALL, TX 75087

GODFREY CHRISTIAN & MONICA M SAWAYA
1900 MONT CASCADES DR
ROCKWALL, TX 75087

WANDREY DANIEL E
1900 WIND HILL CIRCLE
ROCKWALL, TX 75087

RESIDENT
1905 HIDDEN VALLEY
ROCKWALL, TX 75087

LOWKE LYNDIA CAROL
1905 CLUB LAKE CIR
ROCKWALL, TX 75087

BAILEY MANA COX AND
LINDA LOVVORN
1905 CLUBVIEW DR
ROCKWALL, TX 75087

TURLEY NANCY C AND GEORGE D
1905 CREEKSIDE DR
ROCKWALL, TX 75087

NEKUYI FARZAD AND BEHNAZ GHOLAMI
1905 CRESTLAKE DR
ROCKWALL, TX 75087

MERTENS ANDREW J & TIFFANY R
1905 HILLCROFT DR
ROCKWALL, TX 75087

LEAHY STEVEN AND JENNIFER
1905 MURIFIELD AVE
ROCKWALL, TX 75087

HORN DONALD O & STEPHANIE L
1905 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1910 CREEKSIDE DR
ROCKWALL, TX 75087

SHEERAN PATRICK K AND JANE E
1910 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

KIM DO BAE & JUNG KYU PARK
1910 CLUBVIEW DR
ROCKWALL, TX 75087

ANDERSON A JEANETTE
1910 CRESTLAKE DR.
ROCKWALL, TX 75087

GIROD DEVIN AND ANGELICA
1910 HILLCROFT DRIVE
ROCKWALL, TX 75087

NELSON KAREN S
1910 MURIFIELD AVE
ROCKWALL, TX 75087

SCHULTZ JENNIFER S & ERIC
1910 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

BOWHALL ELMER F ET UX
1910 RIDGE CREST PL
ROCKWALL, TX 75087

SHIBLEY DAVID W ET UX
1910 WIND HILL CIR
ROCKWALL, TX 75087

RESIDENT
1911 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1915 CLUBVIEW DR
ROCKWALL, TX 75087

NABORS MARTIN E AND LEAANN
1915 CLUB LAKE CIR
ROCKWALL, TX 75087

PEARRE CHARLES W & JANET L
1915 CREEKSIDE DR
ROCKWALL, TX 75087

COPELAND DONNA
1915 CRESTLAKE DR
ROCKWALL, TX 75087

HOLMAN JANICE K
1915 HIDDEN VALLEY
ROCKWALL, TX 75087

CATER CARL & DEBORAH
1915 HILLCROFT DR
ROCKWALL, TX 75087

REEVES RUSSELL A & SARA
1915 MURIFIELD AVENUE
ROCKWALL, TX 75087

ORR J STEVEN & KAY LISA BOHLS
1915 WIND HILL RD
ROCKWALL, TX 75087

WEYGANDT DEBORA ANN
1918 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

PETERSEN MICHAEL P & JANICE D
1919 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1920 CRESTLAKE DR
ROCKWALL, TX 75087

MOLINAR JOHN L & KATHY B
1920 CLUB LAKE CIR
ROCKWALL, TX 75087

NATAL ERIC AND SUSAN
1920 CLUBVIEW DRIVE
ROCKWALL, TX 75087

GUILFOYLE JOANNE AND HENRY PASTERCZYK
1920 CREEKSIDE DR
ROCKWALL, TX 75087

CHRISTENSEN SHIRLEY AND
BETHANY TERRY
1920 HILLCROFT DRIVE
ROCKWALL, TX 75087

DRUMMOND REBECCA AND
BRENDA COX
1920 MURIFIELD AVE
ROCKWALL, TX 75087

FERINA JAKE VICTOR
1920 RIDGE CREST PLACE
ROCKWALL, TX 75087

JONES ROBERT & JANET
1920 WIND HILL
ROCKWALL, TX 75087

DENSON CODY WAYNE AND NATALIE JENAE
1925 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

STONE ROBERT BRIAN AND
KIMBERLY ANN STONE
1925 CLUBVIEW DRIVE
ROCKWALL, TX 75087

CAGLE CHRISTOPHER
1925 CREEKSIDE DR
ROCKWALL, TX 75087

RIDDLE ANDREW G
1925 CRESTLAKE DRIVE
ROCKWALL, TX 75087

COUCH RICHARD A & ELISA
1925 HIDDEN VALLEY
ROCKWALL, TX 75087

NORTRIDGE SUSAN J
1925 HILLCROFT DRIVE
ROCKWALL, TX 75087

HOWARD SCOTT E & LISA A
1925 MURIFIELD AVENUE
ROCKWALL, TX 75087

WILLS GARTH C ET UX
1925 WIND HILL RD
ROCKWALL, TX 75087

WITT ANYA ELLEN
1927 RANDOM OAKS DR
ROCKWALL, TX 75087

MCDONALD KRISTOPHER AND LYDIANNE
1930 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

GRASSO SUZAN E AND MARK A
1930 CLUBVIEW DR
ROCKWALL, TX 75087

ISON CHARLES R & SANDRA D
1930 CREEKSIDE DRIVE
ROCKWALL, TX 75087

DORINSKI DAVID ALAN
1930 CRESTLAKE DRIVE
ROCKWALL, TX 75087

HARDING ROBERT TATUM AND SHELLEY ANN
1930 HIDDEN VALLEY
ROCKWALL, TX 75087

ROSE DAVID & KAREN R
1930 HILLCROFT DRIVE
ROCKWALL, TX 75087

GORDON DANNY & LINDA
1930 MURIFIELD AVE
ROCKWALL, TX 75087

JOSEPH AND WENDY COLES REVOCABLE TRUST
JOSEPH R COLES III AND WENDY ALLYCE COLES,
CO-TRUSTEES
1930 RIDGE CREST PLACE
ROCKWALL, TX 75087

SHAVER BRADLEY AND KENDRA
1930 WIND HILL RD
ROCKWALL, TX 75087

SMITH OWEN R AND HOLLIE M
1935 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

VALENTINE VICTORIA
1935 CLUBVIEW DR
ROCKWALL, TX 75087

PRESCOTT BYRON C
1935 CREEKSIDE DR
ROCKWALL, TX 75087

PRESCOTT BYRON C AND WENDI D
1935 CREEKSIDE DR
ROCKWALL, TX 75087

THOMPSON JOHN D AND RHONDA G
1935 CRESTLAKE DR
ROCKWALL, TX 75087

GRAND-LIENARD JACOB E
1935 HIDDEN VALLEY
ROCKWALL, TX 75087

CAMPBEL WILLIAM M & JO G
1935 HILLCROFT DR
ROCKWALL, TX 75087

CATINCHI RODOLFO J
1935 MURIFIELD AVE
ROCKWALL, TX 75087

HEIN AMANDA LORRAINE
1935 MURIFIELD AVE
ROCKWALL, TX 75087

PRINCE STEPHEN AND JESSICA
1935 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

JORGENSEN HARRIS HOLT & DONNA T
1935 WIND HILL RD
ROCKWALL, TX 75087

JAMES JAY & VALERIE
1940 CLUB LAKE CIR
ROCKWALL, TX 75087

CHASE BRANDON P
1940 CREEKSIDE DR
ROCKWALL, TX 75087

BRINDOCK ANDREW J ETUX
1940 HIDDEN VLY
ROCKWALL, TX 75087

ALI VANESA ELIZABETH
1940 MURIFIELD AVE
ROCKWALL, TX 75087

RESIDENT
1940 N LAKESHORE RD
ROCKWALL, TX 75087

WOODS THOMAS M ETUX
1940 RIDGE CREST PL
ROCKWALL, TX 75087

RAMIREZ ANTHONY A & CYNTHIA R
1940 WIND HILL RD
ROCKWALL, TX 75087

HOWELLS TYLER LEE
1941 RANDOM OAKS DR
ROCKWALL, TX 75087

JONES PETER W AND WHITNEY M JONES LIVING
TRUST
PETER W JONES AND WHITNEY M JONES
TRUSTEES
1945 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

HAZLEWOOD TAD D & MICHELLE D
1945 CREEKSIDE DRIVE
ROCKWALL, TX 75087

HOLSTROM GAIL AND JERRY
1945 HIDDEN VALLEY
ROCKWALL, TX 75087

CONVERSE CODY E
1945 MURIFIELD AVENUE
ROCKWALL, TX 75087

SULLINS BRIAN AND CRYSTAL
1945 WIND HILL ROAD
ROCKWALL, TX 75087

CLARY AUDREY BLAIR AND KENNETH LEE
1947 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

RESIDENT
1950 HIDDEN VALLEY
ROCKWALL, TX 75087

WOON FAMILY TRUST
RICHARD T WOON AND DIANE M WOON-
COTRUSTEES
1950 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

KROPP CLIFTON M & LESLIE
1950 CREEKSIDE DR
ROCKWALL, TX 75087

TORRIERO STEVE OTTO
1950 LAKE FOREST DR
ROCKWALL, TX 75087

HEIMER BRAD RYAN & SHANNON
1950 MURIFIELD AVE
ROCKWALL, TX 75087

FLETCHER ROBERT L & PATRICIA
1950 RIDGE CREST PL
ROCKWALL, TX 75087

GURAWALE MAKARAND G AND
ASHWINI GURWALE
1950 WIND HILL ROAD
ROCKWALL, TX 75087

ZEPEDA NORA E
1953 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

BROWN LARRY W & DIANE
1954 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1955 HIDDEN VALLEY
ROCKWALL, TX 75087

RESIDENT
1955 WIND HILL RD
ROCKWALL, TX 75087

GENTZLER STEPHEN M
1955 CLUB LAKE CIR
ROCKWALL, TX 75087

SCHILLING BRANDON S AND ANGELIQUE
1955 CREEKSIDE DR
ROCKWALL, TX 75087

ROORDA DIRK J & ASTAIRE H
1955 MURIFIELD AVENUE
ROCKWALL, TX 75087

LEE JEANNE YU-HAN & EDWARD MARTIN SCOTT
1960 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

LEE JEANNE YU-HAN & EDWARD MARTIN SCOTT
1960 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

FARROW DOUGLAS E & REBECCA B
1960 CREEKSIDE DR
ROCKWALL, TX 75087

HOLT TRACYE NELSON AND MICHAEL ROY
1960 HIDDEN VALLEY
ROCKWALL, TX 75087

SANDERS MARK LINDSAY AND PIPER NICOLE
1960 LAKE FOREST DR
ROCKWALL, TX 75087

PETERSON LAURA C.
1960 MURIFIELD AVE
ROCKWALL, TX 75087

LOPEZ JUAN S AND JENNIFER KNICKERBOCKER
1960 RANDOM OAKS
ROCKWALL, TX 75087

SUMNERS ROY L & DEBBIE K
1960 RIDGE CREST PL
ROCKWALL, TX 75087

CHASTAIN JEREMY M AND SARAH
1960 WIND HILL ROAD
ROCKWALL, TX 75087

RESIDENT
1961 RANDOM OAKS DR
ROCKWALL, TX 75087

ALBERS STEPHEN & MITZI
1965 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

LAYMAN NICHOLAS AND AMY
1965 CREEKSIDE DR
ROCKWALL, TX 75087

LOVELESS WYMAN D & LINDA G
1965 HIDDEN VLY
ROCKWALL, TX 75087

MOODY JONITA
1965 MURIFIELD AVE
ROCKWALL, TX 75087

DAVIS CHRISTOPHER & CHRISTINE
1965 WIND HILL RD
ROCKWALL, TX 75087

PEREZ JOHN & BRITANIE
1966 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1967 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1970 RIDGE CREST PL
ROCKWALL, TX 75087

GOODEN-ANDERSON TAMECKA C AND EARNTY
T ANDERSON
1970 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

SLEDGE CHAD
1970 CREEKSIDE DR
ROCKWALL, TX 75087

HOLT CHARLES W JR & CLAUDIA
1970 HIDDEN VLY
ROCKWALL, TX 75087

MENEFEE SHAWN AND NICOLE
1970 LAKE FOREST DRIVE
ROCKWALL, TX 75087

TWILLEY EDWARD GLEN & KATHERINE ANN
1970 MURIFIELD AVENUE
ROCKWALL, TX 75087

FINCH DANIEL JOSEPH SR AND CHERI LYNN
1970 WINDHILL RD
ROCKWALL, TX 75087

TWOMEY WESTON AND VALERIE
1975 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

BOHNER NICHOLAS B AND MISHAWNA K
1975 CREEKSIDE DRIVE
ROCKWALL, TX 75087

GORE ELTON & JEANNE
1975 HIDDEN VLY
ROCKWALL, TX 75087

VENT GEORGE L JR
1975 MURIFIELD AVENUE
ROCKWALL, TX 75087

RESIDENT
1980 CREEKSIDE DR
ROCKWALL, TX 75087

BRADDOCK JAMES A AND SARAH J
1980 CLUB LAKE CIR
ROCKWALL, TX 75087

VERVALIN MARY
1980 HIDDEN VALLEY
ROCKWALL, TX 75087

PIERCE RICHARD T & MISTY O
1980 LAKE FOREST DR
ROCKWALL, TX 75087

CURRY LISA RAE AND MARK
1980 MURIFIELD AVENUE
ROCKWALL, TX 75087

GAYLE PHILIP D AND PAMELA F DUNNING
1980 RIDGE CREST PL
ROCKWALL, TX 75087

FORD MARILYN J
1980 WIND HILL RD
ROCKWALL, TX 75087

BUSKIRK DERECK F AND YESENIA J
1985 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

REESE DEREK DENNIS AND KARA LEE
1985 CREEKSIDE DRIVE
ROCKWALL, TX 75087

KEEN JAMES D JR AND CYNTHIA A
1985 HIDDEN VALLEY
ROCKWALL, TX 75087

ROHDE CHRISTOPHER TODD AND SHANNON
LEANNE
1985 LAKE FOREST DR
ROCKWALL, TX 75087

TUMA BRITTANY HINES & CHRISTOPHER
GEORGE
1985 MURIFIELD AVE
ROCKWALL, TX 75087

DURST STEVEN P
1990 CLUB LAKE CIR
ROCKWALL, TX 75087

AFROIMSKY LAURA
EDWARD AFROIMSKY
1990 CREEKSIDE DR
ROCKWALL, TX 75087

BENNETT BYRON R & STACEY L
1990 MURIFIELD AVE
ROCKWALL, TX 75087

PATTERSON WALTER F II AND CARRIE E
1990 RIDGE CREST PLACE
ROCKWALL, TX 75087

OREFICE ALDO & RITA A
1990 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1995 MURIFIELD AVE
ROCKWALL, TX 75087

WICKHAM ROBERT O II & MITA P
1995 CLUB LAKE CIR
ROCKWALL, TX 75087

HULBEN REVOCABLE LIVING TRUST
STANLEY GEORGE HULBEN AND KIMBERLY ANN
HULBEN- COTRUSTEES
1995 CREEKSIDE DRIVE
ROCKWALL, TX 75087

ROYALL DWIGHT FRANK
1995 HIDDEN VLY
ROCKWALL, TX 75087

MORRISON WARD C
1998 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2000 MURIFIELD AVE
ROCKWALL, TX 75087

BUTLER EDWARD J VI AND MELISSA
2000 BERKDALE LN
ROCKWALL, TX 75087

THAI TONG HOA & CHRISTINE UYEN
2000 CLUB LAKE CIR
ROCKWALL, TX 75087

GARRETT KATHY
2000 GLENCOE DR
ROCKWALL, TX 75087

ARAUZ CARLOS
2000 LAKE FOREST DR
ROCKWALL, TX 75087

MOORE NICHOLAS AND KERRI-ANN
2000 RIDGE CREST PL
ROCKWALL, TX 75087

OLSON GREG & CHARLENE
2001 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2005 HEATHER GLEN DR
ROCKWALL, TX 75087

GARZA JUAN M
2005 BERKDALE LN
ROCKWALL, TX 75087

CONFIDENTIAL
2005 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

PIERCE PATRICK AND MARLA
2005 LAKE FOREST DRIVE
ROCKWALL, TX 75087

TANGLEVINE SERIES, A SERIES OF CA & LA, LLC
201 GOLD STREET SUITE 300
GARLAND, TX 75042

EGANRIDGE SERIES
A SERIES OF CA & LA LLC
201 GOLD STREET SUITE 300
GARLAND, TX 75042

RESIDENT
2010 GLENCOE DR
ROCKWALL, TX 75087

RESIDENT
2010 HEATHER GLEN DR
ROCKWALL, TX 75087

FULLERTON ELVIN R & DIANNA D
2010 ASHBOURNE DRIVE
ROCKWALL, TX 75087

HANSEN HOLGER B
2010 BERKDALE LN
ROCKWALL, TX 75087

LONG SCOTT E
2010 CLUB LAKE CIR
ROCKWALL, TX 75087

BERENSON MITCHELL & ROBERTA
2010 CRESTLAKE DR
ROCKWALL, TX 75087

CALVERT MYRNA
2010 HILLCROFT DRIVE
ROCKWALL, TX 75087

FLECK CORY M & LINDSEY
2011 WHITNEY BAY DRIVE
ROCKWALL, TX 75087

HUFFMAN MELISSA ANN AND JOHN EDWIN
2015 BERKDALE LANE
ROCKWALL, TX 75087

MINOR TIMOTHY & JENNIFER
2015 CLUB LAKE CIR
ROCKWALL, TX 75087

BJORKLUND ROBERT PAUL AND LAURA LYNN
2015 CLUBVIEW DR
ROCKWALL, TX 75087

SMITH STEPHEN C & HELEN S
2015 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

KAMPMAN STEVEN & JANIS
2015 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2020 BERKDALE LN
ROCKWALL, TX 75087

RESIDENT
2020 HILLCROFT DR
ROCKWALL, TX 75087

SMITH DAN R & DEBORAH D
2020 ASHBOURNE DR
ROCKWALL, TX 75087

HUGHES LARRY AND DONABEL
2020 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

SCOTT HERBERT & JILL
2020 CLUBVIEW DR
ROCKWALL, TX 75087

MAY STEPHEN AND MELANIE
2020 GLENCOE DR
ROCKWALL, TX 75087

ROSS MICHAEL C & PAULA FRASSINETTI
2020 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

HEGGAR RICKEY & LAKECIA
2020 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2021 WHITNEY BAY DR
ROCKWALL, TX 75087

ROPER DAN A & TINA P
2025 BERKDALE LN
ROCKWALL, TX 75087

RUTHERFORD KAREN
2025 CLUB LAKE CIR
ROCKWALL, TX 75087

KING ROGER AND JULIA
2025 HEATHER GLEN DR
ROCKWALL, TX 75087

RANDLE MICHAEL & REBECCA
2025 HILLCROFT DR
ROCKWALL, TX 75087

GG & MG FAMILY REVOCABLE TRUST
GREGORY ENLOE GOFF & MITZIE RENEE GOFF-
CO-TRUSTEES
2025 LAKE FOREST DRIVE
ROCKWALL, TX 75087

DAWSON PAULA G
2030 ASHBOURNE DRIVE
ROCKWALL, TX 75087

CRUMRINE MICHAEL V & ANDREA L
2030 BERKDALE LANE
ROCKWALL, TX 75087

HURT TYRONE & BARBARA
2030 CRESTLAKE DR
ROCKWALL, TX 75087

MCCOLLOM JOE A & MARCINE G
2030 GLENCOE DR
ROCKWALL, TX 75087

DRAPER LESLIE WIENHOLD
2030 HEATHER GLEN DR
ROCKWALL, TX 75087

WILK TERESA HALEY
2030 LAKE FOREST DR
ROCKWALL, TX 75087

DOUGLAS DARYL
2035 BERKDALE LN
ROCKWALL, TX 75087

LOTZ BRADY CHRISTOPHER CHARLENE R
2035 CLUBLAKE CIRCLE
ROCKWALL, TX 75087

PRUIETT CHARLES S & ANGELA
2035 CLUBVIEW DRIVE
ROCKWALL, TX 75087

CAMPBELL BRADLEY M AND VICKY J
2035 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

SANCHEZ ARTURO M & DIANNE M
2035 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2040 CLUBVIEW DR
ROCKWALL, TX 75087

BALEK JENNIFER AND CHARLES
2040 ASHBOURNE DRIVE
ROCKWALL, TX 75087

MCCLAIN MAURICE & LAKISHA
2040 BERKDALE LN
ROCKWALL, TX 75087

DUFFY JUSTIN
2040 GLENCOE DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
2040 HEATHER GLEN DR
ROCKWALL, TX 75087

SWINGER JEFFREY A &
KIMBERLY A
2040 HILLCROFT DR
ROCKWALL, TX 75087

SWINFORD STEVE
2040 LAKE FOREST DR
ROCKWALL, TX 75087

ZAESKE ROGER A JR & BRIDGET
2040 WHITNEY BAY
ROCKWALL, TX 75087

RESIDENT
2041 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
2041 WHITNEY BAY DR
ROCKWALL, TX 75087

VALLE JAMES JUAN
2041 GLENCOE DRIVE
ROCKWALL, TX 75087

MCGOVERN MARTIN ORVILLE & TAMMY STARK
2045 BERKDALE LANE
ROCKWALL, TX 75087

STURGEON DENNIS J & KAREN S
2045 CLUB LAKE CIR
ROCKWALL, TX 75087

LEE JUSTIN V AND CHRISTINA
2045 CLUBVIEW DR
ROCKWALL, TX 75087

SLAYTON MICHAEL AND CYNTHIA
2045 HEATHER GLEN DR
ROCKWALL, TX 75087

WOODUL LEX E & KIMBERLY M
2045 HILLCROFT DRIVE
ROCKWALL, TX 75087

ATTERBURY ANDREW J
2045 LAKE FOREST DRIVE
ROCKWALL, TX 75087

WILLIAMS CEMETERY
C/O MIKE PHEMISTER
205 W RUSK ST
ROCKWALL, TX 75087

RESIDENT
2050 BELFRY CT
ROCKWALL, TX 75087

RESIDENT
2050 GLENCOE DR
ROCKWALL, TX 75087

BOTERO JUAN AND OLGA ARCINIEGAS
2050 ASHBOURNE DR
ROCKWALL, TX 75087

MORRIS CYNTHIA
2050 BERKDALE LN
ROCKWALL, TX 75087

PARDUE JASON AND SUZAN
2050 GARDEN CREST DR.
ROCKWALL, TX 75087

URRUTIA DIANA M AND FLAVIO
DALLAGASPERINA
2050 HEATHER GLEN DR
ROCKWALL, TX 75087

ARMON STEVEN J & LETICIA
2050 WHITNEY BAY DR
ROCKWALL, TX 75087

AMMER MARK E & ROSANNE M
2051 ASHBOURNE DR
ROCKWALL, TX 75087

BIRK STEPHEN J AND ALISON L
2051 GLENCOE DR
ROCKWALL, TX 75087

CLARK MICHAEL D AND
LESLIE ANN GRIFFIN
2051 WHITNEY BAY DRIVE
ROCKWALL, TX 75087

RESIDENT
2055 BERKDALE LN
ROCKWALL, TX 75087

RESIDENT
2055 CLUB LAKE CIR
ROCKWALL, TX 75087

SCHULTER SUSAN
2055 CRESTLAKE DR
ROCKWALL, TX 75087

WILSON JEFFREY A AND DANIELLE L
2055 GARDEN CREST DR
ROCKWALL, TX 75087

GRIM MELODY
2055 HEATHER GLEN DR
ROCKWALL, TX 75087

RESIDENT
2060 GARDEN CREST DR
ROCKWALL, TX 75087

RESIDENT
2060 HILLCROFT DR
ROCKWALL, TX 75087

HENDERSON MARKHAM L
2060 ABERDEEN LN
ROCKWALL, TX 75087

DENNY LARRY A II AND ERIN
2060 ASHBOURNE DR
ROCKWALL, TX 75087

PARKER BROCC & CRYSTAL
2060 BELFRY COURT
ROCKWALL, TX 75087

CLARK KENNETH P
2060 BERKDALE LN
ROCKWALL, TX 75087

JOHNSON JAMES E & CYNTHIA A
2060 GLENCOE DR
ROCKWALL, TX 75087

MCCUTCHEON TERESA
2060 HEATHER GLEN DR
ROCKWALL, TX 75087

GARABEDIAN EUGENE C & COURTNEY
2060 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2061 BELFRY CT
ROCKWALL, TX 75087

SAETZ JESSE W & BARBARA
2061 ASHBOURNE DR
ROCKWALL, TX 75087

ROTH JASON AND STEPHANIE
2061 GLENCOE DRIVE
ROCKWALL, TX 75087

BARNES GREGORY B & HOLLY T
2061 WHITNEY BAY
ROCKWALL, TX 75087

RESIDENT
2065 CRESTLAKE DR
ROCKWALL, TX 75087

RESIDENT
2065 GARDEN CREST DR
ROCKWALL, TX 75087

RESIDENT
2065 HEATHER GLEN DR
ROCKWALL, TX 75087

COLMENERO ROSA
2065 BERKDALE LN
ROCKWALL, TX 75087

SWARINGEN STEPHEN NEAL
2065 CLUB LAKE CIR
ROCKWALL, TX 75087

JORDAN GORDON AND ANNE-MARIE
2065 HILLCROFT DRIVE
ROCKWALL, TX 75087

CARROLL BOBBY & CAROLYN
2065 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2069 BELFRY CT
ROCKWALL, TX 75087

NHUAN HUU HOANG
HOAN T NGUYEN
2069 BELFRY CT
ROCKWALL, TX 75087

MEYER KEVIN J AND JULIE E
2070 ABERDEEN LN
ROCKWALL, TX 75087

BOLDEN WILLIE II & JENNIFER L
2070 ASHBOURNE DR
ROCKWALL, TX 75087

DUNKLAU BRENT & TAMIE
2070 BELFRY CT
ROCKWALL, TX 75087

RITLAND AMY
2070 BERKDALE LN
ROCKWALL, TX 75087

SISKA PATRICIA DAWN
2070 GARDEN CREST DR
ROCKWALL, TX 75087

RUTLEDGE RONNIE & KAREN
2070 GLENCOE DR
ROCKWALL, TX 75087

MCDERMOTT ERIN M
2070 HEATHER GLEN DR
ROCKWALL, TX 75087

STRONZA JOSEFINA
2070 WHITNEY BAY DR
ROCKWALL, TX 75087

MATHIS SUMMER
2071 ASHBOURNE DRIVE
ROCKWALL, TX 75087

GREEN TYE
2071 GLENCOE DRIVE
ROCKWALL, TX 75087

PATEL ASISH & SMRUTI
2071 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2075 CRESTLAKE DR
ROCKWALL, TX 75087

RESIDENT
2075 GARDEN CREST DR
ROCKWALL, TX 75087

HAYNES SCOTT A & RHONDA
2075 BERKDALE LN
ROCKWALL, TX 75087

HORN JAN AND JULI
2075 CLUBLAKE CIR
ROCKWALL, TX 75087

CAMPMAN LAYNE & CINDY
2075 LAKE FOREST DR
ROCKWALL, TX 75087

BROWN DONALD K
2079 BELFRY CT
ROCKWALL, TX 75087

RESIDENT
2080 GLENCOE DR
ROCKWALL, TX 75087

MANN DEEDRA D
2080 ABERDEEN LN
ROCKWALL, TX 75087

DANIELS CURTIS LEON AND KENYA RENEE
2080 ASHBOURNE DRIVE
ROCKWALL, TX 75087

FLORES PETER
2080 BELFRY CT
ROCKWALL, TX 75087

ALVES CHRISTIAN S & LISA D
2080 BERKDALE LN
ROCKWALL, TX 75087

GREGA JON C
2080 GARDEN CREST DR
ROCKWALL, TX 75087

DAVIS DONALD EUGENE AND GRACE MARIA
2080 HEATHER GLEN DR
ROCKWALL, TX 75087

SINK JERRY D AND HESTER
2081 ABERDEEN LN
ROCKWALL, TX 75087

RICE DAVID AND
ELIZABETH PEREZ
2081 ASHBOURNE DR
ROCKWALL, TX 75087

SEED DANIEL BLAKE
2081 GLENCOE DR
ROCKWALL, TX 75087

MCCONNELL KAITLYN AND
BRAZOS ELKINS
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

HARRIS VINCENT AND FANTASIA
2085 BERKDALE LANE
ROCKWALL, TX 75087

BEARDEN GABRIEL
2085 CLUB LAKE CIR
ROCKWALL, TX 75087

SIMPSON JASON L & LISA D
NORMAN L PICKENS
2085 CRESTLAKE DR
ROCKWALL, TX 75087

CONGER EDWARD G & CATHERINE A
2085 GARDEN CREST DR
ROCKWALL, TX 75087

VELEZ CARLOS E
2085 HEATHER GLEN DR
ROCKWALL, TX 75087

KANE HUGH AND JANET
2089 BELFRY CT
ROCKWALL, TX 75087

RESIDENT
2090 GARDEN CREST DR
ROCKWALL, TX 75087

BULLOCK JAKE W & NICOLE
2090 ABERDEEN LANE
ROCKWALL, TX 75087

RICHMOND THOMAS R III
2090 ASHBOURNE DR
ROCKWALL, TX 75087

COCK ROBERT T & KIMBERLY M
2090 BELFRY COURT
ROCKWALL, TX 75087

TABER JAMES E
2090 BERKDALE LANE
ROCKWALL, TX 75087

HOLLOWELL DAVID L & JULIE K
2090 GLENCOE DRIVE
ROCKWALL, TX 75087

RUSHIN ASHLEY R
2090 HEATHER GLEN DR
ROCKWALL, TX 75087

SMITH MICHAEL AND KAMIA
2090 WHITNEY BAY DR
ROCKWALL, TX 75087

ANKEBRANT BRANDON LEE &
WHITNEY DENISE ROCKEY
2091 ASHBOURNE DR
ROCKWALL, TX 75087

SAILORS THOMAS L AND ALBERTA J
2091 GLENCOE DRIVE
ROCKWALL, TX 75087

GLAZIER JOSHUA KENT & ANDREA
2091 WHITNEY BAY DRIVE
ROCKWALL, TX 75087

MCCARTHY ROBERT M & DEBORAH M
2095 BERKDALE LN
ROCKWALL, TX 75087

ROTHERMEL JASON M AND CRYSTAL M
2095 CRESTLAKE DR
ROCKWALL, TX 75087

DELEMOS MARTHA J
2095 GARDEN CREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2100 ABERDEEN LN
ROCKWALL, TX 75087

RICH WILLIAM ANDRE
2100 BERKDALE LANE
ROCKWALL, TX 75087

COURTNEY ZACK AND MICHELLE
2100 CLUBVIEW DRIVE
ROCKWALL, TX 75087

KENNETH L GRANGER FAMILY TRUST
KENNETH L GRANGER- TRUSTEE
2100 GARDEN CREST DRIVE
ROCKWALL, TX 75087

SIMONETTI LISA JOYCE AGNEW
2100 GLENCOE DR
ROCKWALL, TX 75087

JOSIAH ANDRE R AND BRIDGET D
2100 HEATHER GLEN DR
ROCKWALL, TX 75087

BERTOLINI SUSAN
2100 HILLCROFT DR
ROCKWALL, TX 75087

CROWDER KENNETH C & JAN L
2100 LACEBARK LN
ROCKWALL, TX 75087

MAZZUCA MICHAEL JR AND JULIE
2100 TWIN CREEK LN
ROCKWALL, TX 75087

RESIDENT
2101 LACEBARK LN
ROCKWALL, TX 75087

RESIDENT
2101 TWIN CREEK LN
ROCKWALL, TX 75087

GILBERT NATHAN C & ELAINE T
2101 GLENCOE DR
ROCKWALL, TX 75087

RESIDENT
2105 GARDEN CREST DR
ROCKWALL, TX 75087

2022 M.J. MITCHELL REVOCABLE TRUST
MICHAWL JAMES MITCHELL AND JANINE
KIMBERLY MITCHELL
2105 BERKDALE LANE
ROCKWALL, TX 75087

HOWELL MARCUS JR AND EMILY
2105 CLUBVIEW DRIVE
ROCKWALL, TX 75087

KUPONIYI OLANREWAJU AND FUNMILAYO
2105 CRESTLAKE DR
ROCKWALL, TX 75087

JONES CHRISTINA N & BRANDON S
2105 HILLCROFT DRIVE
ROCKWALL, TX 75087

BRAMLETT D KYLE & DEIDRE
2105 LAKE FOREST DR
ROCKWALL, TX 75087

STILWELL DEBORAH
2106 LACEBARK LN
ROCKWALL, TX 75087

WETMORE BRENT & CHELSEA
2106 TWIN CREEK LANE
ROCKWALL, TX 75087

ISTEL DONALD III AND KRISHA
2107 LACEBARK LANE
ROCKWALL, TX 75087

BEASLEY WILLIAM KENNETH AND JENNIFER D
2110 BERKDALE LN
ROCKWALL, TX 75087

ARLAUSKAS ROBERT AND MILDA
2110 CLUBVIEW DRIVE
ROCKWALL, TX 75087

BENNETT PATTI
2110 GARDEN CREST DR
ROCKWALL, TX 75087

BRIDGES JOHN MARCUS JR & HYUNJU
2110 HEATHER GLEN DR
ROCKWALL, TX 75087

WANG YUAN CHUAN CHAD &
HUI CHIN CHENG WANG
2110 HILLCROFT DR
ROCKWALL, TX 75087

SCHRAP JOHANN M & WANDA
2112 LACEBARK LN
ROCKWALL, TX 75087

AJAM HANI AND
ZAHRA ELHANOUN
2112 TWIN CREEK LN
ROCKWALL, TX 75087

JOHNSTON BENJAMIN AND CHASARETH
2113 LACEBARK LN
ROCKWALL, TX 75087

JOSEPH AND NAOMI WRIGHT REVOCABLE
TRUST
JOSEPH PATTEN WRIGHT- TRUSTEE
2114 BARLASS DRIVE
ROCKWALL, TX 75087

ROBERTSON JEFFREY MICHAEL & ALEXANDRA
HANSARD
2115 CLUBVIEW DRIVE
ROCKWALL, TX 75087

SMITH CAROL ANN
2115 CRESTLAKE DR
ROCKWALL, TX 75087

HOANG WAYNE N
2115 GARDEN CREST DR
ROCKWALL, TX 75087

YOON SAM HEE & HYANG SOOK
2115 HILLCROFT DR
ROCKWALL, TX 75087

HIBBS DANIEL AARON AND JENNIFER ANGELA
2115 LAKE FOREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2116 BARLASS DRIVE
ROCKWALL, TX 75087

BRAUN LISA AND BRIAN
2118 BARLASS DR
ROCKWALL, TX 75087

MORGAN DEVON OLIVIA AND WILLIAM RILEY
2118 LACEBARK LN
ROCKWALL, TX 75087

LAPARE DENNIS E & RENEE E
2118 TWIN CREEK LN
ROCKWALL, TX 75087

SMITH JEFFERY D & JANIC R
2119 LACEBARK LN
ROCKWALL, TX 75087

RESIDENT
2120 BERKDALE LN
ROCKWALL, TX 75087

RESIDENT
2120 CRESTLAKE DR
ROCKWALL, TX 75087

CAVAZOS BRUNO
2120 BARLASS DRIVE
ROCKWALL, TX 75032

ZINK EDMUND D AND DEBORAH K
2120 CLUBVIEW DR
ROCKWALL, TX 75087

BRADY CHRISTOPHER
2120 GARDEN CREST DR
ROCKWALL, TX 75087

BURNS MARK A AND ASHLEY R
2120 HEATHER GLEN DR
ROCKWALL, TX 75087

LAFFERTY STEPHEN K & CHRISTINA A
2120 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2124 TWIN CREEK LN
ROCKWALL, TX 75087

MANAK PAUL W & LINDA L
2125 CLUBVIEW DR
ROCKWALL, TX 75087

SMILEY KEVIN & JENNIFER
2125 CRESTLAKE DR
ROCKWALL, TX 75087

FOLZ GILBERT F JR & TERESA
2125 GARDEN CREST DR
ROCKWALL, TX 75087

DELURINTU CRISTIANA AND
WILEY JACKSON JR
2125 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

SCHIFFMANN RAPHAEL
2125 HILLCROFT DR
ROCKWALL, TX 75087

PARDUE SUZAN LEIGH LUX
2125 LAKE FOREST DR
ROCKWALL, TX 75087

LANG NEAL & TAMMY
2127 LACEBARK LN
ROCKWALL, TX 75087

NICHOLS KESNEY
2130 BERKDALE LANE
ROCKWALL, TX 75087

LEWIS JONATHAN
2130 CLUBVIEW DRIVE
ROCKWALL, TX 75087

DIAZ FRANCISCO C AND ANDREA SILVA
2130 CRESTLAKE DR
ROCKWALL, TX 75087

TURNER ROBERT LINCOLN III AND JOSEFINA C
2130 GARDEN CREST DRIVE
ROCKWALL, TX 75087

MAJORS NATHAN & MICHELLE
2130 HEATHER GLEN DR
ROCKWALL, TX 75087

PENNISTON GAROLD J & BETTYE J
2130 HILLCROFT DR
ROCKWALL, TX 75087

COLLINS KIT J
2130 TWIN CREEK LN
ROCKWALL, TX 75087

PAULSEN ROBERT ALLAN III AND KATHRYN
BLAIR
2135 CLUBVIEW DRIVE
ROCKWALL, TX 75087

CAMPION ANGELA D
2135 CRESTLAKE DRIVE
ROCKWALL, TX 75087

DAVIS RANDAL R
2135 GARDEN CREST DR
ROCKWALL, TX 75087

PIERCE KRISTEN
2135 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

HUGHES BARTON B AND CATHERINE H
2135 HILLCROFT DR
ROCKWALL, TX 75087

KABA GAZMENT & SHQIPE
2135 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2136 TWIN CREEK LN
ROCKWALL, TX 75087

LEE-GRAHAM WENDY
214 HEATHER GLEN DR
ROCKWALL, TX 75087

STELMAR THOMAS E JR
TRACY J STELMAR
2140 CLUBVIEW DR
ROCKWALL, TX 75087

SHAW KIRK D & MELISSA M
2140 CRESTLAKE DRIVE
ROCKWALL, TX 75087

DELANEY JIMMY
2140 GARDEN CREST DR
ROCKWALL, TX 75087

LEE-GRAHAM WENDY
2140 HEATHER GLEN DR
ROCKWALL, TX 75087

BOREK RICHARD J II AND OLGA
2140 HILLCROFT DR
ROCKWALL, TX 75087

PERCEFUL LARRY P
2140 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2145 CRESTLAKE DR
ROCKWALL, TX 75087

GARCIA LAURA AND AMANDA SUSTAITA
2145 CLUBVIEW DRIVE
ROCKWALL, TX 75087

ROBINSON RAY & BARBARA
2145 GARDEN CREST DR
ROCKWALL, TX 75087

KOTWAL MICHAEL CHAD
2145 HEATHER GLEN DR
ROCKWALL, TX 75087

BAUCOM KERRY E & CHRISTOPHER S
2145 HILLCROFT DRIVE
ROCKWALL, TX 75087

HAENFTLING JOHN E & TAMMY J
2150 CLUBVIEW DR
ROCKWALL, TX 75087

OP SPE PHX1 LLC
2150 E GERMANN RD SUITE #1
CHANDLER, AZ 85286

PACOT MICHELLE BROUSSARD & SCOTT
2150 GARDEN CREST DR
ROCKWALL, TX 75087

DEMUTH RAYMOND P & MARY E
2150 HEATHER GLEN DR
ROCKWALL, TX 75087

LI SHIYOU
2150 HILLCROFT DR
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DRIVE
ROCKWALL, TX 75087

LEAF SHOENE J & WILLIAM F II
2155 CRESTLAKE DR
ROCKWALL, TX 75087

TANKERSLEY LUTHER
2155 GARDEN CREST
ROCKWALL, TX 75087

VOGELMAN EUGENE R AND JENNIFER H
2155 HILLCROFT DRIVE
ROCKWALL, TX 75087

ROOF STEPHEN
2155 LAKE FOREST DR
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

KING TRAVIS S & BRIDGETTE K
2160 CLUBVIEW DR
ROCKWALL, TX 75087

ROSE JAMES D AND NANCY L
2160 CRESTLAKE DR
ROCKWALL, TX 75087

BURROW RUSTY & CHRISTINE
2160 GARDEN CREST DR
ROCKWALL, TX 75087

SCHEETZ STEPHEN P & CARLA J
2160 HILLCROFT DR
ROCKWALL, TX 75087

WRIGHT REBEKAH R & KEVIN P
2160 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2165 GARDEN CREST DR
ROCKWALL, TX 75087

WILLIAMS RANDY
2165 CLUBVIEW DR
ROCKWALL, TX 75087

WILCOX RICHARD C
2165 CRESTLAKE DR
ROCKWALL, TX 75087

SMITH KENNETH D &
DENISE M DUNCAN SMITH
2165 HILLCROFT DR
ROCKWALL, TX 75087

WANG GUONENG AND HUI SUN
2165 HOLLYHOCK CT
GILROY, CA 95020

GLADNEY CAROL
2170 CRESTLAKE DR
ROCKWALL, TX 75087

BALLENGER DANIEL & JULIE
2170 GARDEN CREST DR
ROCKWALL, TX 75087

GREEN WILLIAM M AND LINDSAY
2170 HILLCROFT DR
FATE, TX 75087

CONFIDENTIAL
2175 CLUBVIEW DR
ROCKWALL, TX 75087

FISCHER SARA
2175 CRESTLAKE DR
ROCKWALL, TX 75087

CHILDERS JOHN & EMILY A
2175 GARDEN CREST DR
ROCKWALL, TX 75087

JOSE JEFFRIN &
LINDA THOMAS
2175 HILLCROFT DRIVE
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
2175 LAKE FOREST DR
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2180 GARDEN CREST DR
ROCKWALL, TX 75087

SCHILLE JOSHUA AND ALISHA
2180 HILLCROFT DR
ROCKWALL, TX 75087

FLORES ANGEL O & GENISE J
2180 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2185 CLUBVIEW DR
ROCKWALL, TX 75087

RESIDENT
2185 CRESTLAKE DR
ROCKWALL, TX 75087

LUX MARGERY S
2185 GARDEN CREST DRIVE
ROCKWALL, TX 75087

KEISER ANDREW B AND ELIZABETH M
2185 HILLCROFT DR
ROCKWALL, TX 75087

MCKENZIE DONALD & SHELBI
2185 LAKE FOREST DR
ROCKWALL, TX 75087

CARREIRO DENNIS
2190 GARDEN CREST DR
ROCKWALL, TX 75087

HEFFNER STEPHEN D & DEBORAH L
2190 HILLCROFT DR
ROCKWALL, TX 75087

WILKERSON STEPHEN AND LORI
2190 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2195 GARDEN CREST DR
ROCKWALL, TX 75087

GAWEDZINSKI ROBERT W & DIANE B
2195 CRESTLAKE DRIVE
ROCKWALL, TX 75087

WINSON PETER & THERESA TRAN
2195 HILLCROFT DR
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D
220 W QUAIL RUN RD
ROCKWALL, TX 75087

MOORE KENNETH S & JENNIFER R
2200 CRESTLAKE DR
ROCKWALL, TX 75087

THONG SUNNARAK & PHAL K
2200 HILLCROFT DR
ROCKWALL, TX 75087

ROPER PATTY
2205 FALLS VIEW DRIVE
ROCKWALL, TX 75087

WHITE LARRY & JANETLYN
2205 GARDEN CREST DRIVE
ROCKWALL, TX 75087

WEIN ROBERT T & YULIA
2205 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2210 GARDEN CREST DR
ROCKWALL, TX 75087

FOUTZ DONALD L & DEBORA L
2210 HILLCROFT DR
ROCKWALL, TX 75087

ARZYMBOV RUSTEM
2210 THOMAS JEFFERSON DR
RENO, NV 89509

GARDNER SUZANNE ROGERS
2215 CRESTLAKE DR
ROCKWALL, TX 75087

LEE RYAN AND CHRISTINA
2215 FALLS VIEW DRIVE
ROCKWALL, TX 75087

FORD FRANK G & RHYS O
2215 GARDEN CREST DR
ROCKWALL, TX 75087

HARPER JOHN R & RINA N
2215 HILLCROFT DR
ROCKWALL, TX 75087

ESTATE OF OEXMAN ALVIN & JOHNNIE
222 DAISE LN
LINDALE, TX 75771

LEE MARK AND KIMBERLY
222 EAGLES BLUFF BLVD
BULLARD, TX 75757

GORDON CECILIA A
222 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2220 GARDEN CREST DR
ROCKWALL, TX 75087

MCKELROY KENNETH G AND LORI
2220 BARLASS DRIVE
ROCKWALL, TX 75087

MYRICK CHASE AND CHRISTINA
2224 BARLASS DR
ROCKWALL, TX 75087

RESIDENT
2225 GARDEN CREST DR
ROCKWALL, TX 75087

ARANYOS JOSEPH AND KESHETTE BURTON
2225 FALLS VIEW DR
ROCKWALL, TX 75087

VELA IGNACIO
2225 HILLCROFT DR
ROCKWALL, TX 75087

LOFLAND WILLIAM CHRISTOPHER AND LINDSEY
NICOLE
2226 BARLASS DR.
ROCKWALL, TX 75087

BOWMAN JOHN D AND BARBARA
2228 BARLASS DR
ROCKWALL, TX 75087

SARTAIN ROBBIE R AND KIM M
2230 BARLASS DR
ROCKWALL, TX 75087

BOND MARK A
2230 GARDEN CREST DRIVE
ROCKWALL, TX 75087

BALLARD LINDA A
2232 BARLASS DRIVE
ROCKWALL, TX 75087

ROHLF DWAYNE C & KIMBERLY L
2235 FALLS VIEW DR
ROCKWALL, TX 75087

DUNNE ELIZABETH
2235 GARDEN CREST DR
ROCKWALL, TX 75087

RESIDENT
224 W QUAIL RUN RD
ROCKWALL, TX 75087

WALKER MERVIN NELSON AND NELDA DARLENE
2240 GARDEN CREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2240 SHORECREST DR
ROCKWALL, TX 75087

JONES STEVEN H AND MARY R
2240 WATER WAY
ROCKWALL, TX 75087

HILTON W DARRELL &
MELINDA G HILTON
2245 FALLS VIEW DR
ROCKWALL, TX 75087

VITIELLO KRISTINE A & DAN F
2245 GARDEN CREST DR
ROCKWALL, TX 75087

TOWER MATTHEW C AND CANDACE ELAINE
2245 SHORECREST DRIVE
ROCKWALL, TX 75087

FRANCES B STINNETT REVOCABLE TRUST
FRANCES BELK STINNETT- TRUSTEE
2250 GARDEN CREST DRIVE
ROCKWALL, TX 75087

COERVER HOLLY H
2250 WATER WAY
ROCKWALL, TX 75087

MIKOLASEK FAMILY TRUST
RICHARD A AND TIMARIE A MIKOLASEK
22535 S BRAMBLE HILL RD
JOLIET, IL 60404

PEACOCK DONALD AND MEGAN
2255 FALLS VIEW DR
ROCKWALL, TX 75087

GLENN JOHN AND CHRISHTAN
2255 GARDEN CREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2260 GARDEN CREST DR
ROCKWALL, TX 75087

THOMAS NATHAN & APRIL
2260 SHORECREST DRIVE
ROCKWALL, TX 75087

RADCLIFF DAVID M & MICHELLE L
2260 WATER WAY
ROCKWALL, TX 75087

GRIMES OTIS M
2265 FALLS VIEW DR
ROCKWALL, TX 75087

KRATZ WILLIAM
2265 GARDEN CREST DR
ROCKWALL, TX 75087

NESKOVIC BRANO & RADA
2265 SHORECREST DR
ROCKWALL, TX 75087

PORTOFINO DRIVE LLC
2266 LAFAYETTE LANDING
HEATH, TX 75032

CORBELL TAMMIE
2270 GARDEN CREST DR
ROCKWALL, TX 75087

GARCIA MARY A
2270 SHORECREST DR
ROCKWALL, TX 75087

VAZQUEZ EDWIN J
2270 WATER WAY
ROCKWALL, TX 75087

BOOKER JON
2271 LAFAYETTE LANDING
ROCKWALL, TX 75032

BUSTOS SONYA
2275 FALLS DRIVE
ROCKWALL, TX 75087

FALETTO DARRYL D
2275 GARDEN CREST DR
ROCKWALL, TX 75087

MIZE CAROLYN
2275 SHORECREST DR
ROCKWALL, TX 75087

RESIDENT
2280 GARDEN CREST DR
ROCKWALL, TX 75087

MORGAN WILLIAM E & MARIAN G
2280 SHORECREST DR
ROCKWALL, TX 75087

SEATON GREGORY B AND KAYLA E
2280 WATER WAY
ROCKWALL, TX 75087

WISEMAN CAREY S AND REBECCA
2285 FALLS VIEW DR
ROCKWALL, TX 75087

WISEMAN CAREY STEPHEN AND REBECCA
DENESE
2285 FALLS VIEW DRIVE
ROCKWALL, TX 75087

KRAWIETZ LUKE & CYNTHIA
2285 GARDEN CREST DR
ROCKWALL, TX 75087

HOLLOWAY GREGORY & TERRY
2285 SHORECREST DR
ROCKWALL, TX 75087

RESIDENT
2290 GARDEN CREST DR
ROCKWALL, TX 75087

CHRISTIAN JOHN CASEY
2290 WATER WAY
ROCKWALL, TX 75087

CRUMP ERIKA B & ALRED T IV
2295 FALLS VIEW DRIVE
ROCKWALL, TX 75087

WAGNER STACY L
2295 GARDEN CREST DR
ROCKWALL, TX 75087

POLK JEREMY DON & JENNIFER SHAE
2300 GOLD COAST COURT
ROCKWALL, TX 75087

MORGENTHALER EDWARD P
2300 SHOAL CREEK LN
ROCKWALL, TX 75087

KNIGHT KENNY
2300 WATER WAY
ROCKWALL, TX 75087

FISCHER PAUL A II AND JANE
2301 WATER WAY
ROCKWALL, TX 75087

ALBRECHT ALEXANDER
2301 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2305 FALLS VIEW DR
ROCKWALL, TX 75087

RILEY DANA J AND RICHARD E
2305 CRESTLAKE DR
ROCKWALL, TX 75087

STEGMAN STACIE AND JOSHUA
2305 GARDEN CREST DR
ROCKWALL, TX 75087

SILVA DAVID & SHEILA
2305 GOLD COAST CT
ROCKWALL, TX 75087

MULLIKEN MATTHEW S & ELLIE T
2305 LAKE FOREST DR
ROCKWALL, TX 75087

WATSON DANIEL L AND JANIS A
2305 SADDLEBROOK LN
ROCKWALL, TX 75087

ROBERT J MINBIOLE & ROSEMARY S MINBIOLE
REVOCABLE LIVING TRUST
ROBERT J MINBIOLE & ROSEMARY S MINBIOLE,
TRUSTEES
2305 SHOAL CREEK LANE
ROCKWALL, TX 75087

RESIDENT
2310 GOLD COAST CT
ROCKWALL, TX 75087

RESIDENT
2310 SHOAL CREEK LN
ROCKWALL, TX 75087

BEHNE DONALD P & LISA R
2310 WATER WAY
ROCKWALL, TX 75087

RICH JOANNA AND
ADAM RICH
2311 WATER WAY
ROCKWALL, TX 75087

MILNER LYNNE HARBART
2312 SERENITY LN
ROCKWALL, TX 75032

RESIDENT
2315 FALLS VIEW DR
ROCKWALL, TX 75087

RESIDENT
2315 GARDEN CREST DR
ROCKWALL, TX 75087

BENTON JOHN
2315 CRESTLAKE DRIVE
ROCKWALL, TX 75087

SIEG JEFFREY P AND REBECCA L
2315 GOLD COAST CT
ROCKWALL, TX 75087

MCMILLAN MICHAEL T
2315 SHOAL CREEK LANE
ROCKWALL, TX 75087

BAILEY JOHN BRANDON & MARESA RAMOS
2320 GOLD COAST COURT
ROCKWALL, TX 75087

CALHOUN JACKIE III & JOY
2320 SHOAL CREEK LANE
ROCKWALL, TX 75087

FREEMAN ROBERT PEYTON & TERESA L
2320 WATER WAY
ROCKWALL, TX 75087

OBRYAN LINDA
2321 WATER WAY
ROCKWALL, TX 75087

BRISCOE OIL INC
2323 STEVENS RD
ROCKWALL, TX 75032

RESIDENT
2325 FALLS VIEW DR
ROCKWALL, TX 75087

RESIDENT
2325 SHOAL CREEK LN
ROCKWALL, TX 75087

MILLIGAN GINGER LYNNETTE & ROBERT
WILLIAM
2325 CRESTLAKE DR
ROCKWALL, TX 75087

LIPPEL EVERRETT AND DANA
2325 DESERT FALLS
ROCKWALL, TX 75087

CONFIDENTIAL
2325 GARDEN CREST DR
ROCKWALL, TX 75087

ALCORN DAVID E AND
DAYSHA A CRAIN
2325 GOLD COAST COURT
ROCKWALL, TX 75087

RICHEY MICHAEL D AND TAMIE L
233 RIDGE POINT DR
HEATH, TX 75126

TOWLES JEFFREY AND
STEPHANIE TOWLES
2330 DESERT FALLS LANE
ROCKWALL, TX 75087

HOLT DAYLAN & JENNIFER
2330 GOLD COAST COURT
ROCKWALL, TX 75087

TWEDELL ELIZABETH AND MATTHEW
2330 SHOAL CREEK LN
ROCKWALL, TX 75087

BROWN AARON ETUX
2330 SHORECREST DR
ROCKWALL, TX 75087

BARSOUM GABRIEL AND BARAAT JAMIEL
ALFAHEL
2330 WATER WAY
ROCKWALL, TX 75087

RESIDENT
2331 WATER WAY
ROCKWALL, TX 75087

KING JON JOSHUA
2335 CRESTLAKE DRIVE
ROCKWALL, TX 75087

ENGLER ROBERT AND SHANNON
2335 DESERT FALLS LANE
ROCKWALL, TX 75087

PACOT SCOTT TREVOR AND MICHELLE
BROUSSARD-PACOT
2335 FALLS VIEW DR
ROCKWALL, TX 75087

BROWN CINDY AND ROBERT
2335 SHOAL CREEK
ROCKWALL, TX 75087

HOLMES JOHN ROGER & MARILYN L
2335 SHORECREST DR
ROCKWALL, TX 75087

SWANSON AARON J & PRISCILLA
2340 DESERT FALLS LN
ROCKWALL, TX 75087

CERVANTES JOSE AND ALEJANDRA
2340 SHOAL CREEK LN
ROCKWALL, TX 75087

FORMAN JOSEPH & ELIZABETH
2340 SHORECREST DR
ROCKWALL, TX 75087

ENGLAND JESSE AND MEREDITH
2340 WATER WAY
ROCKWALL, TX 75087

NORTHCUTT TERRY C & JANET R
2341 WATER WAY
ROCKWALL, TX 75087

BARKELEW JOSEPH MATTHEW
2345 CRESTLAKE DR
ROCKWALL, TX 75087

HICKEY COLIN P & CAROLYN G
2345 DESERT FALLS LANE
ROCKWALL, TX 75087

CONDREN ROBERT & SHEILA
2345 FALLS VIEW DR
ROCKWALL, TX 75087

REESE DENNIS P & GLORIA K
2345 LAKE FOREST DR
ROCKWALL, TX 75087

MARTIN PHYLLIS A
2345 SHOAL CREEK LN
ROCKWALL, TX 75087

CDEBACA CHRISTI W & BRIAN P
2345 SHORECREST DR
ROCKWALL, TX 75087

COKER SUZANNE & WESLEY C
2350 DESERT FALLS LN
ROCKWALL, TX 75087

DANIEL ANDREW AND KATHARINE
2350 SHOAL CREEK
ROCKWALL, TX 75087

WEIR STEVEN CRAIG
2350 SHORECREST DR
ROCKWALL, TX 75087

SAMARAS GREGORY S & MEREDITH D
2351 WATER WAY
ROCKWALL, TX 75087

MCGEE CHARLES E AND SHANNON L
2355 DESERT FALLS LANE
ROCKWALL, TX 75087

WHITE BRADY D AND SARAH E
2355 FALLS VIEW DRIVE
ROCKWALL, TX 75087

DECKER JOE & ELIZABETH
2355 SHOAL CREEK LN
ROCKWALL, TX 75087

GONZALEZ MARTIN N & ANGELA D
2355 SHORECREST DRIVE
ROCKWALL, TX 75087

JOHNSON BRIAN W & STEPHANIE KAHN
2360 DESERT FALLS LN
ROCKWALL, TX 75087

FITZPATRICK ADAM AND SARAH
2360 LAKE FOREST DRIVE
ROCKWALL, TX 75087

COUGHLIN JOHN & LYNETTE
2360 SHORECREST DR
ROCKWALL, TX 75087

DILLON JOSEPH W & TILLERI F
2360 WATER WAY
ROCKWALL, TX 75087

BORAWSKI PHILIP M AND TERRI R STCLAIR
2361 WATER WAY
ROCKWALL, TX 75087

WINKLER LIVING TRUST
MAGNOLIA L WINKLER- TRUSTEE
2365 DESERT FALLS LANE
ROCKWALL, TX 75087

RAGNO LINDA L
2365 FALLS VIEW DR
ROCKWALL, TX 75087

RAGNO LINDA L
2365 FALLS VIEW DR
ROCKWALL, TX 75087

HOLLOWAY WILLIAM DAVID & LISA K
2365 LAKE FOREST DRIVE
ROCKWALL, TX 75087

KHATER CHARLES J
2368 E FM 552
ROCKWALL, TX 75087

PATTERSON DAVID W
2370 DESERT FALLS LN
ROCKWALL, TX 75087

CONFIDENTIAL
2370 SHORECREST DR
ROCKWALL, TX 75087

DONHAM BRENT L & ELESA H
2370 WATER WAY
ROCKWALL, TX 75087

SINUTKO JOHN & NANCY BEVERLY
2375 FALLS VIEW DRIVE
ROCKWALL, TX 75087

HOLT KELLY AND TAMARA LYNN
2375 LAKE FOREST DRIVE
ROCKWALL, TX 75087

PERRY ALLEN D AND KAREN S
2380 DESERT FALLS LN
ROCKWALL, TX 75087

EDWARDS MORGAN AND
CHANCE WOOD
2380 SHORECREST DRIVE
ROCKWALL, TX 75087

YARBROUGH JAMES S
2380 WATER WAY
ROCKWALL, TX 75087

GEISINGER MATT D & JOYCE O
2385 FALLS VIEW DR
ROCKWALL, TX 75087

PINE ROBERT E & ELLEN R
2390 DESERT FALLS LN
ROCKWALL, TX 75087

REED CARA M
2390 SHORECREST DR
ROCKWALL, TX 75087

HUNT INES V & ROBERT W
2390 WATER WAY
ROCKWALL, TX 75087

HUNT ROBERT WESLEY & INES VALENTINA
2390 WATER WAY
ROCKWALL, TX 75087

COBLE JONATHAN B
2395 FALLS VIEW DR
ROCKWALL, TX 75087

AMH 2015-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIES EIGHT
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

RESIDENT
2400 DESERT FALLS LN
ROCKWALL, TX 75087

RAY DUSTIN K & JORDAN E
2400 SHORECREST DRIVE
ROCKWALL, TX 75087

LAMB KELLY
2400 WATER WAY
ROCKWALL, TX 75087

DUGGAN JOEL D & MELBA L
2405 FALLS VIEW DR
ROCKWALL, TX 75087

ARNEY TONI GALE AND
JEFFREY M FEYERHERM
2405 SHOAL CREEK LANE
ROCKWALL, TX 75087

RESIDENT
2410 SHORECREST DR
ROCKWALL, TX 75087

PORTER JON E & KAREN K
2410 DESERT FALLS LN
ROCKWALL, TX 75087

CONFIDENTIAL
2410 WATER WAY
ROCKWALL, TX 75087

SMITH STOVE L III AND AMY ONOFRIO-SMITH
2415 FALLS VIEW DR
ROCKWALL, TX 75087

RITTER DAVID AND HERMI
2415 SHOAL CREEK LANE
ROCKWALL, TX 75087

DANIEL BILLY AND SHERRY
2420 SHORECREST DR
ROCKWALL, TX 75087

STARR RICHARD
2420 WATER WAY
ROCKWALL, TX 75087

HAYES WILLIAM AND PATRICIA HAYES
2425 SHOAL CREEK LN
ROCKWALL, TX 75087

MATHSON KATHLEEN G
2430 SHORECREST DR
ROCKWALL, TX 75087

FASELER BRIAN J AND JENNIFER R
2430 WATER WAY
ROCKWALL, TX 75087

BARDWELL MICHAEL G & MARSHA L
2435 SHOAL CREEK LN
ROCKWALL, TX 75087

WARE WILSON G & CARRIE L
2440 SHORECREST DR
ROCKWALL, TX 75087

STRUNCK LYNDALL
2440 WATER WAY
ROCKWALL, TX 75087

FRITZ COREY F & SUSAN D
2445 SHOAL CREEK LN
ROCKWALL, TX 75087

STEVENSON BENJAMIN AND LAUREN
2450 SHORECREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2460 SHORECREST DR
ROCKWALL, TX 75087

QUAN HONG
2469 SLEEPY HOLLOW TRL
FRISCO, TX 75034

KEITH MACKENZIE D & KERRY S
2470 SHORECREST DRIVE
ROCKWALL, TX 75087

PARKER CEMETERY
C/O BARBARA WILLES
2471 FM 1141
ROCKWALL, TX 75087

MUNN ROBERT W & MARCIA C
2480 SHORECREST DR
ROCKWALL, TX 75087

DEVLIN MARY RACHEL
249 CRAFTS ST
NEWTON, MA 2460

WHITE RICHARD A
2490 SHORECREST DR
ROCKWALL, TX 75087

THE BRANCH OFFICE PROPERTIES LLC
C/O WILLIAM BRANCH
25 NOBLE COURT
HEATH, TX 75032

MCLAUGHLIN BRETT AND LEIGH
2500 DESERT FALLS LANE
ROCKWALL, TX 75087

NIEBLA OYUKI
2500 SHORECREST DRIVE
ROCKWALL, TX 75087

ELLIOTT JOEL S & SHARON KIM
2510 DESERT FALLS LANE
ROCKWALL, TX 75087

TETER ERIC JASON AND MELANIE ANN
2510 SHORECREST DRIVE
ROCKWALL, TX 75087

MEDINA MANUELA AND
MARIA DEL CARMEN MONTANA
2513 CHANTILLY CT
HEATH, TX 75032

RILEY TONY & KATHY
2520 SHORECREST DR
ROCKWALL, TX 75087

FREDERICKS GARY AND CHRISTINE
2530 SHORECREST DRIVE
ROCKWALL, TX 75087

COLON STEPHEN AND JULIENNE
2530 WATER WAY
ROCKWALL, TX 75087

HARRIS FAMILY LIVING TRUST
MARLENE & NORMAN HARRIS TRUSTEES
25534 WEST COLETTE WAY
CALABASAS, CA 91364

GOTROCKS PROPERTIES LLC
ATTN: GENE COOPER, MANAGER
2560 TECHNOLOGY DRIVE SUITE 100
PLANO, TX 75074

CUPP MARCUS D AND TRACY DEE KERR
2565 DESERT FALLS LN
ROCKWALL, TX 75087

LIECHTY HOMES INC
258 WINDY LN
ROCKWALL, TX 75087

BURKEY DARBY D
2585 DESERT FALLS LANE
ROCKWALL, TX 75087

GALLAGHER JAMES E & RENA J
2595 DESERT FALLS LN
ROCKWALL, TX 75087

RESIDENT
2600 CHAMPIONS DR
ROCKWALL, TX 75087

SCHAMBER DAVID & SORAYA
2600 DESERT FALLS LN
ROCKWALL, TX 75087

LOPEZ SYLVIA A
2600 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2601 NOVA PARK CT
ROCKWALL, TX 75087

YANG RICHARD
2605 DESERT FALLS LN
ROCKWALL, TX 75087

RESIDENT
2610 ARGYLE SHORE DR
ROCKWALL, TX 75087

STELZER PATTI J
2610 EGANRIDGE LN
ROCKWALL, TX 75087

MITCHELL AND AMY COOK LIVING TRUST
MITCHELL V COOK AND AMY V DAVIS COOK-
TRUSTEES
2610 MIRAGE LANE
ROCKWALL, TX 75087

RESIDENT
2611 NOVA PARK CT
ROCKWALL, TX 75087

BRIGGS THOMAS & KARLA
2615 DESERT FALLS LANE
ROCKWALL, TX 75087

RESIDENT
2620 NOVA PARK CT
ROCKWALL, TX 75087

BENDA LINDSEY ANN
2620 ARGYLE SHORE DRIVE
ROCKWALL, TX 75087

PEARSON JEREMY
2620 EGANRIDGE LANE
ROCKWALL, TX 75087

GORDON REVOCABLE TRUST
2620 MIRAGE LN
ROCKWALL, TX 75087

PEPPER-FARRIS JO ANN
2621 EGANRIDGE LN
ROCKWALL, TX 75087

TAUSS RYAN BENTON AND JENNIFER LYNN
2621 NOVA PARK CT
ROCKWALL, TX 75087

HIGGINS JACOB AND CORI SUZANNE
2625 DESERT FALLS LANE
ROCKWALL, TX 75087

RESIDENT
2630 NOVA PARK CT
ROCKWALL, TX 75087

GANT WENDY
2630 ARGYLE SHORE DRIVE
ROCKWALL, TX 75087

MCMULLIN GRANVILLE
2630 EGANRIDGE LN
ROCKWALL, TX 75087

SHELBURNE CHARLES J AND
STACY H SHELBURNE
2630 MIRAGE LANE
ROCKWALL, TX 75087

NEILL JEFFREY & ASHLEI C
2631 EGANRIDGE LN
ROCKWALL, TX 75087

FRANKENFIELD DIANA & JASON
2635 DESERT FALLS LANE
ROCKWALL, TX 75087

RIGGS ROBERT THOMAS & NOELLE MARIE
2640 ARGYLE SHORE DRIVE
ROCKWALL, TX 75087

SMITH KEVIN D
2640 EGANRIDGE LN
ROCKWALL, TX 75087

TRAHAN JASON
2640 MIRAGE LANE
ROCKWALL, TX 75087

EVANS MICHAEL J AND CHERYL A
2640 NOVA PARK COURT
ROCKWALL, TX 75087

HENRY MICHAEL & JENNIFER
2641 EGANRIDGE LN
ROCKWALL, TX 75087

HABER TRAVIS
2641 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2645 DESERT FALLS LN
ROCKWALL, TX 75087

RESIDENT
2650 ARGYLE SHORE DR
ROCKWALL, TX 75087

RESIDENT
2650 NOVA PARK CT
ROCKWALL, TX 75087

SHORES ON LAKE RAY HUBBARD
HOME OWNERS ASSOCIATION
2650 CHAMPIONS
ROCKWALL, TX 75087

THE SHORES ON LAKE RAY HUBBARD
OWNERS ASSOCIATION INC
2650 CHAMPIONS
ROCKWALL, TX 75087

WERCHAN CONNIE
2650 EGANRIDGE LN
ROCKWALL, TX 75087

DUNNIGAN MICHAEL
2650 FERN VALLEY LN
ROCKWALL, TX 75087

DINH KIM OANH THI &
KHOI NGUYEN DANG
2650 MIRAGE LN
ROCKWALL, TX 75087

RESIDENT
2651 EGANRIDGE LN
ROCKWALL, TX 75087

SCOTT CANDACE ANGELL RICHARDSON AND
WADE ASHLEY
2651 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2660 NOVA PARK CT
ROCKWALL, TX 75087

MUELLER LUCILLE M
2660 EGANRIDGE LANE
ROCKWALL, TX 75087

STOVALL HUGH & BETTY JO
2660 FERN VALLEY LN
ROCKWALL, TX 75087

LOUTHAN KELSEY N
2660 MIRAGE LANE
ROCKWALL, TX 75087

RESIDENT
2661 NOVA PARK CT
ROCKWALL, TX 75087

BRITT CHRISTINA S & HUGH A
2661 EGANRIDGE LN
ROCKWALL, TX 75087

YOUNG GARY L AND JENNIFER E CAWTHON
2665 FERN VALLEY LN
ROCKWALL, TX 75087

RESIDENT
2670 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2670 FERN VALLEY LN
ROCKWALL, TX 75087

RESIDENT
2670 MIRAGE LN
ROCKWALL, TX 75087

BRIDGER CHRISTOPHER J AND WENDY L
2670 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2671 NOVA PARK CT
ROCKWALL, TX 75087

CREBS TIFFANY MARY
2671 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2680 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2680 FERN VALLEY LN
ROCKWALL, TX 75087

FRANKS JOHN D & JESSICA
2680 NOVA PARK CT
ROCKWALL, TX 75087

MCKINNEY JUDY ANN LIPPERT
2681 EGANRIDGE LANE
ROCKWALL, TX 75087

WILLIAMS TAYLOR L AND GWENDOLYN E
2681 NOVA PARK CT
ROCKWALL, TX 75087

WEISS WALTER J & AURELIA JOANN
2685 FERN VALLEY LN
ROCKWALL, TX 75087

KOWALCYK NICHOLAS & RACHEL
2690 EGANRIDGE LN
ROCKWALL, TX 75087

MORGAN ELLEN IONE
2690 FERN VALLEY LN
ROCKWALL, TX 75087

JERNIGAN WILLIAM CHAD
2690 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2691 EGANRIDGE LN
ROCKWALL, TX 75087

GALYON KELLY MELISSA
2691 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2700 EGANRIDGE LN
ROCKWALL, TX 75087

JOLLEY LOIS MAYNO
2700 FERN VALLEY LN
ROCKWALL, TX 75087

CARRIS RONALD WILLIAM
2700 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2701 EGANRIDGE LN
ROCKWALL, TX 75087

PARKS NADINE R
2701 NOVA PARK CT
ROCKWALL, TX 75087

COLLIER CASEY JAMES
2705 FERN VALLEY LANE
ROCKWALL, TX 75087

HAWKINS JIMMY & MARY ANN
2710 CLUBVIEW DR
ROCKWALL, TX 75087

CABALLERO MELISSA ANNE
2710 EGANRIDGE LANE
ROCKWALL, TX 75087

WLOUDWYK TYLER AND ANDREA L CROASDALE
WLOUDWYK
2710 FERN VALLEY LN
ROCKWALL, TX 75087

THOMAS PATIENCE AND JAMES
2710 NOVA PARK
ROCKWALL, TX 75087

DILBECK JAMES SCOTT AND HILLARY ANN
2711 EGANRIDGE LN
ROCKWALL, TX 75087

MICHIE JOHN D & PHYLLIS R
2711 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2720 EGANRIDGE LN
ROCKWALL, TX 75087

MAXWELL KRISTIN R AND NATHANIEL A
2720 FERN VALLEY LN
ROCKWALL, TX 75087

IZAK MARY L
2720 NOVA PARK CT
ROCKWALL, TX 75087

PANOS HELEN
2721 EGANRIDGE LN
ROCKWALL, TX 75087

CARROLL CALVIN AND MARIA
2721 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2730 EGANRIDGE LN
ROCKWALL, TX 75087

MATHEW DANIEL AND EMILIE MENDALA-
MATHEW
2730 FERN VALLEY LANE
ROCKWALL, TX 75087

SAENZ RICHARD GEORGE AND BERNADINE
2730 NOVA PARK CT
ROCKWALL, TX 75087

NIEBUR ALAN R & COURTNEY
2731 EGANRIDGE LN
ROCKWALL, TX 75087

DELLA FRANK E II
2731 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2740 EGANRIDGE LN
ROCKWALL, TX 75087

RICH JENNIFER A
2740 FERN VALLEY LN
ROCKWALL, TX 75087

NABI HOSNI A & LYNN
2740 NOVA PARK CT
ROCKWALL, TX 75087

WOODDELL SCOTT W AND DEBBIE L
2741 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2750 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2750 FERN VALLEY LN
ROCKWALL, TX 75087

POULSON LESLIE C & CAROL D
2760 FERN VALLEY LN
ROCKWALL, TX 75087

WEATHERFORD CONNIE
2770 FERN VALLEY LANE
ROCKWALL, TX 75087

LAWSON JAMES W & SARAH
2780 FERN VALLEY LANE
ROCKWALL, TX 75087

ABC FINANCING INVESTMENT & HOLDING LLC
28 RUE PRINCIPALE 67160 ALTENSTADT
FRANCE,

MERRILL NOLAN
2800 EGANRIDGE LN
ROCKWALL, TX 75087

HODGES BARBARA
2800 FERN VALLEY LANE
ROCKWALL, TX 75087

HENRIQUEZ ERICK J
ASHLEY NICOLE ONEY
2802 EMBERWOOD DR
GARLAND, TX 75043

LAZORKO JACOB & SHAWNA LAZORKO
2820 EGANRIDGE LN
ROCKWALL, TX 75087

KECK MELISSA M
2825 EGANRIDGE LANE
ROCKWALL, TX 75087

LANGSTON ELAINA AND TIMOTHY
2830 EAGEN RIDGE LN
ROCKWALL, TX 75087

DOORNEK JORDAN
2835 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2840 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2845 EGANRIDGE LN
ROCKWALL, TX 75087

GRUBBS BEN R & SHIRLEY J
2855 EGANRIDGE LN
ROCKWALL, TX 75087

BARRON RODOLFO & KRISTIN M
2860 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2865 EGANRIDGE LN
ROCKWALL, TX 75087

WESLEY RANDALL & CYNTHIA
2937 SAN DIEGO DRIVE
DALLAS, TX 75228

WATSON CAROLYN J
300 MCCREARY RD #2023
WYLIE, TX 75098

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

CUNNINGHAM CURTIS AND KIMBERLY
301 WOODDED TRL
ROCKWALL, TX 75087

CLARK TROY & JANICE
3025 N GOLIAD ST
ROCKWALL, TX 75087

ROSS JODY ALAN & KAREY
3027 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3029 N GOLIAD ST
ROCKWALL, TX 75087

GREER PATRICIA L
3031 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3031 N GOLIAD ST
ROCKWALL, TX 75087

GREER TIMOTHY K
3033 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3045 N GOLIAD RD
ROCKWALL, TX 75087

LAM PROPERTY
3051 N GOLIAD ST
ROCKWALL, TX 75087

STONE DAVID
3053 N GOLIAD ST
ROCKWALL, TX 75087

FERGUSON DAVEY L & SHIRLEY C
DAVID W FERGUSON AS JOINT TENANTS
3055 N GOLIAD ST
ROCKWALL, TX 75087

WEST JEFFREY A & CHANTEL M
3059 N GOLIAD STREET
ROCKWALL, TX 75087

MARKEE DAVID E & SUSAN M
3064 WILD ORCHID LN
BURTON, MI 48519

THE STEED FAMILY LIVING TRUST
JASON STEED AND NATALIE MARIE STEED -
TRUSTEES
3065 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

BURTON RICHARD E AND MARGARET H
3090 N GOLIAD ST #828102
ROCKWALL, TX 75087

PINEHURST SHORES LLC
3105 LIVE OAK DR
ROWLETT, TX 75088

MITCHELL STEPHEN NEAL & DEBORAH ELAINE
324 AME LANE
ROYSE CITY, TX 75189

STRACHAN GREGORY & CAITLYN
3300 ROSWELL RD NW UNIT 5324
ATLANTA, GA 30305

SHATSWELL RICHARD & CHRISTINE
3307 WHITELEY RD
WYLIE, TX 75098

WATTS ANGELA & DAVID
3345 SOUTHLAKE AVE
BATON ROUGE, LA 70810

M13 PROPERTIES LLC
3494 N STODGHILL RD
FATE, TX 75087

RESIDENT
350 DALTON ROAD
ROCKWALL, TX 75087

SULLIVAN PATRICK
3562 OAK CLIFF DR
FALLBROOK, CA 92028

SELMAN ENTERPRISES INC
3612 HILLTOP CIR
ROCKWALL, TX 75087

SELMAN ENTERPRISES INC
3612 HILLTOP CIR
ROCKWALL, TX 75087

MALCHEV CHARLES G & IVANKA
3635 NAVARRO WAY
FRISCO, TX 75034

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

GREENLEE JAMES JR AND ANTOINETTE
4047 I-30
CADDO MILLS, TX 75135

CARTER RICHARD W AND JODY
406 MCKINZIE PL
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES - SERIES 200
DARRIN DRIVE
407 CASTLE PINES DRIVE
HEATH, TX 75032

RESIDENT
408 MCKINZIE PL
ROCKWALL, TX 75087

MASON KEITH AND
ANN MARIE MASON
410 MCKENZIE PLACE
ROCKWALL, TX 75087

OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

OPENDOOR PROPERTY TRUST I, A DELAWARE
STATUTORY TRUST
410 N SCOTTSDALE RD SUITE 1600
TEMPE, AZ 85281

OSBORNE JAMES
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85288

HAURY NORMAN L &
SHANNON R BOSTON
4186 RAVENBANK DR
ROCKWALL, TX 75087

BRYANT ROBERT W AND JANET R
420 BIRCH LANE
RICHARDSON, TX 75081

GODINES MANUEL & ANNA
4255 N HAMLIN AVE
CHICAGO, IL 60618

GU HUI
430 S 14TH ST
SAN JOSE, CA 95112

SANDERS DORIS A & JOE C
4400 BEACON PLACE PARKWAY APT 2806
TUSCALOOSA, AL 35405

RESIDENT
450 W QUAIL RUN RD
ROCKWALL, TX 75087

GOODWIN FAMILY REVOCABLE TRUST
4559 LANDEROS AVE
LA VERNE, CA 91750

YANG BO AND
YUE HU
4651 S CUSTER ROAD #2211
MCKINNEY, TX 75070

SWAN DANIEL AND CAMILLE
471 MONTEREY DR
ROCKWALL, TX 75087

AFFINITY DEVELOPMENT COMPANY LLC
480 WILDWOOD FOREST DRIVE SUITE 801
THE WOODLANDS, TX 77380

MELARA RUTH AND
TATYANA VELASQUEZ
489 BENDING OAK TRAIL
ROCKWALL, TX 75087

NEIGHBORS LEONARD V AND LINDA L
490 BENDING OAKS
ROCKWALL, TX 75087

SIEGELMAN LORI GOODWIN
4936 COUNTY ROAD 312B
CLEBURNE, TX 76031

CONFIDENTIAL
495 BENDING OAKS TRL
ROCKWALL, TX 75087

TOWELL KEITH R AND MARTHA M
496 BENDING OAKS TRAIL
ROCKWALL, TX 75087

CURTIS JOSEPH & THERESA
500 SHADOW OAKS CT
ROCKWALL, TX 75087

ALTO ASSET COMPANY 2 LLC
5001 PLAZA ON THE LAKE SUITE 200
AUSTIN, TX 78746

RESIDENT
501 BENDING OAKS TR
ROCKWALL, TX 75087

ZOPP THOMAS M & MITZI ANN
502 BENDING OAKS TRL
ROCKWALL, TX 75087

2011 WILCOX-HYUM FAMILY TRUST
ERIC C WILCOX AND JENNY K HYUN
5037 RHONDA DRIVE
SAN JOSE, CA 95129

ARRIAGA HENRY
505 HIDDEN OAK LN
ROCKWALL, TX 75087

OPEN HOUSE TEXAS REALTY & INVESTMENTS
LLC
5050 QUORUM DR #225
DALLAS, TX 75254

HAYASHI MASATOSHI
5050 QUORUM DRIVE SUITE 225
DALLAS, TX 75254

RESIDENT
506 SHADOW OAKS CT
ROCKWALL, TX 75087

BORN SHELLEY L
507 BENDING OAKS TRAIL
ROCKWALL, TX 75087

HASSAN IBRAHIM AND LATIFAT
5090 BERLIN PLACE
DULLES, VA 20189

RESIDENT
510 BENDING OAKS TR
ROCKWALL, TX 75087

JASMAN JAMES BLAKE
511 HIDDEN OAK LN
ROCKWALL, TX 75087

SARMIENTO FAMILY LIV REV TRUST
FRANCIS H SARMIENTO - BENEFICIARY
513 BENDING OAKS TRL
ROCKWALL, TX 75087

JOHNSON NATALIE K
514 SHADOW OAKS COURT
ROCKWALL, TX 75087

PHAM DAN Q
5158 COUNTY ROAD 3115
CAMPBELL, TX 75422

RESIDENT
517 SHADOW OAKS CT
ROCKWALL, TX 75087

DAYMAN DENNIS & JENNIFER
519 CELLARS CT
ROCKWALL, TX 75087

MOORE RICHARD DOUGLAS AND CAROLYN ANN
519 EAST I-30 PMB 705
ROCKWALL, TX 75087

MURRAY NANCY J
519 HIDDEN OAK LN
ROCKWALL, TX 75087

ZANDOMENI GABRIELA M AND
ARIEL A QUIROGA
524 WILLOW SPRINGS DR
HEATH, TX 75032

RESIDENT
525 SHADOW OAKS CT
ROCKWALL, TX 75087

FITZGERALD GLORIA J MCWHIRTER & DON
525 HIDDEN OAK LANE
ROCKWALL, TX 75087

JUAREZ CORAL AND JOSE A
530 HIDDEN OAK LN
ROCKWALL, TX 75087

CORTEZ GERRE L
531 HIDDEN OAK LANE
ROCKWALL, TX 75087

BOSTROM DAVID MATTHEW & RACHEL
533 SHADOW OAKS CT
ROCKWALL, TX 75087

THIRION MARK P & ELIZABETH
533 TALL OAKS PL
ROCKWALL, TX 75087

SAPUTA DUANE & MONICA
536 HIDDEN OAK LN
ROCKWALL, TX 75087

HOLLAND RODNEY B
536 LOMA VISTA
HEATH, TX 75032

COLE MARK A
537 HIDDEN OAK LN
ROCKWALL, TX 75087

SCOTT WILLIAM F & PATRICIA R
538 TALL OAKS PL
ROCKWALL, TX 75087

WALN IRMA SUE
REVOCABLE LIVING TRUST
539 TALL OAKS PL
ROCKWALL, TX 75087

P V REAL ESTATE HOLDINGS SERIES LLC SERIES B
540 NANCE RD
SUNNYVALE, TX 75182

P V REAL ESTATE HOLDINGS SERIES LLC SERIES C
540 NANCE RD
SUNNYVALE, TX 75182

HAYES MELANIE S
542 HIDDEN OAK LN
ROCKWALL, TX 75087

FOSTER MICHAEL A
543 HIDDEN OAK LANE
ROCKWALL, TX 75087

NADIR LADONNA AND
BARBARA MATHIS
544 TALL OAKS PLACE
ROCKWALL, TX 75087

VASQUEZ GLORIA
545 TALL OAKS PL
ROCKWALL, TX 75087

RESIDENT
548 HIDDEN OAK LN
ROCKWALL, TX 75087

MARSH SABREANA SMITH AND MATTHEW W
549 HIDDEN OAK LN
ROCKWALL, TX 75087

S HAYS FAMILY PARTNERSHIP LTD
555 LONE RIDER CT
ROCKWALL, TX 75087

SALTZMAN DANIEL
5620 S COLONY BLVD APT 810
THE COLONY, TX 75056

ASHLEY MARGARET P
5805 YACHT CLUB
ROCKWALL, TX 75032

LALUMIA MICHAEL
6 LEE DRIVE
HEATH, TX 75032

COSTELLO LISA J
6000 SHEPHERD MOUNTAIN CV UNIT 301
AUSTIN, TX 78730

DELA TORRE KENNETH C & MARIA CHATU SERRA
6004 AUBURNDALE AVE APT C
DALLAS, TX 75205

CAMPBELL DUNCAN AND TIFFANY
629 ARCADIA WAY
ROCKWALL, TX 75087

BATEMAN ROBERT L, TRUSTEE
ROBERT L BATEMEN REVOCABLE LIVING TRUST
642 SUNCREST CT
SHERRARD, IL 61281

KSSMS LLC
6501 YELLOW FLOWER WAY
PLANO, TX 75024

BLACK RICARDO N & LORY C
655 MISSION DR
ROCKWALL, TX 75087

MALONE CLANTON
657 MISSION DR
ROCKWALL, TX 75087

HULL JEFFREY C AND CARLA R
659 MISSION DR
ROCKWALL, TX 75087

CUMMINGS TERENCE J & CHERYL L
661 MISSION DR
ROCKWALL, TX 75087

GEHAN MICHAEL P & AMY M
6613 SHADY POINT DR
PLANO, TX 75024

COLLIER JAMES P AND LINDA K
663 MISSION DRIVE
ROCKWALL, TX 75087

EBEIER JOHN C & DANIELLE B EBEIER
664 MISSION DR
ROCKWALL, TX 75087

RAMSEY JAMES & CYNTHIA
665 MISSION DR
ROCKWALL, TX 75087

BLACKWELL DEREK AND CASSIE
667 MISSION DR
ROCKWALL, TX 75087

GROVES JOSEPH M & MARIE E
668 BRYN MAHR LN
ROCKWALL, TX 75087

JACKSON TRACY & RETHA
668 MISSION DR
ROCKWALL, TX 75087

RESIDENT
670 PRINCETON WAY
ROCKWALL, TX 75087

STUDENNIKOV VITALY AND
VLADIMIR STUDENNIKOV AND MARINA
STUDENNIKOVA
670 BRYN MAHR LN
ROCKWALL, TX 75087

DAVIS AARON F & AMANDA M
670 MISSION DRIVE
ROCKWALL, TX 75087

FORESEE MICHAEL D AND JEAN A
6709 BAROLO DRIVE
ROWLETT, TX 75088

COBB STEPHEN L & MELANIE E
671 BRYN MAHR
ROCKWALL, TX 75087

MEANS AMANDA & AARON
671 PRINCETON WAY
ROCKWALL, TX 75087

JOHNSTON KERRY A AND ELIZABETH A
672 BRYN MAHR
ROCKWALL, TX 75087

CALVIN AND EMILY CARTER REVOCABLE TRUST
CALVIN CARTER AND EMILY CARTER- TRUSTEES
672 PRINCETON WAY
ROCKWALL, TX 75087

STEWART KIMBERLYN & CAROLYN
672 ST JOHNS PLACE
ROCKWALL, TX 75087

GRAVES JAMES GREGORY & ALISHA DIANE
673 BRYN MAHR LN
ROCKWALL, TX 75087

BURKHOLDER DANIEL
673 PRINCETON WAY
ROCKWALL, TX 75087

VOTTERI CHRISTOPHER MARK & BONNIE
DARLINDA
674 BRYN MAHR LN
ROCKWALL, TX 75087

FLYNT MARK A & JOAN L TRUSTEES
FLYNT FAMILY LIVING TRUST
674 PRINCETON WAY
ROCKWALL, TX 75087

MATTESON TORY AND BRITTANY
674 SAINT JOHNS PLACE
ROCKWALL, TX 75087

TREVINO RAUL & MARIA J
675 BRYN MAHR LANE
ROCKWALL, TX 75087

PERKINS RUSSELL AND LESLIE
675 PRINCETON WAY
ROCKWALL, TX 75087

NORVILLE HORACE SCOTT AND HEATHER
JACKSON
676 BRYN MAHR LANE
ROCKWALL, TX 75087

KARRETT JAMES M JR AND RAFFAELA
676 PRINCETON WAY
ROCKWALL, TX 75087

NIELSEN MATTHEW GRIFFITH
676 SAINT JOHNS PL
ROCKWALL, TX 75087

PALMER JAMIE A AND MITCHELL
677 BRYN MAHR LN
ROCKWALL, TX 75087

SOLOMON BRIAN & KELLY
678 BRYN MAHR LANE
ROCKWALL, TX 75087

OGBONNA OBIOMA
678 PRINCETON WAY
ROCKWALL, TX 75087

DHAKAL PRABESH AND ALINA
678 SAINT JOHNS PLACE
ROCKWALL, TX 75087

HUDSON MATTHEW AND JESSICA
679 PRINCETON WAY
ROCKWALL, TX 75087

BARKER CHARLES W & LISA M
680 BRYN MAHR LANE
ROCKWALL, TX 75087

M REA PROPERTIES 2 LLC
6807 OVERBROOK DR
PARKER, TX 75002

CORONADO JIMMY AND SHANNA V
681 BRYN MAHR LN
ROCKWALL, TX 75087

POWELL AMANDA AND DUANE
685 SHORES BLVD
ROCKWALL, TX 75087

CARROLL JEFF L & CANDY D
695 SHORES BLVD
ROCKWALL, TX 75087

MAYS RONALD E ETUX
704 LONESOME DOVE TRAIL
HURST, TX 76054

KIRK DAVID AND KATIE CHEY
705 CORNELL DR
ROCKWALL, TX 75087

VOORHIES JON AND TERESA
707 CORNELL DR
ROCKWALL, TX 75087

YANG BO AND
YUE HU
707-8633 CAPSTAN WAY
RICHMOND CANADA,

VATS AKHIL AND DEEPTI
709 CORNELL DR
ROCKWALL, TX 75087

CONFIDENTIAL
709 W. RUSK ST. SUITE B-852
ROCKWALL, TX 75087

GREER PATRICIA L
710 BROOKFIELD DR
GARLAND, TX 75040

RESIDENT
7100 ODELL
ROCKWALL, TX 75087

BULLARD JUSTIN
JOLIE DAY
7100 HARLAN DRIVE
ROCKWALL, TX 75087

WAY BRAD G AND KELLY S
7100 HUNT LN
ROCKWALL, TX 75087

SCHULZE DAVID J & CYNTHIA K
7101 HARLAN DR
ROCKWALL, TX 75087

NABORS MIKE N ETUX JULIE
7101 HUNT LN
ROCKWALL, TX 75087

KOSMAS NICHOLAS AND SABRINA
7101 ODELL AVE
ROCKWALL, TX 75087

ANDERSON PATRICK STEVEN & ROSEANNE
7102 HARLAN DR
ROCKWALL, TX 75087

FRINK JOSEPH B & DIANA G
7102 HUNT LN
ROCKWALL, TX 75087

LAWRENCE KIMBERLY DALE LIVING TRUST
KIMBERLY DALE LAWRENCE TRUSTEE
7102 ODELL AVENUE
ROCKWALL, TX 75087

RESIDENT
7103 HARLAN DR
ROCKWALL, TX 75087

DOWNS MICHAEL
7103 HUNT LN
ROCKWALL, TX 75087

MCKINNEY TERRY L
7103 ODELL AVE
ROCKWALL, TX 75087

PATLAN MARIO JR AND AMY
7104 HARLAN DR
ROCKWALL, TX 75087

KELSO JAMES P & BLYSON R
7104 HUNT LN
ROCKWALL, TX 75087

LUNA ERIC AND ANNABELL
7104 ODELL AVENUE
ROCKWALL, TX 75087

RESIDENT
7105 HUNT LN <Null>
ROCKWALL, TX 75087

LOMBARD THOMAS E AND PAULA J
7105 HARLAN DRIVE
ROCKWALL, TX 75087

DREXLER PAUL E & TAMRA L
7105 ODELL AVE
ROCKWALL, TX 75087

RESIDENT
7106 ODELL AVE
ROCKWALL, TX 75087

BURKE AIMEE M
7106 HARLAN DR
ROCKWALL, TX 75087

MCWHIRTER SATHINA ANJEANNETTE
7106 HUNT LN
ROCKWALL, TX 75087

SHORES SUSAN RUTH
7107 HARLAN DRIVE
ROCKWALL, TX 75087

SEVERN POLLY JEAN
7107 HUNT LN
ROCKWALL, TX 75087

CEGELSKI ERIC & ASHLEY DICKENS
7107 ODELL AVENUE
ROCKWALL, TX 75087

ROMERO JOE JR
7108 HUNT LN
ROCKWALL, TX 75087

CONFIDENTIAL
7108 ODELL AVE
ROCKWALL, TX 75087

RESIDENT
7109 HUNT LN
ROCKWALL, TX 75087

THOMPSON THOMAS J &
PAIGE C TILEY
7109 HOLDEN DR
ROCKWALL, TX 75087

ROMANS STEPHEN WAYNE & BROOK CONAWAY
7109 ODELL AVENUE
ROCKWALL, TX 75087

PROTHRO LANCE G AND DERONDA
711 CORNELL DR
ROCKWALL, TX 75087

GREENLEY MARY E TRUSTEE
MARY E GREENLEY REVOC LIVING TRUST
7110 HOLDEN DR
ROCKWALL, TX 75087

RESIDENT
7111 HOLDEN DR
ROCKWALL, TX 75087

JONES BRADLEY R
7113 HOLDEN DR
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7125 HOLDEN DR
ROCKWALL, TX 75087

AKHTAR USMAN AND
AQSA MAHMOOD
713 CORNELL DRIVE
ROCKWALL, TX 75087

RESIDENT
715 CORNELL DR
ROCKWALL, TX 75087

GAMMILL KYLE E & ANGELINE L
716 STARLIGHT PASS
ROCKWALL, TX 75032

RS XII DALLAS OWNER 1 LP
C/O STREETLANE HOMES
717 N HARWOOD STREET SUITE 2800
DALLAS, TX 75201

LI LI AND
XUEQING WANG
7409 WEMBLEY CT
PLANO, TX 75024

MCCOWN WILLIAM SCOTT
745 SHORES BOULEVARD
ROCKWALL, TX 75087

RESIDENT
750 W QUAIL RUN RD
ROCKWALL, TX 75087

DODSON HUA
751 MONTEREY DR
ROCKWALL, TX 75087

SATRIO FAMILY LIVING TRUST
7512 JOSHUA RD
FRISCO, TX 75033

KREMEN IRINA AND IGOR
7520 HADDON WAY
PLANO, TX 75025

KREMEN IRINA AND IGOR
7520 HADDON WAY
PLANO, TX 75025

RESIDENT
754 VALLEJO DR
ROCKWALL, TX 75087

BUCHANAN DONALD BLAKE AND CHRISTINA
MARIE
754 MONTEREY DRIVE
ROCKWALL, TX 75087

RESIDENT
755 GEARY DR
ROCKWALL, TX 75087

FORD TERRY AND RACHEL NICHOLE
755 SHORES BLVD
ROCKWALL, TX 75087

ALSROUJI ALAA AND DOAA ALSROUJI
755 VALLEJO DR
ROCKWALL, TX 75087

RESIDENT
765 SHORES BLVD
ROCKWALL, TX 75087

HAMMOND MARK L & DENISE L
775 RIDGE RD W
ROCKWALL, TX 75087

CALHOUN EVELYN ANNE
775 SHORES BLVD
ROCKWALL, TX 75087

TAYLOR LAURA
778 OAK HOLLOW
ROCKWALL, TX 75087

HUMERICKHOUSE MARCUS NEAL AND ANDREA
L
780 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
784 BARRYMORE DR
ROCKWALL, TX 75087

MCPHAIL STEPHANIE
784 OAK HOLLOW LANE
ROCKWALL, TX 75087

RAY DAVID J & MARY H
785 SHORES BLVD
ROCKWALL, TX 75087

WEEKS FAMILY LIVING REVOCABLE TRUST
DONALD C WEEKS AND BETTY WEEKS- CO
TRUSTEES
785 WEST RIDGE ROAD
ROCKWALL, TX 75087

TBC FAMILY TRUST
TONY AND BRENDA CAMPAGNA TRUSTEES
786 BARRYMORE DRIVE
ROCKWALL, TX 75087

HENDERSON ERIC S & MEGAN A
788 BARRYMORE DRIVE
ROCKWALL, TX 75087

RESIDENT
790 OAK HOLLOW LN
ROCKWALL, TX 75087

MAGUIRE LINDSAY T & CHRISTOPHER M
790 BARRYMORE DRIVE
ROCKWALL, TX 75087

STEVENS PATRICK & KIMBERLY
790 SHORES BLVD
ROCKWALL, TX 75087

BARRERA TOBY
790 W RIDGE ROAD
ROCKWALL, TX 75087

REID PAUL & HEATHER COOPER
792 BARRYMORE DR
ROCKWALL, TX 75087

LAMB CHANCE DUKE
794 BARRYMORE DR
ROCKWALL, TX 75087

MULLIS RHETT DANIEL AND SUSAN
794 FEATHERSTONE DR
ROCKWALL, TX 75087

JERAY FAMILY LIVING TRUST
DENNIS M & PATRICIA E JERAY TRUSTEES
795 RIDGE ROAD WEST
ROCKWALL, TX 75087

MRVA MICHAEL & PENNY
795 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
796 OAK HOLLOW LN
ROCKWALL, TX 75087

JAMES LANIER BALLARD & ELIZABETH SUTTER
BALLARD REVOCABLE LIVING TRUST
JAMES LANIER BALLARD & ELIZABETH SUTTER
BALLARD TRUSTEES
796 BARRYMORE DRIVE
ROCKWALL, TX 75087

LING SEAN AND AMY M
796 FEATHERSTONE DRIVE
ROCKWALL, TX 75087

HELM MARICELA & MATTHEW
796 W RIDGE RD
ROCKWALL, TX 75087

RESIDENT
797 FEATHERSTONE DR
ROCKWALL, TX 75087

PERRY DAYLENE ROSE & BRUCE ALEXANDER
797 OAK HOLLOW LANE
ROCKWALL, TX 75087

RESIDENT
798 BARRYMORE DR
ROCKWALL, TX 75087

RESIDENT
798 FEATHERSTONE DR
ROCKWALL, TX 75087

JGLV LLC, A TX LLC
80 SHILOH RD
ODESSA, TX 79762

ROCHE CHRISTOPHER & MELANIE
800 BARRYMORE DR
ROCKWALL, TX 75087

CEBRYNSKI TINA MARIA AND ALEXANDER JAMES
JR
800 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
801 AMHERST DRIVE
ROCKWALL, TX 75087

JONES BRYAN M AND MERICHELLE E
802 BARRYMORE DR
ROCKWALL, TX 75087

STAFFORD SHANE L & ELIZABETH A
802 BEAR BRANCH COURT
ROCKWALL, TX 75087

HALL STEVEN J AND BRENDA M
802 OAK HOLLOW LN
ROCKWALL, TX 75087

JACOB AND ALEXANDRA EDWARDS FAMILY
LIVING TRUST
JACOB LEE EDWARDS AND ALEXANDRA BOONE
EDWARDS- COTRUSTEES
802 RIDGE ROAD WEST
ROCKWALL, TX 75087

HEWITT DEREK THOMAS AND CAMERON ELISE
803 AMHERST DRIVE
ROCKWALL, TX 75087

HINTON GRADY T III AND
PATRICIA A HINTON
803 BEAR BRANCH CT
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA
803 DALTON RD
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA
803 DALTON RD
ROCKWALL, TX 75087

BEASLEY TIMOTHY A & SARINA C
803 OAK HOLLOW LN
ROCKWALL, TX 75087

KHAN MASROOR
804 BARRYMORE DRIVE
ROCKWALL, TX 75087

GHC CAPITAL LLC
806 CALM CREST DRIVE
ROCKWALL, TX 75087

MOBLEY JANET
807 AMHERST DR
ROCKWALL, TX 75087

FRAZIER ROBERT & KAREN FOX
808 BEAR BRANCH CT
ROCKWALL, TX 75087

YANG BO
808 OAK HOLLOW LANE
ROCKWALL, TX 75087

ARMSTRONG NELLO AND SUZANNE
808 RIDGE ROAD WEST
ROCKWALL, TX 75087

SISTO MICHAEL A & SUSAN E
809 BEAR BRANCH CT
ROCKWALL, TX 75087

GARY DENNIS & DIANNE
809 COUNTY CLUB DRIVE
HEATH, TX 75032

DELGADO BRADLEY AND BRIANNA
809 OAK HOLLOW LN
ROCKWALL, TX 75087

SOSA RUDDY & JOLIENE
810 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
814 BEAR BRANCH CT
ROCKWALL, TX 75087

BALOG DAVID JR AND JESSICA
814 OAK HOLLOW LN
ROCKWALL, TX 75087

CRAIGHEAD JULIE CHRISTINE
814 RIDGE ROAD WEST
ROCKWALL, TX 75087

RESIDENT
815 OAK HOLLOW LN
ROCKWALL, TX 75087

SLATON STEPHEN P & JENNIFER
815 BEAR BRANCH COURT
ROCKWALL, TX 75087

RESIDENT
820 BEAR BRANCH CT
ROCKWALL, TX 75087

MERCER TAYLOR
820 OAK HOLLOW LN
ROCKWALL, TX 75087

FRYE STEVEN E AND CHERRY
820 SHORES BLVD
ROCKWALL, TX 75087

LEE CRYSTAL Z AND BENJAMIN S
820 WEST RIDGE RD
ROCKWALL, TX 75032

GRAF SANDRA E & HAYES M
8207 MARYLAND LN
BRENTWOOD, TN 37027

RESIDENT
821 OAK HOLLOW LN
ROCKWALL, TX 75087

NAPPS ADAM D
821 BEAR BRANCH COURT
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC
8214 WESTCHESTER SUITE 710
DALLAS, TX 75225

RESIDENT
825 GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
826 OAK HOLLOW LN
ROCKWALL, TX 75087

GIETEMA CHRISTINA M
826 BEAR BRANCH CT
ROCKWALL, TX 75087

MATTHEWS JACK ALEXANDER AND
HONGLIU HAN
826 RIDGE ROAD W
ROCKWALL, TX 75087

VORNBERG SCOTT A & LAURI L
827 BEAR BRANCH CT
ROCKWALL, TX 75087

PEARSON LEIF AND MELISSA N
827 OAK HOLLOW LANE
ROCKWALL, TX 75087

FARRELL COLLIN D AND HOLLY J
830 SHORES BLVD
ROCKWALL, TX 75087

MINCKLER CHRISTOPHER AND SARAI
832 BEAR BRANCH COURT
ROCKWALL, TX 75087

WILLBANKS DAVID & AMANDA
832 OAK HOLLOW LN
ROCKWALL, TX 75087

WATSON KATHERINE ROSE
832 RIDGE RD W
ROCKWALL, TX 75087

SHOUSE JAMIE L AND ANGELA M HARDT
833 BEAR BRANCH CT
ROCKWALL, TX 75087

HARRISON JASON J AND BARBARA JEAN
833 OAK HOLLOW LANE
ROCKWALL, TX 75087

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD
PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

MILBERGER KYLE A
838 BEAR BRANCH CT
ROCKWALL, TX 75087

HUMPHREY KEREN MARIE
838 OAK HOLLOW LN
ROCKWALL, TX 75087

GREENLEY MARCIA DAVIDSON & JOSEPH R
838 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
839 OAK HOLLOW LN
ROCKWALL, TX 75087

BILLINGS BRIAN & ERIKA
839 BEAR BRANCH CT
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

GONZALEZ JOHN AND DEBRA
840 SHORES BLVD
ROCKWALL, TX 75087

JOHNSON BERTON C & SONYA L
8404 COUNTY RD 592
NEVADA, TX 75173

COUSINEAU STACEY
8424 SANTA MONICA BLVD # A818
WEST HOLLYWOOD, CA 90069

COOPER MARNIE
844 BEAR BRANCH CT
ROCKWALL, TX 75087

WALTERS CHRIS
844 OAK HOLLOW LANE
ROCKWALL, TX 75087

DEPUE DANIEL AND
DEANA CUTTILL
844 RIDGE ROAD W
ROCKWALL, TX 75087

RESIDENT
845 BEAR BRANCH CT
ROCKWALL, TX 75087

STUFFT MICHAEL AND
STUFFT CHERYL ANN AND ALAN LEE
845 OAK HOLLOW LANE
ROCKWALL, TX 75087

HERNANDEZ FRANKLYN C & JUDY JAMES-
HERNANDEZ
850 BEAR BRANCH CT
ROCKWALL, TX 75087

FLEETWOOD MARGARETTA
850 OAK HOLLOW LN
ROCKWALL, TX 75087

FRAIZER MARK C & STACY D
850 SHORES BLVD
ROCKWALL, TX 75087

GANT JUSTIN AND MARGARET C
860 SHORE BLVD
ROCKWALL, TX 75087

BARSOUM NAHIA
865 SHORES BLVD
ROCKWALL, TX 75087

MAXWELL GABRIEL D SR & MELISSA JEAN
870 SHORES BLVD
ROCKWALL, TX 75087

CRAWFORD JESSICA MORGAN
875 SHORES BLVD
ROCKWALL, TX 75087

WARDELL JAKE P AND MEREDITH
880 SHORES BLVD
ROCKWALL, TX 75087

ROWE DAVID A & SUSAN M
885 SHORES BLVD
ROCKWALL, TX 75087

VINSON BARRY AND MICHELLE
890 SHORES BOULEVARD
ROCKWALL, TX 75087

SMITH KAREN R
895 SHORES BLVD
ROCKWALL, TX 75087

URTEAGA PATRICIA
910 POTTER AVE
ROCKWALL, TX 75087

BLAGAILA EMANUEL & DORCA
9115 PEBBLE FIELD WAY
SACRAMENTO, CA 95829

YOUNG MATTHEW AND THERESA
915 MONT CASCADES DR
ROCKWALL, TX 75087

HURWITZ ROBERT A & SHARON K
915 POTTER AVE
ROCKWALL, TX 75087

PEDERSEN MARK AND ANDREA
920 POTTER AVENUE
ROCKWALL, TX 75087

SEUTTER JEREMY LEE & HEATHER DEANN
920 SHORES BOULEVARD
ROCKWALL, TX 75087

RESIDENT
925 MONT CASCADES DR
ROCKWALL, TX 75087

CHAMNESS JOHNNY OTTO & MYUNG DAWN
925 POTTER AVE
ROCKWALL, TX 75087

HIRSCHI JONATHAN K AND CHERYL
930 POTTER AVE
ROCKWALL, TX 75087

NAUERT STEVEN L JR
930 SHORES BLVD
ROCKWALL, TX 75087

ARMSTRONG JASON J & TARA A
935 MONT CASCADES DR
ROCKWALL, TX 75087

RESIDENT
940 SHORES BLVD
ROCKWALL, TX 75087

LE UYEN AND
PETER NGUYEN
940 POTTER AVENUE
ROCKWALL, TX 75087

GOMEZ JASON D & KELLY
945 MONT CASCADES DRIVE
ROCKWALL, TX 75087

BROCKWAY TRACY R AND MIN H KIM
945 POTTER AVENUE
ROCKWALL, TX 75087

BROWN KEVIN
947 SUNSET HILL
ROCKWALL, TX 75087

BELIEVE ICDI LLC
9472 E WHITEWING DR
SCOTTSDALE, AZ 85262

SPIVY MATTHEW & JENNIFER
950 POTTER AVENUE
ROCKWALL, TX 75087

BOWKER LEROY C & KIM L
950 SHORES BLVD
ROCKWALL, TX 75087

GARCIA JARRETT AND DEBORAHA
955 MONT CASCADES DRIVE
ROCKWALL, TX 75087

WEABLE KEVIN RAY AND JESSICA C
955 POTTER AVE
ROCKWALL, TX 75087

KHAN SABBAIN
960 POTTER AVE
ROCKWALL, TX 75087

SHERMAN WANDA D AND
JOHANNA BAER
960 SHORES BLVD
ROCKWALL, TX 75087

STROUP MARY
965 MONT CASCADES DR
ROCKWALL, TX 75087

ARMSTRONG CHRISTOPHER A AND
KRISTY K BRADY
965 POTTER AVE
ROCKWALL, TX 75087

RESIDENT
970 POTTER AVE
ROCKWALL, TX 75087

BAKER STEVEN R AND MELISSA A
970 SHORES BLVD
ROCKWALL, TX 75087

COLWILL JESSE & DIANA
975 MONT CASCADES DR
ROCKWALL, TX 75087

UGARTEMENDIA MARIA INMACULADA
975 POTTER AVE
ROCKWALL, TX 75087

THOMAS SAMSON N & LINDA R
980 HEATHER FALLS DRIVE
ROCKWALL, TX 75087

MAGBEE MILTON MARK AND SHERRI
980 POTTER AVENUE
ROCKWALL, TX 75087

MACK DANNY AND JANET
980 SHORES BLVD
ROCKWALL, TX 75087

DELALOYE JOHN F & SHARON
985 MONT CASCADES DR
ROCKWALL, TX 75087

RESIDENT
990 POTTER AVE
ROCKWALL, TX 75087

SPAULDING PATRICK F & OLIVIA J
990 PINEHURST DR
ROCKWALL, TX 75087

GEORGE THOMAS & ANIEAMMA THOMAS
990 SHORES BLVD
ROCKWALL, TX 75087

ELAZAR CAROLINA AND
BENJAMIN DAVIS
995 MONT CASCADES DRIVE
ROCKWALL, TX 75087

BEESON TRACI AND BRANDON LANE
995 POTTER AVE
ROCKWALL, TX 75087

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO , SUITE 300
CALABASAS, CA 91302

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

US BANK TRUST NA AS TRUSTEE
FOR LSF9 MASTER PARTICIPATION TRUST
C/O HUDSON HOMES MANAGEMENT LLC 2711
N HASKELL AVE STE 2100
DALLAS, TX 75204

RICHARDSON LIVING TRUST
MICHAEL DAVID RICHARDSON &
GAIL LORRAINE RICHARDSON- COTRUSTEES
1780 WIND HILL RD
ROCKWALL, TX 75087

LAUBE ALICIA MARIE AND TIMOTHY MICHAEL
P. O. BOX 1285
ROCKWALL, TX 75087

VENETO HOLDINGS LLC
P. O. BOX 2379
CHANDLER, AZ 85244

VANWINKLE DAVID T AND PATRICIA K
P. O. BOX 773451
STEAMBOAT SPRINGS, CO 80477

MELTON TOBY JEFF
P.O. BOX 2166
ROWLETT, TX 75030

PARAN LLC
P.O. BOX 27337
ANAHEIM, CA 92809

CARSON JANICE P
P.O. BOX 332
ROCKWALL, TX 75087

WU XIAOHONG & DING XIAOHANG &
DOMINIQUE SONG
P.O. BOX 374
ODESSA, FL 33556

KENNIMER LINDA K
PO BOX 1022
ROCKWALL, TX 75087

HODGDON DAVID L & SUE WYCHE
PO BOX 1106
ROCKWALL, TX 75087

BOX DIANE M & WEYMON K
PO BOX 1135
ROCKWALL, TX 75087

RICHMOND THOMAS R & JANET M
PO BOX 1145
ROCKWALL, TX 75087

BULLOCK LINDA
PO BOX 1508
ROCKWALL, TX 75087

WHITT JACK AND
OLD REPUBLIC EXCHANGE AND FACILITATOR CO
PO BOX 153
ROCKWALL, TX 75087

CASKEY BRUCE LIFE ESTATE AND
ANGELA KAE MCCORD & LORI ANNE PHILLIPS
PO BOX 1821
ROCKWALL, TX 75087

WILSON DAVID G
PO BOX 1927
ROCKWALL, TX 75087

LITOVSKY MARIA AND ROBERTO
PO BOX 2004
ROCKWALL, TX 75087

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

DOUPHRADE SHARON K
PO BOX 2561
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

TRUE NORTH PROPERTY OWNER A, LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

SFR V TRANCHE 3 BORROWER LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

DEWEES JAMES R & CLOMA J
PO BOX 609
ROCKWALL, TX 75087

PROMENADE HARBOR OWNERS ASSOC
C/O REAL MANAGE
PO BOX 803555
DALLAS, TX 75380

LAKEVIEW SUMMIT HOMEOWNERS
ASSOCIATION
C/O REAL MANAGE
PO BOX 803555
DALLAS, TX 75380

TRAN KELLY H
PO BOX 894578
MILILANI, HI 76789

RICHARD CARL M AND ROSE M
PO BOX 904
ROCKWALL, TX 75087

DELLINGER TRUST
MARVIN L DELLINGER AND ELAINE S DELLINGER
CO-TRUSTEES
PO BOX 906
SOLANA BEACH, CA 92075

FLORES JAMES & PATRICIA
PO BOX 992
ROCKWALL, TX 75087

SCHILZ LINDA A
18770 VISTA DEL SOL
DALLAS, TX 75287

BUTLER MARILYN F
820 BEAR BRANCH COURT
ROCKWALL, TX 75087

IANNELLI VINCENT
798 BARRYMORE DR
ROCKWALL, TX 75087



August 9, 2023

TO: The Residents of the Shores Subdivision

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Case No. Z2023-038; Amendment to Planned Development District 3 (PD-3)

Property Owners and/or Residents of the Shores Subdivision,

The City of Rockwall has initiated an amendment to Planned Development District 3 (PD-3) for the purpose of consolidating the regulating ordinances contained within this Planned Development District. Currently, Planned Development District 3 (PD-3) -- *which currently regulates the Shores Subdivision* -- consists of over 116 pages of regulations within 11 regulating ordinances, and over 85 development cases. The proposed amendment does not change the land uses, development requirements, or the concept plans associated with these ordinances. The proposed amendment will, however, consolidate these ordinances, resolutions, and development cases into a single Planned Development District ordinance. The purpose of making this change is to make the document easier to read and understand for residents and contractors looking to do work in the Shores Subdivision.

WHY AM I GETTING THIS NOTICE?

The Local Government Code for the State of Texas requires notices to be sent to all property owners and occupants effected by a zoning change. The City of Rockwall establishes a 500-foot notification buffer around the subject property as the notice areas. This means that you are receiving this notice because you either live within the Shores Subdivision or within 500-feet of its boundaries. The attached map is a visual representation of the subject property (*i.e. the Shores Subdivision*) and the 500-foot notification buffer surrounding the zoning area.

DOES THIS CHANGE MY PROPERTY'S ZONING?

NO. The proposed amendment to Planned Development District 3 (PD-3) will not change your zoning or any development requirements associated with your property or any other properties located within the Shores Subdivision. It will only make it easier to find the development requirements associated with property for property owners, contractors, and city staff. Any property that is located within the 500-foot notification area -- *but is not situated within the Shores Subdivision* -- will not be affected by the proposed zoning change.

WHEN CAN I LEARN MORE ABOUT THIS AMENDMENT?

The Planning and Zoning Commission will hold a **PUBLIC HEARING** on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a **Public Hearing** on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. Should a resident wish to attend these meetings they will be open to the public. In addition, all meetings will be available to be streamed live and via recording after the meeting through the City's website (*i.e. www.rockwall.com*). If you have specific questions about the amendment you can contact the Rockwall Planning and Zoning Department at (972) 772-6441 or email planning@rockwall.com.

Ryan Miller, AICP
Director of Planning and Zoning

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-038: Amendment to PD-3

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 3 (PD-3) [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23] for the purpose of consolidating the regulating ordinances for a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west of SH-205 [S. Goliad Street], and north of Lake Forest Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-038

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

As this ordinance does not change the land uses and density and dimensional requirements for any of the existing properties, I am in favor of the proposed changes.

Respondent Information

Please provide your information.

First Name *

Alicia

Last Name *

Carbaugh

Address *

1360 Tanglevine Lane

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-038

Please place a check mark on the appropriate line below: *

- I am in favor of the request.
- I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I do not fully understand Section 5 and do not want street public space to be taken away. With the size of families in the shores, will residence be allowed to continue to park on the street as there is not enough space to park all vehicles in the driveway? As I understand, the streets are public property, which should allow residents to park there.

Does Section 5 take away public access parking in the Shores neighborhood?

Respondent Information

Please provide your information.

First Name *

David

Last Name *

Morren

Address *

1491 Coastal Dr.

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

This content is neither created nor endorsed by Google.

Google Forms

From: [Dennis Dayman](#)
To: [Miller, Ryan](#)
Subject: RE: Z2023-038
Date: Tuesday, August 29, 2023 8:04:34 AM

Ryan,

I hope this email finds you well my friend! Miss being in Rockwall sometimes, but out here next to Union Valley is so much quieter and slow ;) - I wanted to make sure you got some feedback on the notices you work so hard to put out. On Z2023-038 we are in FAVOUR and don't have issues with the consolidation process needing to happen here.

If you need anything else from us, please let me know

-Dennis

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

streamlining and efficiency
Gulf

Name:

ED + Julie Fowler

Address:

1655 Ashbourne Dr, R/W, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

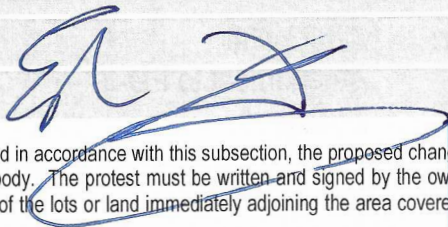
I am opposed to the request for the reasons listed below.

Name:

EDDIE L. FRAZIER

Address:

1340 SHORES BLVD



9/3/23

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

TO MAKE DOCUMENTS EASIER TO READ, ETC.

Name: ELAINE DELLINGER, DELLINGER TRUST

Address: 1695 LAKE BROOK CIRCLE, ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Absolutely Not.

Name:

JIM DeLaney

Address:

2140 Garden Crest Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: *Judy Morrow*

Address: *1205 FAIR LAKES PT. DR., ROCKWALL, TX 75089*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Doesn't effect me or my property directly.

Name: Max E. Klein dr.

Address: 1830 Hidden Hills Rockwall, Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We are opposed to this and all
The rezoning and additional housing
developments until our roads, water and
electric needs have increased to support us!!!

Name: Mike & Nancy Williamson

Address: 1750 Lake Forest Drive

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



August 9, 2023

TO: The Residents of the Shores Subdivision

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Case No. Z2023-038; Amendment to Planned Development District 3 (PD-3)

Property Owners and/or Residents of the Shores Subdivision,

The City of Rockwall has initiated an amendment to Planned Development District 3 (PD-3) for the purpose of consolidating the regulating ordinances contained within this Planned Development District. Currently, Planned Development District 3 (PD-3) -- *which currently regulates the Shores Subdivision* -- consists of over 116 pages of regulations within 11 regulating ordinances, and over 85 development cases. The proposed amendment does not change the land uses, development requirements, or the concept plans associated with these ordinances. The proposed amendment will, however, consolidate these ordinances, resolutions, and development cases into a single Planned Development District ordinance. The purpose of making this change is to make the document easier to read and understand for residents and contractors looking to do work in the Shores Subdivision.

WHY AM I GETTING THIS NOTICE?

The Local Government Code for the State of Texas requires notices to be sent to all property owners and occupants effected by a zoning change. The City of Rockwall establishes a 500-foot notification buffer around the subject property as the notice areas. This means that you are receiving this notice because you either live within the Shores Subdivision or within 500-feet of its boundaries. The attached map is a visual representation of the subject property (*i.e. the Shores Subdivision*) and the 500-foot notification buffer surrounding the zoning area.

DOES THIS CHANGE MY PROPERTY'S ZONING?

NO. The proposed amendment to Planned Development District 3 (PD-3) will not change your zoning or any development requirements associated with your property or any other properties located within the Shores Subdivision. It will only make it easier to find the development requirements associated with property for property owners, contractors, and city staff. Any property that is located within the 500-foot notification area -- *but is not situated within the Shores Subdivision* -- will not be affected by the proposed zoning change.

WHEN CAN I LEARN MORE ABOUT THIS AMENDMENT?

The Planning and Zoning Commission will hold a **PUBLIC HEARING** on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a **Public Hearing** on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. Should a resident wish to attend these meetings they will be open to the public. In addition, all meetings will be available to be streamed live and via recording after the meeting through the City's website (*i.e. www.rockwall.com*). If you have specific questions about the amendment you can contact the Rockwall Planning and Zoning Department at (972) 772-6441 or email planning@rockwall.com.

Ryan Miller, AICP
Director of Planning and Zoning

PLANNED DEVELOPMENT DISTRICT - 3 - Single Family Dwellings, Cluster Housing, Duplexes, Townhouses, Multiple Family Dwellings, Neighborhood Service and General Retail, Churches, Schools, Park, Community Center and Golf Course. (Symbol designation PD-3-Multiple Use).

Planned Development District permitting uses for Single Family Dwellings, Single Family Cluster Home housing, Duplexes, Townhouses, Multiple Family Dwellings, Neighborhood Service and General Retail, Church, School, Park, Community Center and Golf Course, subject to the approval of the site plan by the Planning and Zoning Commission prior to the issuance of any building permit or certificate of occupancy for any structure or use on the premises. Such site plan shall set forth the areas designated for the basic building areas, yards, setbacks, offstreet parking, points of access, sidewalks, drives, drainage facilities, utility easements, recreational areas and service areas appropriate to the location and function of the development, and shall provide for the dedication and improvement of any street deemed necessary by the Planning and Zoning Commission for access to the property, to adjacent property or for circulation around the site.

The Church and Day School site shall consist of not less than 5.34 acres. The School and Park site shall consist of not less than 14.56 acres. The Community Center and Golf Course shall consist of not less than 81.80 acres. The area for Cluster Housing shall consist of not more than 51.23 acres and not more than 280 dwelling units. The Single Family area with lots of 7,200 to 7,500 square feet in area shall consist of not more than 48.83 acres and for not more than 200 lots. The Single Family area for lot sizes from 7,500 to 10,000 square feet shall consist of not more than 90.09 acres for not more than 280 lots. The Duplex area shall consist of not more than 32.12 acres and not more than 184 dwelling units. The area for Townhouses shall consist of not more than 7.71 acres and not more than 90 dwelling units. The area for Multiple Family Garden Apartments shall consist of not more than 54.35 acres and not more than 1,080 dwelling units. The area for Retail and Neighborhood Service use shall consist of not more than 23.29 acres.

The density, coverage, height, park and offstreet loading standards shall be as set forth on the site plan.

The requisite site plan may be approved in whole or in part provided the elements influencing the development of the entire tract, such as access, parking and circulation are considered by an overall site plan.

ORDINANCE NO. 73-2

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS APPLICABLE TO PLANNED DEVELOPMENT DISTRICT NO. 3; APPROVING THE SITE PLAN FOR PLANNED DEVELOPMENT DISTRICT NO. 3 AND MAKING THE SAME A PART OF THIS ORDINANCE; PRESCRIBING CONDITIONS; PRESCRIBING A PENALTY; AND DECLARING AN EMERGENCY.

WHEREAS, the City Planning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all persons interested and in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance should be amended; now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be, and the same is hereby amended so as to amend the conditions applicable to Planned Development District No. 3, heretofore created, so that the following conditions shall be applicable to Planned Development District No. 3:

(a) That the area covered by Planned Development District No. 3 shall be divided into the following uses, with the following number of acres and limited to the number of dwelling units as hereafter provided, to-wit:

| | <u>Acres</u> | <u>Families</u> |
|---------------------------|--------------|-----------------|
| Church & Day School | 6.19 | |
| School & Park Site | 14.56 | |
| Single Family | 55.68 | 152 |
| Single Family | 59.2 | 178 |
| Single Family | 48.5 | 131 |
| Single Family | 41.06 | 123 |

| | <u>Acres</u> | <u>Families</u> |
|-----------------------------------|--------------|-------------------|
| Cluster Homes (8 per acre) | 38.10 | 305 |
| Cluster Homes (6 per acre) | 30.46 | 183 |
| Cluster Homes (6.5 per acre) | 9.08 | 59 |
| Apartments (18 per acre) | 29.67 | 534 |
| Apartments (18 per acre) | 19.42 | 350 |
| General Retail | 2.37 | |
| General Retail | 2.06 | |
| Neighborhood Svc. & Office | 12.12 | |
| Neighborhood Service | 6.74 | |
| Inn - Restaurant | 4.26 | 100 |
| Proshop - Marina | 6.25 | |
| Golf - Streets - Green Space | <u>53.98</u> | <u> </u> |
| Total | 439.70 | 2115 |

(b) That the Development Plan, Site Plan, attached hereto and made a part hereof for all purposes, shall control the development under Planned Development District No. 3, and such Planned Development District shall be developed in accordance with such site plan.

(c) That all development of property covered by this ordinance, being Planned Development District No. 3, shall be in accordance with the approved site plan, and no substantial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for change and amendments to the Comprehensive Zoning Ordinance.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That the above described Planned Development District No. 3 shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended herein in accordance with the site plan herein approved.

SECTION 4. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive

Zoning Ordinance of the City of Rockwall, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense.

SECTION 5. Whereas, it appears that the above described Planned Development District requires that it be amended in order to permit its proper development and in order to protect the public interest and general welfare of the City of Rockwall, and creates an urgency and an emergency in the preservation of the public health, safety and welfare, and requires that this ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 5th day of February, 1973.

APPROVED:

Harold Myers
MAYOR

DULY ENROLLED:

James C. Williams
CITY SECRETARY

APPROVED AS TO FORM:

H. Louis Nichols
ATTORNEY

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS APPLICABLE TO PLANNED DEVELOPMENT DISTRICT NO. 3: APPROVING THE SITE PLAN FOR PLANNED DEVELOPMENT DISTRICT NO. 3 AND MAKING THE SAME A PART OF THIS ORDINANCE; PRESCRIBING CONDITIONS; PRESCRIBING A PENALTY; AND DECLARING AN EMERGENCY.

WHEREAS, the City Planning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all persons interested and in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance should be amended; now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be, and the same is hereby amended so as to amend the conditions applicable to Planned Development District No. 3, heretofore created, so that the following conditions shall be applicable to Planned Development District No. 3:

(a) That the area covered by Planned Development District No. 3 shall be divided into the following uses, with the following number of acres as hereafter provided, to-wit:

| <u>Use</u> | <u>Acres</u> |
|------------------------|--------------|
| Single Family Detached | 56.9 |
| Single Family Detached | 161.5 |
| Single Family Detached | 69.0 |
| Single Family Detached | 52.0 |

| <u>Use</u> | <u>Acres</u> |
|-------------------------------|--------------|
| Cluster-Attached (8 per acre) | 22.0 |
| Cluster-Attached (8 per acre) | 42.1 |
| Multi-Family | 20.4 |
| Multi-Family | 29.5 |
| Multi-Family | 24.0 |
| Retail | 11.5 |
| Recreation | 6.4 |
| Recreation | 12.0 |
| Recreation (Golf Course) | 65.9 |
| School - Park Site | <u>13.6</u> |
| | 586.8 |

(b) That the Development Plan, Site Plan, attached hereto and made a part hereof for all purposes, shall control the development under Planned Development District No. 3, and such Planned Development District shall be developed in accordance with such site plan.

(c) That all development of property covered by this ordinance, being Planned Development District No. 3, shall be in accordance with the approved site plan, and no substantial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for change and amendments to the Comprehensive Zoning Ordinance.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That the above described Planned Development District No. 3 shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended herein in accordance with the site plan herein approved.

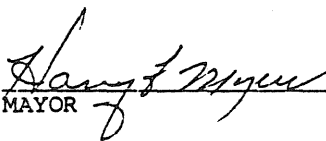
SECTION 4. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and upon conviction shall be punished

by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense.

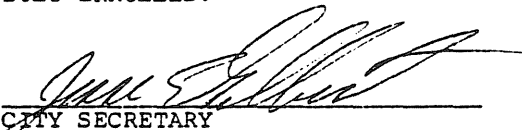
SECTION 5. Whereas, it appears that the above described Planned Development District requires that it be amended in order to permit its proper development and in order to protect the public interest and general welfare of the City of Rockwall, and creates an urgency and an emergency in the preservation of the public health, safety and welfare, and requires that this ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 3rd day of October, 1977.

APPROVED:


MAYOR

DULY ENROLLED:


CITY SECRETARY

APPROVED AS TO FORM:

ATTORNEY

1-1-77
1-1-77

"Shores" PD-3

10-3-77

#8

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land located in the Samuel King Survey, Abstract No. 131; the Thomas Dean Survey, Abstract No. 69; the Nathan Butler Survey, Abstract No. 21; and the Archibald Hanna Survey, Abstract No. 98, said tract being more particularly described as follows:

BEGINNING at the point of intersection of the North line of said King Survey with the West right-of-way of State Highway 205;

THENCE: North 89° 30' West, 1507.7 feet to a point for a corner;

THENCE: North 0° 49' East, 50 feet to a point for a corner;

THENCE: South 89° 43' West, 915.1 feet to a point for a corner;

THENCE: North 0° 44' East, 903.2 feet to a point for a corner;

THENCE: South 89° 22' West, 1451.9 feet to a point for a corner;

THENCE: South 89° 39' West, 765 feet, more or less, to a point on the City of Dallas Take Line for Lake Ray Hubbard;

THENCE: Following said Take Line: South 0° 03' West, 738.9 feet; South 9° 47' West, 355.1 feet; South 1° 47' West, 330.2 feet; South 13° 51' East, 276 feet; South 0° 03' West, 65 feet; South 0° 53' West, 1921.9 feet; North 89° 49' West, 649.6 feet; North 67° 00' West, 515.9 feet; North 81° 50' West, 375.9 feet; South 75° 14' West, 326.3 feet; South 62° 57' West, 367.1 feet; North 89° 49' West, 160.9 feet; South 17° 48' West, 1068.5 feet; South 6° 03' East, 448.3 feet; South 21° 51' East, 675.2 feet; and South 28° 28' East, 607.6 feet to a point in a County Road and the South line of said Butler Survey;

THENCE: South 89° 57' East, 636.1 feet to a point for a corner;

THENCE: South 89° 29' East, 1396.8 feet to a point for a corner;

THENCE: North 0° 26' West, 353.5 feet to a point for a corner;

THENCE: South 89° 36' East, 503.7 feet to a point for a corner;

THENCE: South 1° 17' East, 348.2 feet to a point for a corner;

THENCE: South 89° 56' East, 1253.6 feet to a point for a corner;

THENCE: South 13° 39' West, 185 feet to a point for a corner;

THENCE: South 45° 44' West, 146.1 feet to a point for a corner;

THENCE: South 42° 40' East, 99 feet to a point for a corner;

THENCE: South 56° 04' East, 465.3 feet to a point for a corner;

THENCE: South 63° 32' East, 383.3 feet to a point for a corner;

THENCE: North 0° 33' East, 790.6 feet to a point for a corner;

THENCE: North 0° 03' East, 279.4 feet to a point for a corner;

THENCE: North 88° 39' West, 229.1 feet to a point for a corner;

THENCE: North 60° 24' West, 140.3 feet to a point for a corner;

THENCE: North 0° 47' East, 1786.6 feet to a point for a corner;

THENCE: North 1° 13' West, 518.1 feet to a point for a corner;

THENCE: North 89° 07' West, 99.1 feet to a point for a corner;

THENCE: North, 435 feet to a point for a corner;

THENCE: North 40° 08' East, 259.5 feet to a point for a corner;

THENCE: North 1° 40' East, 629.1 feet to a point for a corner;

THENCE: South 84° 39' East, 252.6 feet to a point for a corner;

THENCE: South 77° 52' East, 201.2 feet to a point for a corner;

THENCE: South 76° 30' East, 242.3 feet to a point for a corner;

THENCE: South 54° 42' East, 245.7 feet to a point for a corner;

THENCE: South 62° 04' East, 210.1 feet to a point for a corner;

THENCE: South 64° 26' East, 320.8 feet to a point for a corner;

THENCE: South 82° 40' East, 397.5 feet to a point for a corner;

THENCE: South 80° 07' East, 422.3 feet to a point for a corner;

THENCE: South 80° 08' East, 309 feet to a point for a corner;

THENCE: North 10° 06' West, 236.3 feet to a point for a corner;
THENCE: North 2° 24' East, 550.1 feet to a point for a corner;
THENCE: North 2° 03' East, 507.4 feet to a point for a corner;
THENCE: North 0° 12' East, 451.2 feet to a point on the Westerly right-of-way
of State Highway 205;
THENCE: Following said right-of-way line North 7° 06' West a distance of 371
feet to the Place of Beginning and Containing 587 Acres of Land, more
or less.

MINIMUM STANDARDS

| <u>TRACT</u> | <u>LOT AREA · SQ. FT.</u> | <u>DEPTH</u> | <u>WIDTH</u> |
|--------------|--------------------------------|--------------|--------------|
| 1 | 7,200 | 120' | 60' |
| 2 | 9,000 | 120' | 75' |
| 3 | 8,400 | 120' | 70' |
| 4 | 9,000 | 120' | 75' |
| 5 | 4,000 | 100' | 35' |
| 6 | 4,000 | 100' | 35' |
| 7, 8, 9 | MAXIMUM 18 UNITS PER GROSS AC. | | |

RECREATION

PERMITTED USES TO INCLUDE :

TRACT 12- CLUB HOUSE AND RELATED USES, TENNIS AND RACKET BALL COURTS,
SWIM POOL, INN, AND PARKING

TRACT 11- TENNIS AND RACKET BALL COURTS, SWIM POOL, HANDBALL COURTS,
STABLES AND PADDOCKS, CLUB BUILDING, AND PARKING

| <u>TRACT</u> | <u>AREA · AC.'S</u> | <u>USE</u> |
|--------------|---------------------|------------------------|
| 1 | 56.9 | SINGLE FAMILY DETACHED |
| 2 | 161.5 | SINGLE FAMILY DETACHED |
| 3 | 69.0 | SINGLE FAMILY DETACHED |
| 4 | 52.0 | SINGLE FAMILY DETACHED |
| 5 | 22.0 | CLUSTER ATTACHED |
| 6 | 42.1 | CLUSTER ATTACHED |
| 7 | 20.4 | MULTI-FAMILY |
| 8 | 29.5 | MULTI-FAMILY |
| 9 | 24.0 | MULTI-FAMILY |
| 10 | 11.5 | RETAIL |
| 11 | 6.4 | RECREATION |
| 12 | 12.0 | RECREATION |
| 13 | 65.9 | GOLF COURSE |
| 14 | 13.6 | SCHOOL · PARK SITE |
| | <u>586.8 AC.'S</u> | |

ORDINANCE NO. 80-33

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND THE APPROVED SITE PLAN ON PD-3 PLANNED DEVELOPMENT DISTRICT NUMBER 3; ATTACHING THE APPROVED SITE PLAN AS EXHIBIT "A"; PROVIDING FOR A THOROUGHFARE PHASING PLAN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows, NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be, and the same is hereby, amended by amending the approved site plan for "PD-3" Planned Development District Number 3. That said amended site plan is attached hereto as Exhibit "A" and made a part hereof for all purposes.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That Planned Development District Number 3 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the amendment of the approved site plan for Planned Development District Number 3 shall affect only the property shown thereon and said property shall be limited to the uses, density, area, setback and other requirements set forth thereon, subject to the following special conditions:

(a) That the site plan attached hereto as Exhibit "A" and made a part hereof shall control the development of Planned Development District Number 3 and any and all such development shall be in strict accordance with such site plan.

(b) That there is hereby adopted as a special condition for Planned Development District Number 3 a Thoroughfare Phasing Plan, which plan reads as follows, to-wit:

(1) Phases 2 and 3 as shown on Exhibit "A" may be developed without the provision of additional access to the development.

(2) The remaining areas designated as single family, or an equivalent number of housing units, shall proceed for development only upon completion and connection of Lakeshore Drive or Alamo Road which will provide a second means of access to the development.

(3) The remaining housing units designated on the development plan shall be developed only upon completion and connection of Alamo Road or Lakeshore Drive to provide a third means of access to The Shores.

(4) In addition to the requirements of paragraphs (2) and (3), Areas 6 and 7 shall develop only in conjunction with the construction and connection of a street along the west boundary of the area, from Ridge Road West to Quail Run to Highway 205, which connection shall provide a means of access for this area in addition to that provided by Ridge Road West.

(5) The developer will provide a 70' right-of-way for Lakeshore Drive and 44' of pavement for Lakeshore Drive through Phase

2. The construction of Lakeshore Drive shall be to City

specifications and the location thereof shall be subject to approval by the City Council. The developer will provide 100' of right-of-way for Lake Shore Drive prior to tying into the proposed collector street through the designated multi-family area Number 11.

(6) Alamo Road shall be constructed to City specifications as a major arterial street from Lake Shore Drive to Highway 205. The width and location of Alamo Road will be determined by the current approved thoroughfare plan of the City of Rockwall for the area at the time of the development.

(c) No substantial change in development of The Shores shall be permitted except after obtaining approval of the change of such development through amendment of this site plan or the Thoroughfare Phasing Plan or other changes in the Comprehensive Zoning Ordinance applicable to Planned Development District Number 3 in the manner required for changes or amendments to the Comprehensive Zoning Ordinance.

(d) All other area requirements for each use not specifically covered on the site plan attached as Exhibit "A" shall be as required in the least restrictive zoning district in the Comprehensive Zoning Ordinance in which such use is allowed.

(e) At the platting stage of any phase of The Shores development, a screening and landscaping plan shall be submitted by the developer for the approval of the Planning and Zoning Commission and the City Council.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended hereby, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. This ordinance shall become effective from and after its passage and the publication of the caption as the law in such cases provides.

DULY PASSED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
ON THE 15th DAY OF December, 19 80.

APPROVED:



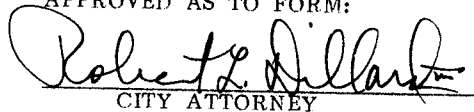
MAYOR

ATTEST:



CITY SECRETARY

APPROVED AS TO FORM:



CITY ATTORNEY

| TRACT NO. | ACREAGE | USE | MIN. LOT AREA | MIN. DEPTH | MIN. WIDTH | MAX. UNITS |
|-----------|---------|--------------------------|---------------|------------|------------|------------|
| 1 | 42.1 | CLUSTER - ATTACHED | 4,000 S.F. | 100' | 40' | 315 |
| 2 | 9.7 | RECREATION | SEE | NOTE | 1 | |
| 3 | 33.2 | SINGLE FAM. - DETACHED | 7,200 S.F. | 120' | 60' | 138 |
| 4 | 20.5 | SINGLE FAM. - DETACHED | 9,000 S.F. | 120' | 75' | 52 |
| 5 | | DELETED | | | | |
| 6 | 24.0 | MULTIPLE | | | | 432 |
| 7 | 13.1 | PATIO HOMES | 5,000 S.F. | 100' | 50' | 79 |
| 8 | 143.3 | SINGLE FAM. - DETACHED | 9,000 S.F. | 120' | 75' | 257 |
| 9 | 47.0 | SINGLE FAM. - DETACHED | 12,000 S.F. | 130' | 90' | 120 |
| 10 | 11.5 | RETAIL | SEE | NOTE | 3 | |
| 11 | 49.9 | MULTIPLE | | | | 898 |
| 12 | 23.8 | SINGLE FAM. - DETACHED | 8,400 S.F. | 120' | 70' | 85 |
| 13 | 19.6 | CLUSTER - ATTACHED | 4,000 S.F. | 100' | 40' | 147 |
| 14 | 52.0 | SINGLE FAM. - DETACHED | 9,000 S.F. | 120' | 75' | 173 |
| 15 | 4.6 | SINGLE FAM. - DETACHED | 8,400 S.F. | 120' | 70' | 18 |
| 16 | 13.6 | SCHOOL | | | | |
| 17 | 78.9 | GOLF COURSE & FACILITIES | SEE | NOTE | 2 | |

TOTAL ACRES = 586.8

TOTAL UNITS = 2714

NOTES

- 1) PERMITTED USES TO INCLUDE TENNIS, RACKET, & HANDBALL COURTS, CLUBHOUSE & PARKING, POOL, STABLES & PADDOCKS AND EQUESTRIAN TRAILS, TO BE PRIVATELY OWNED AND MAINTAINED.
- 2) FACILITIES TO INCLUDE TENNIS & RACKETBALL COURTS, POOL, INN, PARKING, CLUBHOUSE AND RELATED USES
- 3) PERMITTED USES TO INCLUDE ALL USES UNDER THE CITY OF ROCKWALL GENERAL RETAIL ZONING CLASSIFICATION.
- 4) MINIMUM BUILDING SETBACK FOR SINGLE FAMILY DETACHED, MULTI-FAMILY, AND RETAIL SHALL BE 25 FEET. MINIMUM SETBACK FOR CLUSTER AND PATIO HOMES SHALL BE 20 FEET.
- 5) MAXIMUM LOT COVERAGE SHALL BE 35% FOR SINGLE FAMILY DETACHED, ALL OTHER AREAS SHALL HAVE A MAXIMUM LOT COVERAGE OF 40%.
- 6) MAXIMUM BUILDING HEIGHT FOR MULTI-FAMILY AREAS SHALL BE 3 STORIES, ALL OTHER AREAS SHALL HAVE A MAXIMUM OF 2 1/2 STORIES. THE MAX. BLDG. HEIGHT SHALL ALSO BE SUBJECT TO SECTION 11-102 OF THE CITY OF ROCKWALL ZONING ORDINANCE
- 7) A SCREENING WALL OR FENCE 6 FEET IN HEIGHT SHALL BE PROVIDED IN SINGLE FAMILY AREA THAT ADJUT RETAIL OR MULTI-FAMILY AREAS.

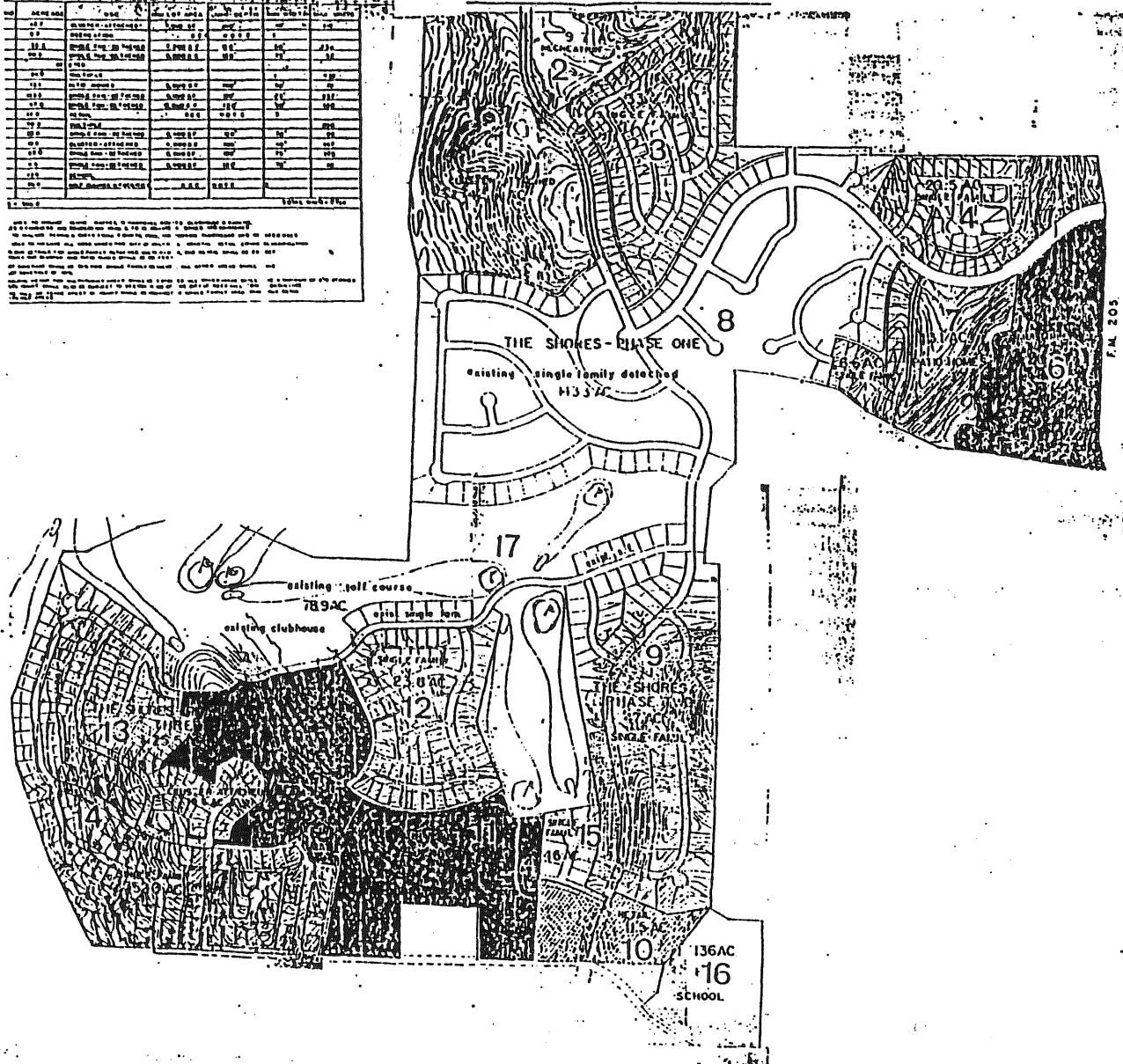
| NO. | ACRES | OWNER | DATE | REMARKS |
|-----|--------|--------------------|------------|------------|
| 1 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 2 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 3 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 4 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 5 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 6 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 7 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 8 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 9 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 10 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 11 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 12 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 13 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 14 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 15 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 16 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 17 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 18 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 19 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 20 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 21 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 22 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 23 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 24 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 25 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 26 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 27 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 28 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 29 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 30 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 31 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 32 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 33 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 34 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 35 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 36 | 136.00 | THE STATE OF TEXAS | LAND GRANT | |
| 37 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 38 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 39 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 40 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 41 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 42 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 43 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 44 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 45 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 46 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 47 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 48 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 49 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |
| 50 | 136.00 | THE STATE OF TEXAS | 1882 | LAND GRANT |

1. This map was prepared by the Surveyor General of Texas, under authority of the State of Texas, and is subject to the provisions of the laws of the State of Texas relating to the Surveyor General's office.

2. The Surveyor General of Texas is not responsible for the accuracy of the information furnished by the landowners, or for the correctness of the measurements made by the landowners, or for the correctness of the calculations made by the Surveyor General of Texas.

3. The Surveyor General of Texas is not responsible for the accuracy of the information furnished by the landowners, or for the correctness of the measurements made by the landowners, or for the correctness of the calculations made by the Surveyor General of Texas.

4. The Surveyor General of Texas is not responsible for the accuracy of the information furnished by the landowners, or for the correctness of the measurements made by the landowners, or for the correctness of the calculations made by the Surveyor General of Texas.



AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, AND AMENDING ORDINANCE NO. 80-33, BY AMENDING THE PRELIMINARY PLAN FOR PLANNED DEVELOPMENT DISTRICT NO. 3 THE SHORES TO ALLOW THE PLACEMENT OF A RECREATIONAL VEHICLE STORAGE AREA; PROVIDING FOR CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED ONE THOUSAND DOLLARS (\$1,000.00); PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Planning Commisison of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance No. 80-33 of the City of Rockwall should be amended; now, therefore,

BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and Ordinance No. 80-33 are hereby amended so as to amend the preliminary plan applicable to Planned Development District No. 3, heretofore created, so that a recreational vehicle storage area may be constructed as shown on the site plan labeled "Exhibit A" and attached hereto.

SECTION 2. That the recreational vehicle storage area shall be constructed and maintained according to the following conditions:

1. The storage area and drive shall be located as shown on "Exhibit A".

2. The storage area and drive shall be covered with gravel.
3. The storage area shall be lighted with low intensity bulbs pointed in and down.
4. The developer shall promptly address any complaints of glare from the lighting.
5. The storage area shall be for the use of residents of The Shores only.
6. The storage area shall be used for the storage of motor homes, boats, campers. and other recreational vehicles only.
7. The storage area may be used for a period of one year from the date of first use or one year from the date of approval of a revised master preliminary plan, whichever comes first.
8. At the end of this time limit, the storage area and drive shall be returned to a state consistent with the revised master plan.

SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.


SECTION 4. If any section, sentence, phrase, or provision of this ordinance or the application of that section, sentence, phrase, or provision to any person, firm, corporation situation, circumstance if for any reason is judged invalid, the adjudication shall not affect any other provision of this ordinance or the application of any other provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section, phrase or provision of the Comprehensive Zoning Ordinance No. 83-23 or Ordinance Nô. 80-33 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinances without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

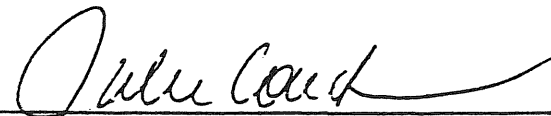
SECTION 6. This ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 3rd day of December, 1984.

APPROVED:


Mayor

ATTEST:


City Secretary

ORDINANCE NO. 86-23

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED SO AS TO AMEND THE PRELIMINARY PLAN FOR PD-3, THE SHORES; PROVIDING FOR A PRIVATE CLUB AS AN ACCESSORY TO A GENERAL RESTAURANT ON THE TRACT MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commisison of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to approve a change in the preliminary plan for "PD-3" Planned Development District No. 3 to provide for a private club as an accessory to a general restaurant on the tract of land described as Lot 1, Block A, The Shores Clubhouse.

Section 2. That the granting of the change in the preliminary plan for "PD-3", The Shores, for a private club shall be subject to the following conditions:

The private club shall meet all conditions for the issuance of private club permits set by the City Council in Ordinance No. 85-2 and any future regulatory ordinances.

Section 3. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 4. That the tract of land described as Lot 1, Block A shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future.

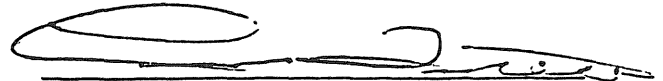
Section 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

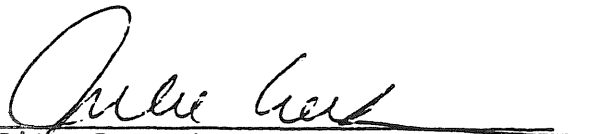
DULY PASSED AND APPROVED this 8th day of April, 1986.

APPROVED:



Mayor

ATTEST:



City Secretary

1st reading 3/31/86

2nd reading 4/8/86

ORDINANCE NO. 86-39

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NUMBER 80-33 AS HERETOFORE AMENDED SO AS TO GRANT A ZONING CHANGE FROM "AG" AGRICULTURAL DISTRICT CLASSIFICATION TO "PD-3", THE SHORES, TO ADD A TRACT OF LAND CONTAINING 30.35 ACRES, MORE FULLY DESCRIBED HEREIN IN EXHIBIT "A" ATTACHED HERETO, SO AS TO AMEND THE APPROVED SITE PLAN ON PD-3, THE SHORES; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall and Ordinance No. 80-33 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and Ordinance No. 80-33, as heretofore amended, be and the same are hereby amended by amending the approved site plan for PD-3, Planned Development District Number 3, on the tract of land containing 30.3536 acres more fully described on Exhibit "A" attached hereto and made a part hereof.

Section 2. That development of Tracts 2, 3, 4, and 5 as designated on Exhibit "B", shall meet the requirements of the area requirements

of "SF-7", Single Family District Classification with the following exceptions:

- A. Buffer Zone - One Lot Deep (as designated on Exhibit "B")
Minimum Lot Size-----8,400 sq. ft.
Minimum Unit Size-----1,800 sq. ft.
- B. Buffer Zone - Two Lots Deep (as designated on Exhibit "B")
Minimum Lot Size-----8,400 sq. ft.
Minimum Unit Size-----1,500 sq. ft.
- C. Remainder of Land in Tracts 2, 3, 4, and 5
Minimum Lot Size-----7,200 sq. ft.
Minimum Unit Size-----1,500 sq. ft.

Section 3. Prior to approval of a development plan on Tracts 2, 3, 4, or 5 as shown on Exhibit "B", a neighborhood park site of three to five acres shall be submitted and approved to be located in Tract 4.

Section 4. That Planned Development District Number 3: The Shores shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 3, The Shores to the above described tract of land is subject to the following special conditions:

- A. Prior to the issuance of any building permit in Planned Development District No. 3, The Shores, a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after appropriate recommendation by the Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "C" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the thoroughfare plan of the City of Rockwall, sidewalks utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.

- B. All development of property covered by Planned Development District No. 3: The Shores shall be in accordance with the provisions of this ordinance and the finally approved comprehensive site plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the Comprehensive Zoning Ordinance

Section 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.


Section 6. If any section, subsection, sentence, phrase, paragraph, provision of this ordinance or the application of that section, subsection, sentence, phrase, paragraph, or provision to any person, firm, corporation, situation, circumstance is for any reason judged invalid, the adjudication shall not affect any other section, sentence, phrase, word, paragraph, or provision of this ordinance or the application of any other section, subsection, sentence, phrase, paragraph or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section, subsection, sentence, phrase, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 7. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 19th day of May, 1986

APPROVED:



Mayor

ATTEST:

BY: Jennifer Garrett

1st reading 5/5/86

2nd reading 5/19/86

LOOK @ 86-39

FOR OFFICE USE ONLY

ORDINANCE NO. 86-61

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NUMBER 80-33 AS HERETOFORE AMENDED SO AS TO AMEND PD-3, PLANNED DEVELOPMENT DISTRICT NO. 3, THE SHORES, TO PROVIDE FOR A REVISED THOROUGHFARE PHASING PLAN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and Ordinance No. 80-33, as heretofore amended, be and the same are hereby amended by amending Section 2(b) of Ordinance No. 80-33 to hereby read as follows:

"(b) That there hereby is adopted as a special condition for Planned Development District No. 3 a Thoroughfare Phasing Plan, which plan reads as follows, to-wit:

1. Any subsequent platting over the existing Phase 1 up to an additional 200 units shall include a requirement for the design and construction of a northbound left turn lane along SH-205 at its intersection with Ridge Road.
2. Additional platting beyond the above 450 dwelling units shall include escrowing sufficient funds for a traffic signal at Ridge Road and SH-205.
3. Additional platting beyond a total of 700 dwelling units shall require the construction of either Lakeshore Boulevard or Alamo Road to provide a second means of access into the development.
4. Additional platting beyond a total of 1,450 dwelling units shall require the construction of a third means of access

still
REQ
still
REQ
M/A

into The Shores with the completion of the road not completed in Section 3.

5. The Multifamily tract located adjacent to SH-205 shall not be included in the above numbers so long as direct access from SH-205 is provided into the development of the tract.
6. The developer will provide and construct the required streets to City standards and specifications based on current adopted plans and specifications."

Section 2. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.


Section 3. If any section, subsection, sentence, phrase, paragraph, provision of this ordinance or the application of that section, subsection, sentence, phrase, paragraph, or provision to any person, firm, corporation, situation, circumstance is for any reason judged invalid, the adjudication shall not affect any other section, sentence, phrase, word, paragraph, or provision of this ordinance or the application of any other section, subsection, sentence, phrase, paragraph or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section, subsection, sentence, phrase, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 5. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

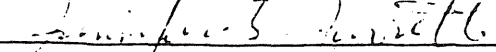
DULY PASSED AND APPROVED this 21st day of July, 1986.

APPROVED:



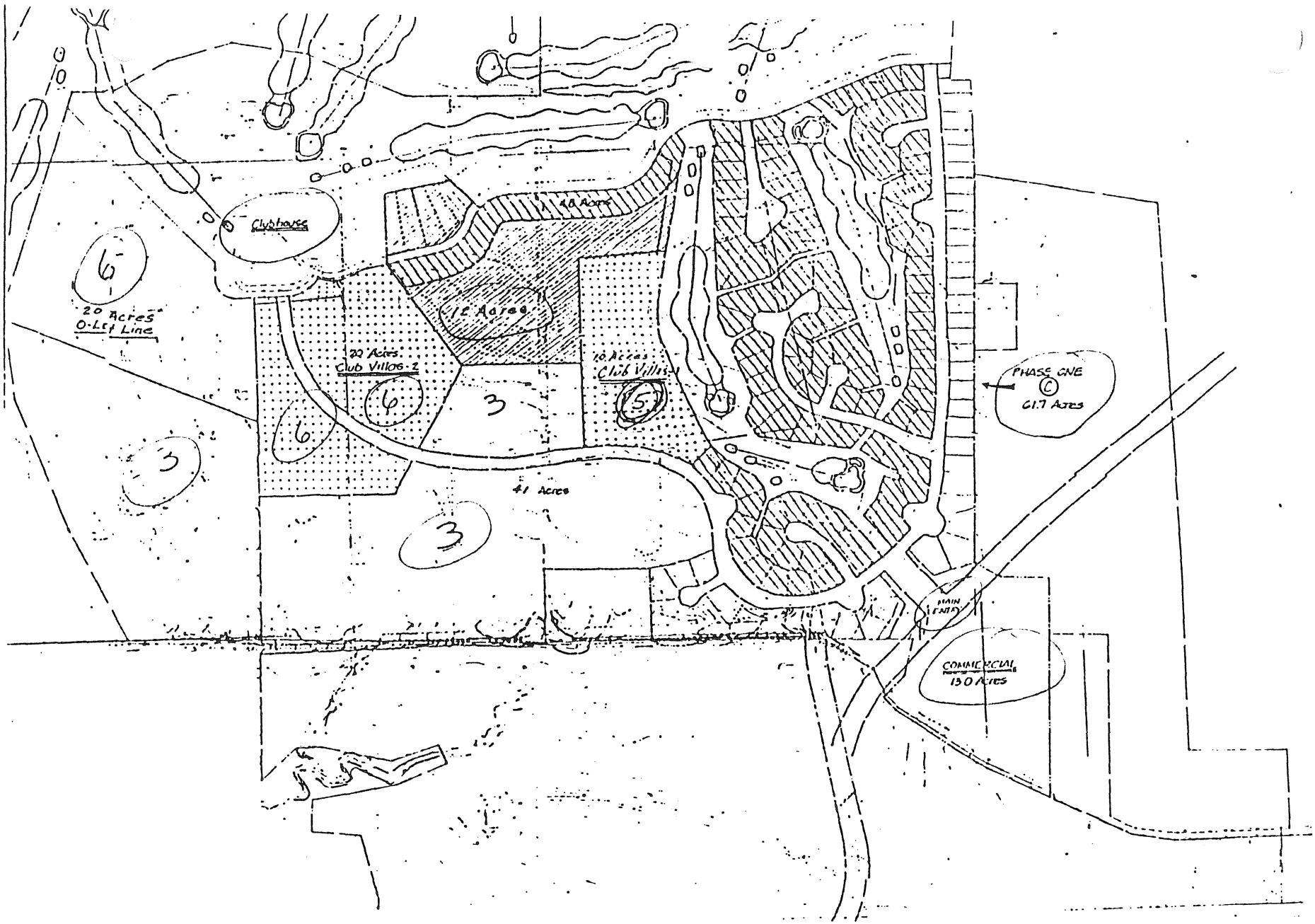
Mayor

ATTEST:

BY: 

1st reading 7/7/86

2nd reading 7/21/86



ORDINANCE NO. 89-4

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND ORDINANCE NO. 80-33, AS HERETOFORE AMENDED, SO AS TO AMEND THE APPROVED PRELIMINARY PLAN ON PD-3 PLANNED DEVELOPMENT DISTRICT NUMBER 3; ATTACHING THE APPROVED PRELIMINARY PLAN AS EXHIBIT "B"; ADOPTING REVISED AREA REQUIREMENTS AS SHOWN ON EXHIBIT "C"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, a change in the Preliminary Plan for PD-3, further described in Exhibit "A", has been submitted by The Shores 205 Joint Venture; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall and Ordinance No. 80-33 should be amended as follows,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended be, and the same is hereby, amended by amending the approved Preliminary Plan for "PD-3" Planned Development District Number 3. That said amended Preliminary Plan is attached hereto as Exhibit "B" and made a part hereof for all purposes.

Section 2. That Planned Development District Number 3 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the amendment of the approved Preliminary Plan for Planned Development District Number 3 shall affect only the property shown thereon and said property shall be limited to the uses, density, area, setback and other requirements set forth herein, subject to the following special conditions:

- (a) That the preliminary plan attached hereto as Exhibit "B" and made a part hereof shall control the development of Planned Development District Number 3 and any and all such development shall be in strict accordance with such Preliminary Plan.

(b) The 3.1 acre greenbelt shown on Exhibit "B" located south of Ridge Road West between the proposed single family and the multifamily shall be maintained by the owners of the multifamily tract and shall be developed at the time the multifamily tract is developed.

(c) A temporary real estate sales office shall be permitted in the 3.5 acre tract located on the northwest corner of Ridge Road West and SH-205 designated as greenbelt.

(d) Development of areas designated as areas 1-6 on Exhibit "B" shall meet the area requirements as shown on Exhibit "C", attached hereto and made a part hereof.

(e) No substantial change in development of The Shores shall be permitted except after obtaining approval of the change of such development through amendment of this Preliminary Plan in the manner required for changes or amendments to the Comprehensive Zoning Ordinance.

(f) All other area requirements for each use not specifically covered herein or as previously adopted shall be as required in the least restrictive zoning district in the Comprehensive Zoning Ordinance in which such use is allowed.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION-6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 20th day of March, 1989.

APPROVED:



Mayor

ATTEST:

BY Mary Nichols

1st reading 3/6/89

2nd reading 3/20/89

BEING a tract of land located in the Samuel King Survey, Abstract No. 131; the Thomas Dean Survey, Abstract No. 69; the Nathan Butler Survey, Abstract No. 21; and the Archibald Hanna Survey, Abstract No. 98, said tract being more particularly described as follows:

BEGINNING at the point of intersection of the North line of said King Survey with the West right-of-way of State Highway 205;

THENCE: North 89° 30' West, 1507.7 feet to a point for a corner;

THENCE: North 0° 49' East, 50 feet to a point for a corner;

THENCE: South 89° 43' West, 915.1 feet to a point for a corner;

THENCE: North 0° 44' East, 903.2 feet to a point for a corner;

THENCE: South 89° 22' West, 1451.9 feet to a point for a corner;

THENCE: South 89° 39' West, 765 feet, more or less, to a point on the City of Dallas Take Line for Lake Ray Hubbard;

THENCE: Following said Take Line: South 0° 03' West, 738.9 feet; South 9° 47' West, 355.1 feet; South 1° 47' West, 330.2 feet; South 13° 51' East, 276 feet; South 0° 03' West, 65 feet; South 0° 53' West, 1921.9 feet; North 89° 49' West, 649.6 feet; North 67° 00' West, 515.9 feet; North 81° 50' West, 375.9 feet; South 75° 14' West, 326.3 feet; South 62° 57' West, 367.1 feet; North 89° 49' West, 160.9 feet; South 17° 48' West, 1068.5 feet; South 6° 03' East, 448.3 feet; South 21° 51' East, 675.2 feet; and South 28° 28' East, 607.6 feet to a point in a County Road and the South line of said Butler Survey;

THENCE: South 89° 57' East, 636.1 feet to a point for a corner;

THENCE: South 89° 29' East, 1396.8 feet to a point for a corner;

THENCE: North 0° 26' West, 353.5 feet to a point for a corner;

THENCE: South 89° 36' East, 503.7 feet to a point for a corner;

THENCE: South 1° 17' East, 348.2 feet to a point for a corner;

THENCE: South 89° 56' East, 1253.6 feet to a point for a corner;

THENCE: South 13° 39' West, 185 feet to a point for a corner;

THENCE: South 45° 44' West, 146.1 feet to a point for a corner;

THENCE: South 42° 40' East, 99 feet to a point for a corner;

THENCE: South 56° 04' East, 465.3 feet to a point for a corner;

THENCE: South 63° 32' East, 383.3 feet to a point for a corner;

THENCE: North 0° 33' East, 790.6 feet to a point for a corner;

THENCE: North 0° 03' East, 279.4 feet to a point for a corner;

THENCE: North 88° 39' West, 229.1 feet to a point for a corner;

THENCE: North 60° 24' West, 140.3 feet to a point for a corner;

THENCE: North 0° 47' East, 1786.6 feet to a point for a corner;

THENCE: North 1° 13' West, 518.1 feet to a point for a corner;

THENCE: North 89° 07' West, 99.1 feet to a point for a corner;

THENCE: North, 435 feet to a point for a corner;

THENCE: North 40° 08' East, 259.5 feet to a point for a corner;

THENCE: North 1° 40' East, 629.1 feet to a point for a corner;

THENCE: South 84° 39' East, 252.6 feet to a point for a corner;

THENCE: South 77° 52' East, 201.2 feet to a point for a corner;

THENCE: South 76° 30' East, 242.3 feet to a point for a corner;

THENCE: South 54° 42' East, 245.7 feet to a point for a corner;

THENCE: South 62° 04' East, 210.1 feet to a point for a corner;

THENCE: South 64° 26' East, 320.8 feet to a point for a corner;

THENCE: South 82° 40' East, 397.5 feet to a point for a corner;

THENCE: South 80° 07' East, 422.3 feet to a point for a corner;

THENCE: South 80° 08' East, 309 feet to a point for a corner;

- THENCE: North 10° 06' West, 236.3 feet to a point for a corner;
THENCE: North 2° 24' East, 550.1 feet to a point for a corner;
THENCE: North 2° 03' East, 507.4 feet to a point for a corner;
THENCE: North 0° 12' East, 451.2 feet to a point on the Westerly right-of-way of State Highway 205;
THENCE: Following said right-of-way line North 7° 06' West a distance of 371 feet to the Place of Beginning and Containing 587 Acres of Land, more or less.

Exhibit "A"

BEGINNING at an iron rod on the East line of the above mentioned 86.95 acre tract, said iron rod bears North 0° 18' 56" a distance of 43.94 feet along the East line of said 86.95 acre tract from the most Northerly East corner of Lot 5, Block M, of The Shores, Phase One, An Addition to the City of Rockwall recorded in Slide A, Page 299, Plat Records, Rockwall County, Texas;

HENCE: South 89° 26' 57" West a distance of 914.93 feet to an iron rod set for a corner on the most Southerly West line of said 86.95 acre tract and on the most Northerly East line of the above mentioned 439.7 acre tract;

HENCE: North 0° 33' 27" East a distance of 893.40 feet along said West line and said East line to an iron rod set at an "E11" corner of said 86.95 acre tract and at the Northeast corner of said 439.7 acre tract;

HENCE: South 89° 31' 49" West a distance of 407.85 feet along the North line of said 439.7 acre tract and the most Westerly South line of said 86.95 acre tract to an iron rod found for a corner at the most Northerly Southwest corner of said 86.95 acre tract and at the Southeast corner of that 80.208 acre tract of land described in Deed Recorded in Volume 105, Page 43, Plat Records, Rockwall County, Texas;

HENCE: North 0° 25' 47" East a distance of 507.31 feet along the East line of said 80.208 acre tract and the most Northerly West line of said 86.95 acre tract to an iron rod set for a corner;

HENCE: South 79° 54' 21" East a distance of 1337.24 feet traversing said 86.95 acre tract to an iron rod set for a corner on the East line of said 86.95 acre tract;

HENCE: South 0° 11' 29" West a distance of 16.42 feet along said East line to an iron rod found for a corner;

HENCE: South 0° 18' 56" West a distance of 1137.73 feet continuing along said East line and containing 1,322,202 square feet

- 30.3536 acres of land.

PD 3 - THE SHORESAREA REQUIREMENTS - AREA - 1

1. Minimum lot area - 9000 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 2200 square feet
4. Minimum lot Width - 70 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
 - a) Internal lot - 5 feet
 - b) Sideyard set back - abutting street - 15 feet
 - c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2
(the garage area will not be considered)

PD 3 - THE SHORESAREA REQUIREMENTS - AREA - 2

1. Minimum lot area - 8400 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 2000 square feet
4. Minimum lot Width - 60 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
 - a) Internal lot - 6 feet
 - b) Sideyard set back - abutting street - 15 feet
 - c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2
(the garage area will not be considered)

PD 3 - THE SHORES

AREA REQUIREMENTS - AREA - 3

1. Minimum lot area - 7200 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1800 square feet
4. Minimum lot Width - 60 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
 - a) Internal lot - 5 feet
 - b) Sideyard set back - abutting street - 15 feet
 - c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2
(the garage area will not be considered)

PD 3 - THE SHORES

AREA REQUIREMENTS - AREA - 4

1. Minimum lot area - 7200 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1500 square feet
4. Minimum lot Width - 60 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
 - a) Internal lot - 5 feet
 - b) Sideyard set back - abutting street - 15 feet
 - c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2
(the garage area will not be considered)

PD 3 - THE SHORESAREA REQUIREMENTS - CLUB VILLAS - 1 Area - 5

1. Minimum lot area - 5000 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1,800 square feet
4. Minimum lot width - 50 feet at building line
5. Minimum lot depth - 90 feet
6. Minimum depth of front set back - 20 feet plus 1'/ft. of ht. over 25 feet.
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
 - a) Internal lot - 0 feet on one side, 10 feet on other side.
 - b) Sideyard set back - abutting street - 15 feet
 - c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 50%
11. Maximum height of structures - 30 feet
12. Minimum number of off street parking spaces per unit - 2
(the garage area will not be considered)

PD 3 - THE SHORESAREA REQUIREMENTS - CLUB VILLAS - 2/zero Lot Line - Area

1. Minimum lot area - 5000 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1250 square feet
4. Minimum lot Width - 50 feet at building line
5. Minimum lot depth - 90 feet
6. Minimum depth of front set back - 20 feet plus 1'/ft. of ht. over 25 feet.
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
 - a) Internal lot - 0 feet on one side, 10 feet on other side.
 - b) Sideyard set back - abutting street - 15 feet
 - c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 50%
11. Maximum height of structures - 30 feet
12. Minimum number of off street parking spaces per unit - 2
(the garage area will not be considered)

PD 3 - THE SHORESAREA REQUIREMENTS - CLUB HOUSE TRACT (3.7 Acres North of
Champions Drive)

1. Max. no. of single family dwelling units per lot - 1
2. Minimum square footage per dwelling unit
 - a) Lot 17, Block A, - 2200 square feet
 - b) Lots 18, 19, 20, & 21, Block A, - 2000 square feet
3. The lot width, lot depth and lot area of the 5 lots shall conform to the dimensions as shown on Page 8 of this Exhibit.
4. Minimum depth of front set back - 30 feet
5. Minimum depth of rear set back - 25 feet
6. Minimum width of side set back - 10 feet
7. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
8. Maximum building area as a percentage of lot area - 35%
9. Maximum height of structures - 30 feet
10. Minimum number of off street parking spaces per unit - 2
(the garage area will not be considered)
11. No Garage shall open on Champions Drive.

The Shores Club House Phase

Existing 15' Utility Easement

Existing 15' Utility Easement

N80°29'09"E 301.04'

Utility Easement

N81°30'07"E 330.14'

27.20

51.65'

62'

62'

92.49'

40.36

S44°24'05"E 220.98'

Tennis Court

Cross-Tie Retaining

N00°07'41"W 375.84'
297.56'

21
23,504 Sq. Ft.

N11°26'50"W 209.11'
209.11'

20
23,247 Sq. Ft.

N08°44'11"W 101.02'
101.02'

Block H

19
23,133 Sq. Ft.

N12°01'04"W 204.30'
204.30'

18
21,005 Sq. Ft.

N33°40'15"W 157.40'
223.40'

17
16,057 Sq. Ft.

30' Building Line

100'

48.14'

53'

DRIVE

C4

C6

C2

C7

C5

BEGINNING at an iron rod on the East line of the above mentioned 86.95 acre tract, said iron rod bears North 0° 18' 56" a distance of 43.94 feet along the East line of said 86.95 acre tract from the most Northerly East corner of Lot 5, Block M, of The Shores, Phase One, An Addition to the City of Rockwall recorded in Slide A, Page 299, Plat Records, Rockwall County, Texas;

HENCE: South 89° 26' 57" West a distance of 914.93 feet to an iron rod set for a corner on the most Southerly West line of said 86.95 acre tract and on the most Northerly East line of the above mentioned 439.7 acre tract;

HENCE: North 0° 33' 27" East a distance of 893.40 feet along said West line and said East line to an iron rod set at an 11" corner of said 86.95 acre tract and at the Northeast corner of said 439.7 acre tract;

HENCE: South 89° 31' 49" West a distance of 407.85 feet along the North line of said 439.7 acre tract and the most Westerly South line of said 86.95 acre tract to an iron rod found for a corner at the most Northerly Southwest corner of said 86.95 acre tract and at the Southeast corner of that 80.208 acre tract of land described in Deed Recorded in Volume 105, Page 43, Plat Records, Rockwall County, Texas;

HENCE: North 0° 25' 47" East a distance of 507.31 feet along the East line of said 80.208 acre tract and the most Northerly West line of said 86.95 acre tract to an iron rod set for a corner;

HENCE: South 79° 54' 21" East a distance of 1337.24 feet traversing said 86.95 acre tract to an iron rod set for a corner on the East line of said 86.95 acre tract;

HENCE: South 0° 11' 29" West a distance of 16.42 feet along said East line to an iron rod found for a corner;

HENCE: South 0° 18' 56" West a distance of 1137.73 feet continuing along said East line and containing 1,322,202 square feet

- 30.3536 acres of land.

ORDINANCE NO. 94-35

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCES NO. 80-33 AND 89-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN LAND USE DESIGNATION FROM AGRICULTURAL, MULTIFAMILY AND GENERAL RETAIL TO SINGLE FAMILY DETACHED LAND USE DESIGNATION AND AMEND THE PRELIMINARY PLAN FOR A PORTION OF PD-3, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR AREA REQUIREMENTS; PROVIDING FOR A DEVELOPMENT PLAN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request for a change in land use designation under PD-3 and zoning change from agricultural, multifamily and general retail to single family detached residential land use designation was submitted by Homeplace Properties on a tract of land more fully described herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinances 80-33 and 89-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinances No. 80-33 and 89-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-18" Planned Development District No. 3, on the property described on Exhibit "A", attached hereto and made a part hereof.

Section 2. That Planned Development District No. 3 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 3 to the above described tract of land is subject to the following special conditions:

A. All development of property covered by Planned Development District No. 3, shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments in accordance with the provisions of the Comprehensive Zoning Ordinance. All development of the property described on Exhibit "A", attached hereto, shall be substantially in accordance with the Development Plan, attached hereto and made a part hereof as Exhibit "B".

B. The property described on Exhibit "A", attached hereto, shall be used for Single Family Detached residential development and shall be regulated by the area requirements set forth in the SF-10 zoning classification, as currently adopted and as may be amended in the future, except as provided for as follows:

1. Minimum Lot Size - 7,800 sq. ft. as shown on concept plan
10,000 sq. ft. as shown on concept plan
2. Minimum dwelling Size - 1,800 sq. ft.
3. Minimum Lot Depth - 100 ft.
4. Minimum Lot Width - 60 feet, as measured at the front building line
5. Minimum Front Yard - 25 ft.
6. Minimum Rear Yard - 10 ft.
7. Minimum Side Yard -
Internal Lot - 6 ft.
Adjacent to Street - 15 ft.
8. Maximum Building Height - 32 ft.
9. Maximum Building Coverage - 35%
10. No front entry garages will be permitted

C. All development of this tract shall be in accordance with and regulated by the approved development plan, attached hereto and made a part hereof.

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by

a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 17th day of October, 1994.

APPROVED:


Mayor

ATTEST:

By: 

1st reading October 3, 1994

2nd reading October 17, 1994

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the Samuel King Survey, Abstract No. 131, Rockwall County, Texas, and being a part of that 44.514 acre tract of land described as Parcel 2, Tract 2, in Special Warranty Deed to Shores 205 Joint Venture, recorded in Volume 239, Page 53, Deed Records, Rockwall County, Texas, and all of that tract of land as recorded in Volume 185, Page 230, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set in an existing road (Quail Run Road) on the South line of said 44.514 acre tract, at the intersection of said road with a small branch, said Point bears South 65 degrees 15' 32" East a distance of 209.08 feet and South 83 degrees 28' 53" East a distance of 102.38 feet along said road from the South corner of The Shores Phase Two, an addition to the City of Rockwall recorded in Slide C, Page 102, Plat Records, Rockwall County, Texas;

THENCE: With the meanders of said branch, all to points for a corner, as follows: North 05 degrees 20' 52" East a distance of 169.47 feet; South 81 degrees 52' 30" East a distance of 142.20 feet; North 07 degrees 06' 30" West a distance of 98.88 feet; North 34 degrees 27' 30" West a distance of 89.00 feet; North 48 degrees 07' 30" East a distance of 99.00 feet; North 08 degrees 57' 30" West a distance of 107.38 feet; North 57 degrees 47' 30" East a distance of 123.96 feet; North 01 degree 29' 30" East a distance of 189.00 feet; North 54 degrees 55' 30" East a distance of 163.00 feet; North 38 degrees 27' 30" West a distance of 61.00 feet; North 29 degrees 32' 30" East a distance of 128.00 feet; South 55 degrees 32' 30" East a distance of 39.00 feet; South 01 degree 07' 30" West a distance of 46.00 feet; South 69 degrees 22' 30" East a distance of 14.00 feet; North 59 degrees 37' 30" East a distance of 33.00 feet; North 09 degrees 49' 30" East a distance of 121.00 feet; North 49 degrees 27' 30" East a distance of 86.34 feet;

THENCE: North 00 degrees 52' 30" West a distance of 183.33 feet to a 1/2" iron rod found for a corner on the South line of Ridge Road West;

THENCE: North 46 degrees 41' 37" East a distance of 145.67 feet with said South line to a 1/2" iron rod found at the beginning of a curve to the right having a central angle of 32 degrees 30' 00", a radius that bears South 43 degrees 28' 23" East a distance of 560.40 feet;

a 1/2" iron rod found at the end of said curve;

THENCE: North 79 degrees 01' 37" East, passing at 32.76 feet a 1/2" iron rod found at the Southeast corner of said Ridge Road West and continuing a total distance of 44.89 feet to a 1/2" iron rod set for a corner on the West line of State Highway 205, said point being on a curve to the left having a central angle of 02 degrees 59' 01", and a radius that bears north 78 degrees 40' 24" East a distance of 5605.38 feet;

THENCE: Along said curve and with said West line an arc distance of 291.88 feet to a broken concrete right-of-way monument found at the end of said curve;

THENCE: South 14 degrees 21' 09" East a distance of 407.27 feet continuing with said West line to a 1/2" iron rod found for a corner at a chain link fence corner post;

THENCE: South 76 degrees 42' 59" West a distance of 182.06 feet to a 1/2" iron rod set for a corner on the East line of said 44.514 acre tract and in an abandoned road;

THENCE: Along the East lines of said 44.514 acre tract and with said abandoned road as follows: South 00 degrees 51' 58" West a distance of 199.84 feet to a 1/2" iron rod set for a corner, South 02 degrees 00' 55" West a distance of 548.85 feet to a 1/2" iron rod set for a corner, and South 10 degrees 59' 21" East a distance of 236.02 feet to a 1/2" iron rod found at the Southeast corner of said 44.514 acre tract and in the previously mentioned existing Quail Run Road;

THENCE: With the South lines of said 44.514 acre tract and with said road as follows: North 81 degrees 00' 52" West a distance of 308.86 feet to a 1/2" iron rod found for a corner, North 81 degrees 17' 22" West a distance of 422.30 feet to a 1/2" iron rod found for a corner, and North 83 degrees 28' 53" West a distance of 295.00 feet to the Point of beginning and containing 25.474 acres of land.

The plat hereon is a true, correct and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat. There are no encroachments, conflicts, or protrusions, except as shown.

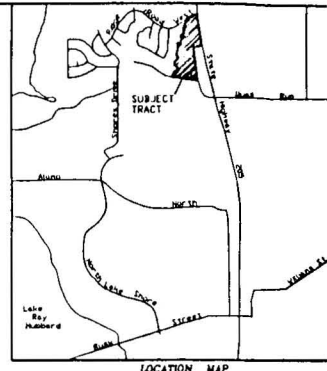
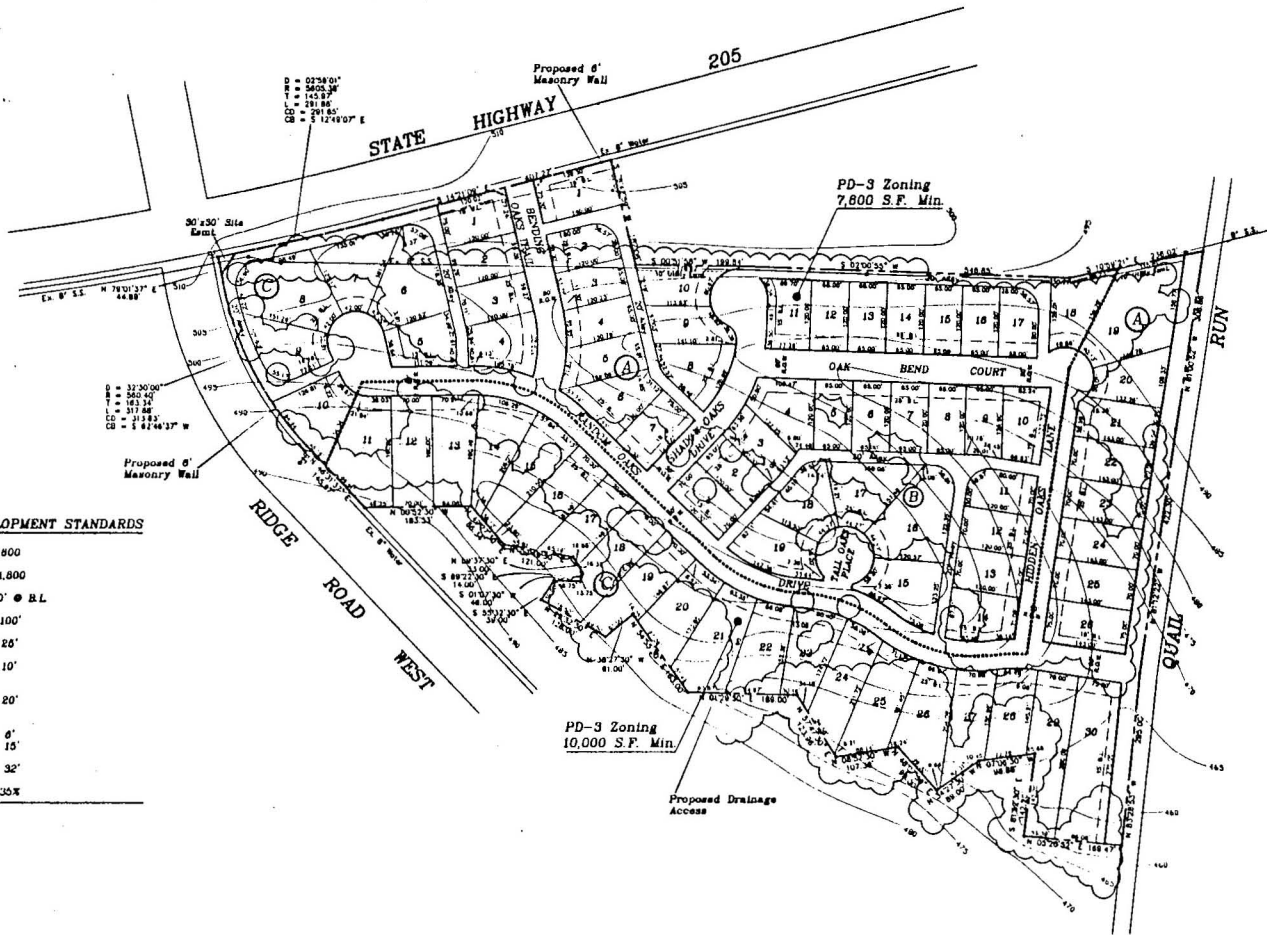


Harold L. Evans, P.E., Registered Professional Land Surveyor No. 2146





100 50 0 100 200
SCALE FEET



D = 52340.0'
E = 3625.34'
T = 145.87'
L = 281.86'
CD = 291.85'
CB = 5 127807° E

PD-3 Zoning
7,800 S.F. Min.

D = 32300.0'
E = 340.42'
T = 143.34'
L = 317.86'
CD = 313.83'
CB = 5 6274437° W

PD-3 Zoning
10,000 S.F. Min.

RANDOM OAKS AT THE SHORES
PRELIMINARY LOT SQUARE FOOTAGE

| BLOCK A | | BLOCK B | | BLOCK C | |
|---------|---------|---------|---------|---------|--------|
| LOT | SQ. FT. | LOT | SQ. FT. | LOT | SQ. |
| 1 | 10,982 | 1 | 8,400 | 1 | 8,134 |
| 2 | 7,818 | 2 | 7,800 | 2 | 8,311 |
| 3 | 7,800 | 3 | 7,848 | 3 | 8,218 |
| 4 | 8,071 | 4 | 11,029 | 4 | 10,377 |
| 5 | 8,411 | 5 | 7,800 | 5 | 8,383 |
| 6 | 10,882 | 6 | 7,800 | 6 | 18,873 |
| 7 | 8,000 | 7 | 7,800 | 7 | 13,877 |
| 8 | 10,300 | 8 | 7,800 | 8 | 17,758 |
| 9 | 8,348 | 9 | 7,804 | 9 | 10,843 |
| 10 | 8,201 | 10 | 8,811 | 10 | 11,784 |
| 11 | 8,188 | 11 | 8,058 | 11 | 14,914 |
| 12 | 7,800 | 12 | 8,400 | 12 | 13,350 |
| 13 | 7,800 | 13 | 8,400 | 13 | 13,772 |
| 14 | 7,800 | 14 | 8,400 | 14 | 12,732 |
| 15 | 7,800 | 15 | 8,811 | 15 | 18,403 |
| 16 | 7,800 | 16 | 12,304 | 16 | 14,144 |
| 17 | 7,800 | 17 | 17,281 | 17 | 14,144 |
| 18 | 7,818 | 18 | 12,377 | 18 | 11,188 |
| 19 | 10,437 | 19 | 10,805 | 19 | 13,700 |
| 20 | 10,010 | 20 | 11,023 | 20 | 15,565 |
| 21 | 10,010 | | | 21 | 12,300 |
| 22 | 10,010 | | | 22 | 12,700 |
| 23 | 10,010 | | | 23 | 11,866 |
| 24 | 10,020 | | | 24 | 13,638 |
| 25 | 10,010 | | | 25 | 14,113 |
| 26 | 10,718 | | | 26 | 14,842 |
| | | | | 27 | 12,288 |
| | | | | 28 | 10,373 |
| | | | | 29 | 17,812 |
| | | | | 30 | 22,338 |

LAND USE DATA
REVISE PD-3 SINGLE FAMILY DEVELOPMENT STANDARDS

| | |
|--|------------|
| MIN. LOT S.F. | 7,800 |
| MIN. HOUSE SIZE | 1,800 |
| MIN. LOT WIDTH | 60' @ B.L. |
| MIN. LOT DEPTH | 100' |
| MIN. FRONT YARD | 20' |
| MIN. REAR YARD (for Main Structure) | 10' |
| MIN. REAR YARD (for Garage) | 20' |
| MIN. SIDE YARD (adjacent to Street) | 6' 15' |
| MAX. BUILDING HEIGHT | 32' |
| MAX. BUILDING COVERAGE | 30% |

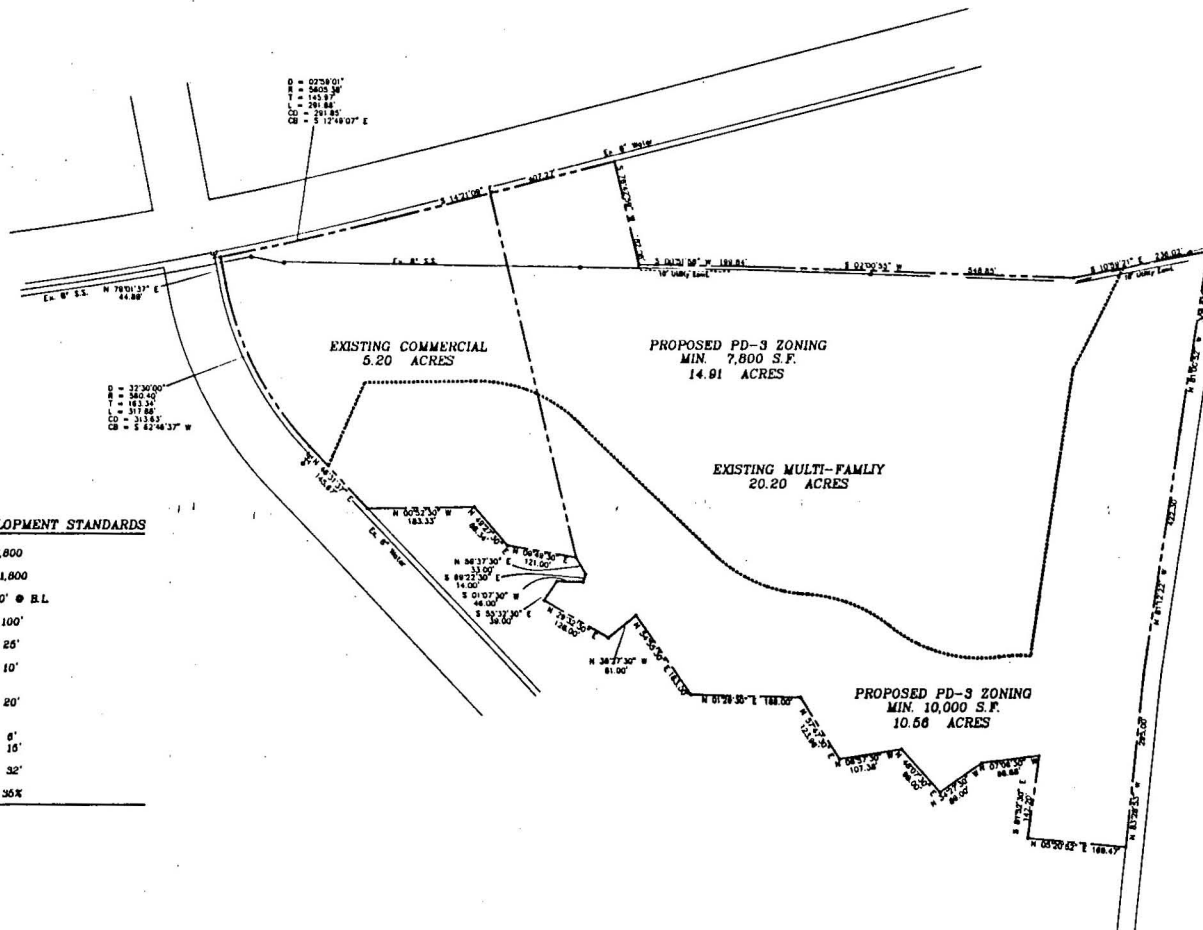
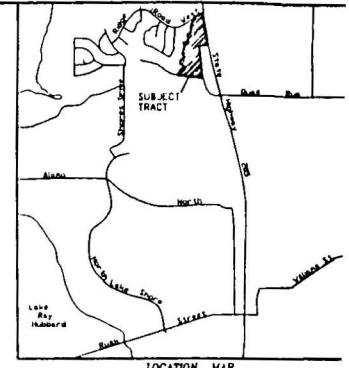
OWNER
HOMELAND PROPERTIES
8330 L.B.J. Frey - Suite 1180 - Dallas, Texas 75243

ENGINEER
TIPTON ENGINEERING, INC.
8330 Belt Line Rd. - Suite C - Garland, Texas 75043

PRELIMINARY PLAT
OF
RANDOM OAKS AT THE SHORES
OUT OF THE
SAMUELL KING SURVEY, ABSTRACT NO. 131
IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEX
SCALE 1"=100' ~ DATE: 9-2-94 ~ 26.474 ACRES ~ 75 LOTS



100 50 0 100 200
SCALE FEET



LAND USE DATA

REVISE PD-3 SINGLE FAMILY DEVELOPMENT STANDARDS

| | |
|-------------------------------------|------------|
| MIN. LOT S.F. | 7,800 |
| MIN. HOUSE SIZE | 1,800 |
| MIN. LOT WIDTH | 60' @ R.L. |
| MIN. LOT DEPTH | 100' |
| MIN. FRONT YARD | 25' |
| MIN. REAR YARD (for Main Structure) | 10' |
| MIN. REAR YARD (for Garage) | 20' |
| MIN. SIDE YARD (adjacent to Street) | 0' |
| MAX. BUILDING HEIGHT | 32' |
| MAX. BUILDING COVERAGE | 35% |

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the Samuell King Survey, Abstract No. 13, Rockwall County, Texas and being a part of that 44.514 acre tract of land described as Parcel E, Tract E Special Warranty Deed to Sharon 206 Joint Venture, recorded in Volume 236, Page 83, Deeds Records, Rockwall County, Texas, and all of that tract of land so recorded in Volume 168, Page 230, Deeds Records, Rockwall County, Texas, and being more particularly described as follows:

BEING and a 1/2" iron rod set in an existing road (Quad Run Road) on the South line of said 44.514 acre tract, at the intersection of said road with a small branch, said Point being S 85° 15' 32" W a distance of 208.08 feet and S 83° 26' 53" E a distance of 101.36 feet along said road from the South corner of The Sharon Phase Tract, as shown to the City of Rockwall recorded in: SH-10, Page 102, Plat Records, Rockwall County, Texas:

THENCE, with the meanders of said branch, on its points for a corner, as follows:
 N 00° 20' 53" E, a distance of 182.47 feet;
 S 81° 32' 30" E, a distance of 142.00 feet;
 N 07° 08' 30" W, a distance of 86.88 feet;
 N 34° 27' 30" W, a distance of 89.00 feet;
 N 48° 07' 30" E, a distance of 98.00 feet;
 N 08° 07' 30" W, a distance of 107.38 feet;
 N 37° 47' 30" E, a distance of 123.98 feet;
 N 01° 28' 30" E, a distance of 188.00 feet;
 N 34° 53' 30" E, a distance of 163.00 feet;
 N 38° 27' 30" W, a distance of 81.00 feet;
 N 78° 32' 30" E, a distance of 128.00 feet;
 S 33° 23' 30" E, a distance of 38.00 feet;
 S 01° 07' 30" W, a distance of 46.00 feet;
 S 88° 23' 30" E, a distance of 14.00 feet;
 N 58° 37' 30" E, a distance of 33.00 feet;
 N 08° 48' 30" E, a distance of 123.00 feet;
 N 48° 27' 30" E, a distance of 88.34 feet;

THENCE, N 02° 52' 30" W a distance of 163.33 feet to a 1/2" iron rod found for a corner on the South line of Ridge Road West;

THENCE, N 48° 41' 37" E a distance of 143.87 feet with said South line to a 1/2" iron rod found at the beginning of a curve to the right having a central angle of 32° 30' 00" a radius of 563.40 feet;

THENCE, along said curve and continuing with said South line an arc distance of 317.88 feet to a 1/2" iron rod found at the end of said curve;

THENCE, N 78° 01' 37" E, passing at 32.78 feet a 1/2" iron rod found at the Southeast corner of said Ridge Road West and continuing a total distance of 41.88 feet to a 1/2" iron rod set at a corner on the West line of State Highway 205, said point being on a curve to the left having a central angle of 02° 58' 01", and a radius that bears N 78° 45' 24" E a distance of 8606.3 feet;

THENCE, along said curve and with said that line an arc distance of 281.88 feet to a broken concrete right-of-way monument found at the end of said curve;

THENCE, S 14° 21' 08" E a distance of 407.27 feet continuing with said that line to a 1/2" iron rod found for a corner at a chain link fence corner post;

THENCE, S 78° 42' 58" W a distance of 182.08 feet to a 1/2" iron rod set for a corner on the West line of said 44.514 acre tract and in an abandoned road;

THENCE, along the East line of said 44.514 acre tract and with said abandoned road as follows:
 S 00° 31' 38" W a distance of 199.84 feet to a 1/2" iron rod set for a corner;
 S 02° 00' 50" W a distance of 246.88 feet to a 1/2" iron rod set for a corner;
 S 10° 08' 21" E a distance of 238.02 feet to a 1/2" iron rod found at the Southeast corner of said 44.514 acre tract and in the previously mentioned existing Quad Run Road;

THENCE, with the South line of said 44.514 acre tract and with said road as follows:
 N 81° 00' 52" W a distance of 202.88 feet to a 1/2" iron rod found for a corner;
 N 81° 12' 22" W a distance of 122.00 feet to a 1/2" iron rod found for a corner;
 N 83° 28' 53" W a distance of 295.00 feet to the POINT OF BEGINNING and containing 28.474 acres of land.

~ OWNER ~
HOMEPLACE PROPERTIES
 8330 L.B.J. Frey, ~ Suite 1190 ~ Dallas, Texas 75243

~ ENGINEER ~
TIPTON ENGINEERING, INC.
 8330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

ZONING TRACT MAP
 OF
RANDOM OAKS AT THE SHORES
 OUT OF THE
SAMUELL KING SURVEY, ABSTRACT NO. 13
 IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SCALE: 1"=100' ~ DATE: 8-2-94 ~ 28.474 ACRES

ORDINANCE NO. 96-23

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND ORDINANCE NO. 89-4, AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND DESCRIBED HEREIN FROM AGRICULTURAL TO PD-3 AND TO AMEND THE APPROVED PRELIMINARY PLAN FOR PD-3 ATTACHING THE AMENDED PRELIMINARY PLAN; ADOPTING REVISED AREA REQUIREMENTS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in zoning on a tract of land from Agriculture to PD-3, and a change in the Preliminary Plan for portions of PD-3, further described herein, has been initiated by the City of Rockwall; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance and official zoning map be changed from Agricultural to PD-3 for the area described in Exhibit "A" attached hereto.

SECTION 2. With respect to the tracts shown in Exhibit "B", the Comprehensive Zoning Ordinance, this ordinance, Ordinance 86-61 and Ordinance 84-59 shall be the sole Planned Development ordinances applicable thereto, and any other Planned Development ordinances, including Ordinance 89-4, hereto applicable to such tracts shall be superseded and amended hereby. Items not specifically addressed in this ordinance shall comply with the Zoning Ordinance No. 83.23, Subdivision Ordinance, Engineering Standards of Design, Code of Ordinances, as amended or as may be amended in the future and any other development related ordinances as currently approved or as may be amended or approved in the future.

SECTION 3. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the approved Preliminary Plan for PD-3 for those areas identified in Exhibit "B". That said amended Preliminary Plan is attached hereto as Exhibit "B" and made a part hereof for all purposes.

SECTION 4. That the tracts identified in Exhibit "B" shall be developed and used only in the manner and for the purposes and with the conditions provided in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, and as amended hereby, provided that by granting this amendment to the approved Preliminary Plan for PD-3 this ordinance shall affect only the property shown in Exhibit "B".

SECTION 5. That development of areas in Exhibit "B" shall be in strict conformance to the area requirements as shown in Exhibit "C" attached hereto and made a part hereof.

SECTION 6. No substantial change in development of the areas as shown in Exhibit "B" shall be permitted other than as shown in Exhibit "B" except after obtaining approval of the change of such development through amendment of the Preliminary Plan in the manner required for changes or amendments to the Comprehensive Zoning Ordinance.

SECTION 7. Prior to or in conjunction with any plat submittal, a concept plan must be submitted for the area being developed for review and approval by the Planning and Zoning Commission and City Council. A north concept plan must be submitted when the northern tracts are developed, a south concept plan must be submitted when the southern tracts are developed, and a Ridge Road concept plan must be submitted when the Ridge Road tracts are developed. If the concept plan is submitted in conjunction with the plat, the review and approval or disapproval will occur simultaneously. The concept plan shall include the following items.

A. The north concept plan shall include the following items;

(i) Identify the general location of the 3 acre neighborhood park site in one of the northern tracts including walkway/pathways connecting the park to the adjacent villages in the northern tracts. It is the intent that the walkway/pathway design will be accomplished with the lot layout in Exhibit "D".

B. The south concept plan shall include the following items;

(i) Provide a general location and conceptual design of walkways/pathways in the southern tracts 4 and 5. It is the intent that the walkway/pathway design will be accomplished with the lot layout in Exhibit "D".

(ii) Provide a general location and conceptual design for access to the lake in the southern tract 4. The walkways/pathways required in section (i) will not be required to connect to the lake access.

C. All concept plans shall include the following items;

(i) Identify locations of any proposed restricted access/gated villages, including description of the proposed entry design, type and maintenance provisions for streets and layout of village.

(ii) A proposed street layout for each phase that shall be subject to review and approval in accordance with the City's Subdivision Regulations and Standards. Street layouts and double loaded streets as shown in Exhibit "D" are included herein in concept only provided, however, that the double loaded streets concept in Exhibit "D" shall form the basis for review and approval by the City with respect to double lot street loading.

(iii) Identify location, type and general design of screening along major roads for areas being platted.

(iv) Identify location of village entry features for each village for areas being platted. Such features shall at a minimum include typical entry features as shown on Exhibit "E".

(v) A lot layout demonstrating how average lot sizes required in Exhibit "C" are met.

Section 8. Prior to any final plat approval of the first phase of the development, the owner(s) of the property must execute and file an instrument creating a Homeowners Association for the areas included in Exhibit "B". The Homeowners Association will be responsible for the maintenance of all common areas, screening walls and features, landscape areas; deed restriction enforcement; and all other functions required to maintain the quality of the development for those areas included in Exhibit "B". To ensure compliance with these provisions the property owner will submit the covenants of the document to the City Attorney for review. The property owner will provide an opportunity for the existing homeowners to join this newly created association on terms acceptable to the property owner, but neither the joinder of the existing homeowners nor the documentation of such opportunity shall constitute a condition precedent or requirement in plat approval.

Section 9. Because review of PD-3 as contained herein has been extensive for more than (6) months prior to the adoption of this ordinance, with the result being the Preliminary Plan herein, the City Council deems that the public interest will not be served by review of this PD on the normal two (2) year cycle. The City Council hereby determines that the Preliminary Plan herein established, promotes and protects the health, safety, morals, and general welfare of the City, which merits an exception to the two year PD review cycle, for which is herein made. The City Council further determines that periodic review as required in the Comprehensive Zoning Ordinance, of the Preliminary Plan herein adopted is still necessary to ensure that the desired

objectives are accomplished, but that such review shall not be initiated sooner than eight years from the date of adoption of this ordinance; provided that;

(i) such review may occur if no plat application is filed with the City in any two year period or such longer time as may be provided for in the Comprehensive Zoning Ordinance, for the above mentioned eight years from the date of adoption of this ordinance. In addition, credit for each 2-year period of the above specified eight years will be earned for each subdivision which exceeds 50 lots that is platted and approved unless such lots are 10,000 square feet or larger on the average in the aggregate in which event such credit shall be earned for a subdivision which exceeds 25 lots.

(ii) that such plat application, if filed, pursuant to Chapter 481 of the Government Code shall apply to the particular phase being platted and that any subsequent phases shall not be considered regulated by said application.

Section 10. The Commercial tract six as shown in Exhibit "B" on the south side of North Lakeshore Drive shall comply with the area, use and all other requirements as set forth in the Commercial ("C") zoning district requirements of the Comprehensive Zoning Ordinance as currently adopted or as may hereafter amended.

Section 11. The General Retail tract three as shown in Exhibit "B" on the north side of Ridge Road shall be limited to the uses as shown in Exhibit "G". All other requirements for the development on this tract will be in accordance with the General Retail zoning district of the Comprehensive Zoning Ordinance and the Comprehensive Zoning Ordinance and subject to site plan review by the Planning and Zoning Commission and City Council.

SECTION 12. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 13. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.


SECTION 14. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 15. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 24th day of June, 1996

ATTEST:

APPROVED:

BY 


Mayor

1st reading 6/17/96

2nd reading 6/24/96

EXHIBIT "A"

Legal Description

INDEX

1. Tract I - north of Ridge Road including retail tract
2. Tract II, Parcel A - south of Ridge Road
3. Tract II, Parcel B - existing lots in Phase 2,
(not applicable to zoning)
4. Tract III, Parcel A - majority of land south of Champions
5. Tract III, Parcel B - piece bounded by Shores Blvd, Masters, N Lakeshore Blvd
and Rockwall Height's Ltd. tract.
6. Tract III, Parcel C - surrounded by golf course
7. Tract III, Parcel D - existing lots in Phase 3,
(not applicable to zoning)
8. Tract III, Parcel E - 18 acre commercial site
9. Tract IV - bulk of northern tract including 51 acre "ag zoned"
10. Tract V - western portion of northern tract

TRACT I:

BEING a tract of land situated in the Samuel King Survey, Abstract No. 131, Rockwall County, Texas, and being all of that 20.341 acre tract of land described as Tract I in Deed to The Shores Country Club, Inc., recorded in Volume 547, page 101, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the West R.O.W. line of State Hwy. 205, a 100-foot R.O.W., and the Northerly R.O.W. line of Ridge Road West, a 100 foot ROW:

THENCE: Along the Northerly R.O.W. lines of said Ridge Road West as follows: South 79 degrees 01 minutes 37 seconds West a distance of 42.96 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the left having a central angle of 32 degrees 30 minutes 00 seconds, a radius of 660.40 feet, and a chord that bears South 62 degrees 46 minutes 37 seconds West a distance of 369.60 feet;

Along said curve an arc distance of 374.60 feet to a 1/2" iron rod found for a corner;

South 46 degrees 31 minutes 37 seconds West a distance of 230.00 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the right having a central angle of 18 degrees 06 minutes 25 seconds, a radius of 539.45 feet and a chord that bears South 55 degrees 34 minutes 50 seconds West a distance of 169.77 feet;

Along said curve an arc distance of 170.48 feet to a 1/2" iron rod found for a corner; South 25 degrees 22 minutes 01 East a distance of 20.00 feet to a 1/2" iron rod found for a corner at which point Ridge Road West becomes an 80-foot R.O.W., said iron rod being the point of curvature of a circular curve to the right having a central angle of 72 minutes 53 minutes 35 seconds, a radius of 559.45 feet, and a chord that bears North 78 degrees 55 minutes 10 seconds West a distance of 664.71 feet;

Along said curve an arc distance of 711.75 feet to a 1/2" iron rod found for a corner; North 42 degrees 28 minutes 23 seconds West a distance of 275.00 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the left having a central angle of 03 degrees 25 minutes 23 seconds, a radius of 1074.53 feet, and a chord that bears North 44 degrees 11 minutes 09 seconds West a distance of 64.24 feet;

Along said curve an arc distance of 64.25 feet to a 1/2" iron rod found at the Southeast corner of Block M of The Shores Phase One, an addition to the City of Rockwall recorded in Cabinet A, Page 299, Plat Records, Rockwall County, Texas;

THENCE: North 25 degrees 05 minutes 57 seconds East along the East line of Block M, passing at 125.00 feet the Northeast corner of Lot 7 and the Southeast corner of Lot 6, Block M, and continuing a total distance of 401.92 feet to a 1/2" iron rod found at the Northeast corner of Block M and at the Northwest corner of said 20.341 acre tract;

THENCE: North 89 degrees 37 minutes 06 seconds East a distance of

761.97 feet along said North line of said 20.341 acre tract to a 1/2" iron rod found for a corner at a fence corner;

THENCE: North 89 degrees 05 minutes 26 seconds East a distance of 575.95 feet continuing along said North line and a fence line to a 1/2" iron rod found on the West line of State Hwy. 205;

THENCE: South 08 degrees 08 minutes 41 seconds East a distance of 308.41 feet to the POINT OF BEGINNING and containing 20.341 acres of land, more or less.

TRACT II:

TRACT II, PARCEL A:

BEING a tract of land situated in the Samuel King Survey, Abstract No. 131, Rockwall County, Texas, and being the remainder part of that 20.514 acre tract of land described as Tract II in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found on the Southerly R.O.W. line of Ridge Road West, an 80-foot ROW at the Northeast corner of The Shores, Phase Two, an addition to the City of Rockwall recorded in Cabinet C, Page 102, Plat Records, Rockwall County, Texas, said iron rod being on a curve to the left having a central angle of 58 degrees 06 minutes 44 seconds, a radius of 639.45 feet, and a chord that bears North 75 degrees 34 minutes 59 seconds East a distance of 621.12 feet;

THENCE: Along said curve and with said Southerly line an arc distance of 648.56 feet to a 1/2" iron rod found for a corner at the Point of Tangency of said curve;

THENCE: North 46 degrees 31 minutes 37 seconds East a distance of 84.33 feet continuing with said Southerly line to a 1/2" iron rod set for a corner at the Northeast corner of said 20.514 acre tract recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas;

THENCE: South 00 degrees 52 minutes 30 seconds East a distance of 183.33 feet with the East line of said 20.514 acre tract to a 1/2" iron rod set for a corner in a small brancy, a nameless tributary of Squabble Creek;

THENCE: In a Southerly direction with the meanders of said branch and with the Easterly lines of said 20.514 acre tract, all to 1/2" iron rods set for corners, as follows:

South 49 degrees 27 minutes 30 seconds West a distance of 86.34 feet; South 09 degrees 49 minutes 30 seconds West a distance of 121.00 feet;

South 59 degrees 37 minutes 30 seconds West a distance of 33.00 feet;

North 69 degrees 22 minutes 30 seconds West a distance of 14.00 feet;

North 01 degrees 07 minutes 30 seconds East a distance of 46.00

feet;
 North 55 degrees 32 minutes 30 seconds West a distance of 39.00
 feet;
 South 29 degrees 32 minutes 30 seconds West a distance of 128.00
 feet;
 South 38 degrees 27 minutes 30 seconds East a distance of 61.00
 feet;
 South 54 degrees 55 minutes 30 seconds West a distance of 163.00
 feet;
 South 01 degrees 29 minutes 30 seconds West a distance of 189.00
 feet;
 South 57 degrees 47 minutes 30 seconds West a distance of 123.96
 feet;
 South 08 degrees 57 minutes 30 seconds East a distance of 107.38
 feet;
 South 48 degrees 07 minutes 30 seconds West a distance of 99.00
 feet;
 South 34 degrees 27 minutes 30 seconds East a distance of 89.00
 feet;
 South 07 degrees 06 minutes 30 seconds East a distance of 98.88
 feet;
 North 81 degrees 52 minutes 30 seconds West a distance of 142.20
 feet
 South 05 degrees 20 minutes 52 seconds West a distance of 169.48
 feet to a 1/2" iron rod found for a corner in the center of Quail
 Run Road, a public road;

THENCE: North 83 degrees 28 minutes 53 seconds West a distance of
 102.38 feet with said road to a 1/2" iron rod found for a corner;

THENCE: North 65 degrees 15 minutes 32 seconds West a distance of
 209.08 feet continuing with said road to a 1/2" iron rod set for a
 corner on the Southeast line of a 20-foot alley at the South
 corner of the previously mentioned The Shores, Phase Two;

THENCE: Along the Easterly lines of said The Shores, Phase Two as
 follows:

North 24 degrees 44 minutes 28 seconds East a distance of 145.00
 feet to a 1/2" iron rod found for a corner on the Southwest R.O.W.
 line of Wind Hill Road, a 50-foot ROW;
 South 65 degrees 15 minutes 32 seconds East a distance of 7.50
 feet with said Southwest line to a 1/2" iron rod found for a
 corner at the South R.O.W. corner of said Wind Hill Road;
 North 24 degrees 44 minutes 28 seconds East a distance of 50.00
 feet to a 1/2" iron rod found for a corner at the East R.O.W.
 corner of said Wind Hill Road;
 North 65 degrees 15 minutes 32 seconds West a distance of 43.64
 feet with the Northeast line of said Wind Hill Road to a 1/2" iron
 rod found for a corner on the Easterly line of a 20-foot alley;

THENCE: Along the Easterly line of said 20-foot alley and
 continuing along the Easterly lines of said addition as follows:
 North 24 degrees 44 minutes 28 seconds East a distance of 113.33
 feet to a 1/2" iron rod found at the beginning of a curve to the
 left having a central angle of 22 degrees 47 minutes 01 seconds, a
 radius of 465.47 feet, and a chord that bears North 13 degrees 20
 minutes 58 seconds East a distance of 183.88 feet;

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Along said curve an arc distance of 185.09 feet to a 1/2" iron rod found at the Point of Tangency of said curve;
North 01 degrees 57 minutes 27 seconds East a distance of 363.22 feet to a 1/2" iron rod found at the beginning of a curve to the right having a central angle of 20 degrees 16 minutes 20 seconds, a radius of 140.00 feet, and a chord that bears North 12 degrees 05 minutes 37 seconds East a distance of 49.28 feet;
Along said curve an arc distance of 49.53 feet to a 1/2" iron rod found at the Point of Tangency of said curve;
and North 22 degrees 13 minutes 47 seconds East a distance of 113.88 feet to the POINT OF BEGINNING and containing 10.677 acres of land, more or less.

TRACT II, PARCEL B

All lots in The Shores Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 102 of the Plat Records of Rockwall County, Texas; together with Certificate of Correction recorded in Volume 771, Page 171 of the Deed Records of Rockwall County, Texas. SAVE AND EXCEPT Lots 30 thru 36, Block J, Lots 18 thru 30, Block N and Lots 2 thru 4 and 10, Block O.

TRACT III:

TRACT III, PARCEL A:

A tract of land situated in the Nathan Butler Survey, Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follows:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed To The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, and all of that 51.046 acre tract of land described in Warranty Deed to The Shores Country Club, Inc., recorded in Volume 556, Page 54 and a part of that 19.233 acre tract of land described as Tract One and a part of that 49.323 acre tract of land described as Tract Two in the Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 133, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for a corner at the West corner of Shores Blvd., a 60-foot ROW;

THENCE: South 38 degrees 53 minutes 21 seconds East a distance of 60.00 feet to a 1/2" iron rod found for a corner at the South corner of said Shores Blvd., said point being on a curve to the right having a central angle of 00 degrees 30 minutes 04 seconds, a radius of 670.00 feet, and a chord that bears North 51 degrees 21 minutes 42 seconds East a distance of 5.86 feet;

THENCE: Along said curve and with the Southerly line of said Shores Blvd, an arc distance of 5.86 feet to a 1/2" iron rod found for a corner on the Southwest line of Masters Drive, a 120 foot

R.O.W.;

THENCE: South 33 degrees 15 minutes 00 seconds East a distance of 218.08 feet to a 1/2" iron rod found for a corner on the Northwesterly line of North Lakeshore Drive, a 100-foot ROW, said point being on an intersecting curve to the left having a central angle of 44 degrees 46 minutes 20 seconds, a radius of 650.00 feet, and a chord that bears South 29 degrees 04 minutes 03 seconds West a distance of 495.10 feet;

THENCE: Along said curve and with said Northwesterly line an arc distance of 507.93 feet to a 1/2" iron rod found for a corner at the intersection of said Northwesterly line with the South line of said 166.635 acre tract and on the approximate centerline of a County Road known as Alamo a R.O.W. established by prescription;

THENCE: South 89 degrees 02 minutes 36 seconds West a distance of 735.60 feet with said approximate centerline to a 1/2" iron rod found for a corner;

THENCE: North 02 degrees 09 minutes 30 seconds West a distance of 348.23 feet to a 1/2" iron rod found for a corner;

THENCE: South 89 degrees 31 minutes 49 seconds West along a fence line, passing at 489.80 feet a 1/2" iron rod found at a fence corner post and continuing a total distance of 503.70 feet to a 1/2" iron rod found for a corner in the approximate centerline of a North-South County Road, a R.O.W. established by prescription;

THENCE: South 01 degrees 18 minutes 26 seconds East a distance of 352.44 feet with said County Road to a 1/2" iron rod found for a corner at the intersection of said County Road with the previously mentioned approximate centerline of Alamo Road and the South line of said 166.635 acre tract;

THENCE: South 89 degrees 02 minutes 36 seconds West a distance of 1389.09 feet with said Alamo Road and said South line to a 1/2" iron rod found for a corner at the Southwest corner of said 166.635 acre tract;

THENCE: North 01 degrees 10 minutes 24 seconds West a distance of 13.71 feet to a 1/2" iron rod found at a fence corner post on the north side of said Alamo Road at the Southeast corner of said 51.046 acre tract;

THENCE: South 89 degrees 09 minutes 10 seconds West a distance of 643.51 feet along a washed out fence line on the North side of said Alamo Road to a concrete monument marked CC 32-1 on the City of Dallas Take Line for Lake Ray Hubbard;

THENCE: Along said Take Line and with the West line of said 51.046 acre tract as follows;

North 29 degrees 21 minutes 29 seconds West a distance of 607.87 feet to a concrete monument found marked CC 32-2;

North 22 degrees 43 minutes 49 seconds West a distance of 675.16 feet to a concrete monument found marked CC 32-3;

North 06 degrees 57 minutes 38 seconds West a distance of 448.54

feet to a concrete monument found marked CC-32-4;
and North 16 degrees 54 minutes 45 seconds East a distance of
1001.32 feet to a 1/2" iron rod found for a corner at the
Northwest corner of said 51.046 acre tract and the most Westerly
corner of that 49.323 acre tract of land described as Tract 3 in
Warranty Deed to The Shores Country Club, Inc., recorded in Volume
547, Page 133, Deed Records, Rockwall County, Texas;

THENCE: South 52 degrees 13 minutes 12 seconds East a distance of
862.15 feet to a 1/2" iron set for a corner;

THENCE: South 12 degrees 27 minutes 33 seconds East a distance of
175.63 feet to a 1/2" iron rod found for a corner on the Southerly
West line of The Shores Club House Phase, an addition to the City
of Rockwall recorded in Cabinet A, Page 312, Plat Records,
Rockwall County, Texas;

THENCE: Along the West and the Southerly lines of said addition,
all to 1/2" iron rods found for corners as follows:
South 00 degrees 52 minutes 31 seconds East a distance of 89.44
feet to the beginning of a curve to the left having a central
angle of 90 degrees 00 minutes 00 seconds, a radius of 83.00 feet,
and a chord that bears South 45 degrees 52 minutes 31 seconds East
a distance of 117.38 feet;
Along said curve an arc distance of 130.38 feet;
North 89 degrees 07 minutes 29 seconds East a distance of 267.00
feet to the beginning of a curve to the left having a central
angle of 55 degrees 06 minutes 33 seconds, a radius of 192.00 feet
and a chord that bears North 61 degrees 34 minutes 13 seconds East
a distance of 177.64 feet;
Along said curve an arc distance of 184.67 feet to an intersection
curve to the left having a central angle of 50 degrees 13 minutes
22 seconds, a radius of 225.00 feet, and chord that bears North 83
degrees 10 minutes 52 seconds East a distance of 190.97 feet;
Along said curve, passing at an arc distance of 100.08 feet the
Northeast corner of said 51.046 acre tract and the Northwest
corner of said 166.635 acre tract and continuing a total arc
distance of 197.22 feet to the Point of Reverse Curve of a curve
to the right having a central angle of 19 degrees 36 minutes 21
seconds, a radius of 175.00 feet, and a chord that bears North 67
degrees 52 minutes 21 seconds East a distance of 59.59 feet;
and Along said curve an arc distance of 59.88 feet;

THENCE: North 77 degrees 40 minutes 32 seconds East, passing at
106.75 feet the Southeast corner of said Addition and the
Southwest corner of Champions Drive, a 50-foot ROW, as dedicated
by Plat of The Club House Tract, an addition to the City of
Rockwall recorded in Cabinet C, Page 58, Plat Records, Rockwall
County, Texas, and continuing with the South line of said
Champions Drive a total distance of 374.90 feet to a 1/2" iron rod
found for a corner at the beginning of a curve to the left having
a central angle of 60 degrees 15 minutes 37 seconds, a radius of
207.01 feet, and a chord that bears North 47 degrees 32 minutes 37
seconds East a distance of 207.82 feet;

THENCE: Along the Southerly lines of said Champions Drive, all to
1/2" iron rods found for corners, as follows:

Along said curve an arc distance of 217.72 feet to the Point of Reverse Curve of a curve to the right having central angle of 70 degrees 00 minutes 01 seconds, a radius of 200.00 feet, and a chord that bears North 52 degrees 24 minutes 49 seconds East a distance of 229.43 feet;

Along said curve an arc distance 244.35 feet; North 87 degrees 24 minutes 49 seconds East a distance of 492.55 feet to the beginning of a curve to the left having a central angle of 60 degrees 00 minutes 00 seconds, a radius of 250.00 feet, and a chord that bears North 57 degrees 24 minutes 49 seconds East a distance of 250.00 feet;

Along said curve an arc distance of 261.80 feet; North 27 degrees 24 minutes 49 seconds East a distance of 42.10 feet to a 1/2" iron rod found at the point of reverse curve to the right having a central angle of 04 degrees 10 minutes 57 seconds, a radius of 300.62 feet and a chord that bears North 29 degrees 30 minutes 18 seconds East a distance of 21.94 feet and along said curve an arc distance of 21.94 feet to a 1/2" iron rod set for a corner;

THENCE: Leaving said Southerly line and traversing said 166.635 acre tract, all to 1/2" iron rods set for corners as follows:
 South 63 degrees 04 minutes 43 seconds East a distance of 70.22 feet;
 South 09 degrees 35 minutes 43 seconds West a distance of 756.17 feet;
 South 21 degrees 23 minutes 22 seconds East a distance of 754.41 feet;
 and South 68 degrees 59 minutes 27 seconds East a distance of 598.42 feet to the POINT OF BEGINNING and containing 152.484 acres of land, more or less.

TRACT III, PARCEL B:

Being a tract of land situated in the Nathan Butler Survey, Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follow:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found at the Southeast corner of Lot 19, Block B, The Shores Phase Three, an addition to the City of Rockwall recorded in Cabinet C, Page 99, Plat Records, Rockwall County, Texas, said point also being on the West line of a 20-foot wide alley;

THENCE: South 00 degrees 11 minutes 46 seconds East a distance of 192.20 feet to a 1/2" iron rod found for a corner at the beginning of a curve to the right having a central angle of 81 degrees 19 minutes 07 seconds, a radius of 35.00 feet, and a chord that bears South 40 degrees 27 minutes 48 seconds West a distance of 45.61 feet;

THENCE: Along said curve and with the line of said alley an arc

distance of 49.67 feet to a 1/2" iron rod found for the most Southerly Northwest corner of said Alley;

THENCE: South 08 degrees 52 minutes 39 seconds East a distance of 20.00 feet to a 1/2" iron rod found for the most Southerly Southwest corner of said Alley;

THENCE: North 81 degrees 07 minutes 21 seconds East a distance of 47.24 feet with the South line of said Alley to a 1/2" iron rod found for a corner on the Northerly East line of said 166.635 acre tract;

THENCE: South 00 degrees 11 minutes 46 seconds East a distance of 25.29 feet with said East line to a 1/2" iron rod found for a corner on the North line of North Lakeshore Drive, a 100-foot ROW;

THENCE: South 81 degrees 07 minutes 21 seconds West a distance of 266.07 feet with said North line to a 1/2" iron rod found for a corner at the beginning of a curve to the left having a central angle of 19 degrees 04 seconds 34 minutes, a radius of 650.00 feet and a chord that bears South 71 degrees 35 minutes 04 seconds West a distance of 215.41 feet;

THENCE: Along said curve and with said North line an arc distance of 216.41 feet to a 1/2" iron rod found for a corner on the Northeast line of Masters Drive, a 120-foot ROW;

THENCE: North 33 degrees 15 minutes 00 seconds West a distance of 218.08 feet with said Northeast line to a 1/2" iron rod found for a corner on the Southerly line of Shores Blvd., a 60-foot ROW, said point being on an intersecting curve to the right having a central angle of 09 degrees 00 minutes 31 seconds, a radius of 670.00 feet, and a chord that bears North 66 degrees 23 minutes 32 seconds East a distance of 105.24 feet;

THENCE: Along said curve and with said Southerly line an arc distance of 105.35 feet to a 1/2" iron rod found for a corner;

THENCE: North 70 degrees 53 minutes 48 seconds East a distance of 104.08 feet to a 1/2" iron rod found for a corner at the beginning of a curve to the left having a central angle of 39 degrees 26 minutes 20 seconds, a radius of 378.17 feet, and chord that bears North 51 degrees 10 minutes 38 seconds East a distance of 255.20 feet;

THENCE: Along said curve and continuing with the Southeast line of said Shores Blvd. an arc distance of 260.31 feet to a 1/2" iron rod found for a corner at the Southwest corner of the previously mentioned Lot 19;

THENCE: South 75 degrees 25 minutes 30 seconds East a distance of 178.05 feet to the POINT OF BEGINNING and containing 3.099 acres of land, more or less.

TRACT III, PARCEL C:

Being a tract of land situated in the Nathan Butler Survey,

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G.F. No. 9508259MC
Form No. 020

Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follows:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas, and being a part of that 19.233 acre tract of land described as Tract One in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 133, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for a corner on the West line of Shores Blvd, a 60-foot ROW, at the Southeast corner of Lot 27, Block C, of The Shores Phase Three, an addition to the City of Rockwall recorded in Cabinet C, Page 99, Plat Records, Rockwall County, Texas, said point being on an intersecting curve to the right having a central angle of 63 degrees 48 minutes 50 seconds, a radius of 318.17 and a chord that bears South 38 degrees 59 minutes 23 seconds West a distance of 336.33 feet;

THENCE: Along said curve and with said West and the Northerly line an arc distance of 354.37 feet to a 1/2" iron rod set for a corner;

THENCE: South 70 degrees 53 minutes 48 seconds West a distance of 104.08 feet to a 1/2" iron rod set for a corner;

THENCE: Leaving said West line and traversing said 166.635 acre tract and said 19.233 acre tract, all to 1/2" iron rods set for corners as follows:

North 31 degrees 50 minutes 05 seconds East a distance of 161.69 feet;

North 81 degrees 56 minutes 12 seconds West a distance of 454.83 feet;

North 28 degrees 54 minutes 30 seconds East a distance of 114.68 feet;

North 14 degrees 08 minutes 32 seconds West a distance of 91.45 feet;

North 21 degrees 03 minutes 16 seconds West a distance of 438.30 feet;

North 02 degrees 35 minutes 55 seconds West a distance of 735.80 feet;

North 10 degrees 24 minutes 53 seconds East a distance of 94.77 feet and North 17 degrees 20 minutes 00 seconds West a distance of 90.36 feet to a 1/2" iron rod set for a corner on the South line of Champions Drive, a 50 foot R.O.W., said point being on an intersecting curve to the right having a central angle of 14 degrees 13 minutes 23 seconds, a radius of 300.62 feet and a chord that bears South 89 degrees 41 minutes 52 seconds East a distance of 74.43 feet;

THENCE: Along said curve and said South line an arc distance of 74.63 feet to a 1/2" iron rod set at the point of reverse curve to the left having a central angle of 26 degrees 28 minutes 47 seconds, a radius of 584.81 feet and a chord that bears North 84 degrees 10 minutes 26 seconds East a distance of 267.88 feet;

THENCE: Along said curve and said south line an arc distance of 270.27 feet to a 1/2" iron rod set for a corner;

THENCE: Leaving said South line and traversing said 165.635 acre tract and said 19.233 acre tract, all to 1/2" iron rods set for corners, as follows:

South 52 degrees 50 minutes 37 seconds East a distance of 24.20 feet;

South 02 degrees 52 minutes 30 seconds West a distance of 63.57 feet;

South 22 degrees 25 minutes 01 seconds East a distance of 624.65 feet;

South 20 degrees 42 minutes 14 seconds East a distance of 739.29 feet;

South 64 degrees 25 minutes 47 seconds East a distance of 113.41 feet to a 1/2" iron rod found at the Southwest corner of said Lot 27;

and South 67 degrees 49 minutes 50 seconds East along the south line of said Lot 27 a distance of 130.00 feet to the POINT OF BEGINNING and containing 21.706 acres of land, more or less.

TRACT III, PARCEL D:

ALL Lots in THE SHORES PHASE THREE, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 99 of the Plat Records of Rockwall County, Texas. SAVE AND EXCEPT Lot 3, Block A, Lots 8, 9, 15, 17, 18 and 19, Block B and Lots 1, 4, 5 thru 7, 10, 13, 14, 16, 17, 18, 19, 20 thru 27, Block C of The Shores Phase Three, an Addition to the City of Rockwall, Rockwall County, Texas.

TRACT III, PARCEL E:

Being a tract of land situated in the Nathan Butler Survey, Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follows:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the South line of North Lakeshore Drive, a 100-foot ROW with the Northerly East line of said 166.635 acre tract;

THENCE: South 00 degrees 11 minutes 46 seconds East a distance of 129.42 feet to a 1/2" iron rod found for a corner at a fence corner post;

THENCE: South 61 degrees 25 minutes 55 seconds East a distance of 141.06 feet along an old fence line to a fence corner post for a corner at the Northeast base of which is a 1/2" iron rod set;

THENCE: South 89 degrees 31 minutes 24 seconds East a distance of 229.10 feet along a fence line to a 1/2" iron rod found for a corner on the South side of a fence corner post;

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THENCE: South 00 degrees 49 minutes 23 seconds East a distance of 279.38 feet along a fence line to a 1/2" iron rod found for a corner at a fence corner post;

THENCE: South 00 degrees 19 minutes 31 seconds East along a fence line passing a fence corner post at a distance of 768.4 feet and continuing a total distance of 790.63 feet to a 1/2" iron rod set for a corner in the approximate centerline of a County Road known as Alamo, a R.O.W. established by prescription; said point being the Southeast corner of said 166.635 acre tract;

THENCE: Along the approximate center of said Road and the South lines of said 166.635 acre tract, all to 1/2" iron rods set for corners as follows:
North 64 degrees 24 minutes 42 seconds West a distance of 383.27 feet;
North 56 degrees 56 minutes 29 seconds West a distance of 465.30 feet;
and North 43 degrees 32 minutes 27 seconds West a distance of 88.95 feet to a 1/2" iron rod set for a corner at the intersection of said Road and a branch, an unnamed tributary to an unnamed tributary of Lake Ray Hubbard;

THENCE: Up said branch in a Northeasterly direction as follows:
North 44 degrees 51 minutes 38 seconds East a distance of 145.74 feet to a 1/2" iron rod found for a corner;
and North 12 degrees 46 minutes 04 seconds East a distance of 188.42 feet to a 1/2" iron rod found for a corner on the Eastward extension of the approximate centerline of the previously mentioned Alamo Road;

THENCE: South 89 degrees 02 minutes 36 seconds West a distance of 416.96 feet to a 1/2" iron rod found for a corner at the intersection of said extended centerline with the Southeasterly line of the previously mentioned North Lakeshore Drive, said point being on an intersecting curve to the right having a central angle of 73 degrees 02 minutes 30 seconds, a radius of 550.00 feet and a chord that bears North 44 degrees 06 minutes 36 seconds East a distance of 654.63 feet;

THENCE: Along said curve and with said Southerly line an arc distance of 701.15 feet to a 1/2" iron rod found for a corner;

THENCE: North 81 degrees 07 minutes 21 seconds East a distance of 250.80 feet continuing with the Southerly line of North Lakeshore Drive to the Point of Beginning and containing 18.306 acres of land, more or less.

TRACT IV:

BEING a tract of land situated in the Thomas Dean Survey, Abstract No. 69, and the Samuel King Survey, Abstract No. 131, Rockwall County, Texas, and being all of that 121.267 acre tract of land described as Tract IV conveyed to The Shores Country Club, Inc., as recorded in Volume 547, Page 101, Deed Records, Rockwall

County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the Southeast corner of said 121.267 acre tract and on the Northerly line of Lot 5, Block M, of the Shores, Phase One, an Addition to the City of Rockwall, recorded in Slide A, Page 299, Plat Records, Rockwall County, Texas;

THENCE: North 90 degrees 00 minutes 00 seconds West a distance of 497.52 feet along the North line of Block M to a 1/2" iron rod found at the point of curvature of a circular curve to the left having a central angle of 00 degrees 53 minutes 03 seconds, a radius of 697.55 feet, and a chord that bears South 89 degrees 33 minutes 29 seconds West a distance of 10.76 feet;

THENCE: Along said curve an arc distance of 10.76 feet to a 1/2" iron rod found for a corner on the East line of Hidden Valley, a 50 foot wide right-of-way;

THENCE: North 00 degrees 00 minutes 00 seconds East 20.00 feet along said East line to a 1/2" iron rod found for a corner at the Northeast corner of Hidden Valley, said iron rod being on a circular curve to the left having a central angle of 59 degrees 37 minutes 31 seconds, a radius of 717.55 feet, and a chord that bears South 59 degrees 19 minutes 40 seconds West a distance of 713.48 feet;

THENCE: Along the North end of Hidden Valley and then the North and Northwest lines of a 20 foot wide alley and the Northwest lines of said Addition as follows:
Along said curve an arc distance of 746.72 feet to a 1/2" iron rod found for a corner;
South 29 degrees 30 minutes 56 seconds West a distance of 531.27 feet to a 1/2" iron rod found for a corner at the point of curvature of a circular curve to the right having a central angle of 36 degrees 07 minutes 23 seconds, a radius of 558.16 feet, and a chord that bears South 47 degrees 34 minutes 38 seconds West a distance of 346.10 feet;
Along said curve an arc distance of 351.90 feet to a 1/2" iron rod found for a corner on the Northeast line of Shores Blvd., a 60 foot wide right-of-way;

THENCE: North 24 degrees 21 minutes 41 seconds West a distance of 365.00 feet along said Northeast line to a 1/2" iron rod found for a corner at the North corner of Shores Blvd.;

THENCE: Along the Northerly end of Shores Blvd. and then the northerly lines of a 20 foot wide alley and the northerly lines of said Addition as follows:
South 65 degrees 38 minutes 19 seconds West a distance of 75.00 feet to a 1/2" iron rod found for a corner at the point of curvature of a circular curve to the left having a central angle of 30 degrees 57 minutes 14 seconds, a radius of 555.00 feet, and a chord that bears South 50 degrees 09 minutes 42 seconds West a distance of 296.20 feet;
Along said curve an arc distance of 299.84 feet to a 1/2" iron rod found for a corner at the point of reverse curvature of a circular

Exhibit "A" - Page 12

curve to the right having a central angle of 87 degrees 26 minutes 54 seconds, a radius of 50.00 feet, and a chord that bears South 78 degrees 24 minutes 32 seconds West a distance of 69.12 feet; Along said curve an arc distance of 76.31 feet to a 1/2" iron rod found for a corner at the point of reverse curvature of a circular curve to the left having a central angle of 20 degrees 47 minutes 27 seconds, a radius of 889.89 feet, and a chord that bears North 68 degrees 15 minutes 44 seconds West a distance of 321.14 feet; Along said curve an arc distance of 322.91 feet to a 1/2" iron rod found for a corner on the most Southerly North line of said 121.267 acre tract and on the South line of that 31.973 acre tract of land conveyed to The Shores Country Club, Inc., as recorded in Volume 556, Page 54, of the Deed Records, Rockwall County, Texas;

THENCE: North 89 degrees 10 minutes 19 seconds East a distance of 314.12 feet along said line to a 1/2" iron rod found for a corner at the Southeast corner of said 31.973 acre tract and a corner of said 121.267 acre tract;

THENCE: North 07 degrees 14 minutes 19 seconds West along the East line of said 31.973 acre tract and the most Southerly West line of said 121.267 acre tract 1748.98 feet to a 1/2" iron rod found for the Northeast corner of said 31.973 acre tract and the most Westerly Northwest corner of said 121.267 acre tract and on the South line of that 67.296 acre tract conveyed to Coper Hill Corp., as recorded in Volume 878, Page 248 of the Deed Records of Rockwall County, Texas;

THENCE: North 89 degrees 31 minutes 49 seconds East a distance of 1044.04 feet along the South line of said 67.296 acre tract and the most Westerly North line of said 121.267 acre tract to a 1/2" iron rod found for the Southeast corner of said 67.296 acre tract and an "ell" corner of said 121.267 acre tract;

THENCE: North 00 degrees 25 minutes 47 seconds East along the East line of said 67.296 acre tract and the East line of the David Hodgdon tract described in deed recorded in Volume 132, Page 605, Deed Records, Rockwall County, Texas, and along the most Northerly West line of said 121.267 acre tract, passing at 1688.04 feet a 1/2" iron rod found at a fence corner post and continuing a total distance of 1703.12 feet to a 1/2" iron rod set in the center of Dalton Road at the Northeast corner of said Hodgdon tract and the Northwest corner of said 121.267 acre tract;

THENCE: South 89 degrees 35 minutes 31 minutes East with Dalton Road, passing at 334.54 feet and 40.00 feet South of a 1/2" iron rod found at the Southwest corner of Lot 1, Block C, of Heritage Heights Addition, an addition to the County of Rockwall, recorded in Slide A, Page 112, Plat Records, Rockwall County, Texas, and passing at 1311.21 feet and 40.00 feet South of a 1/2" iron rod found at the Southeast corner of Lot 4, Block A, of said Heritage Heights Addition and continuing a total distance of 1312.36 feet to a 1/2" iron rod set at the Northeast corner of said 121.267 acre tract;

THENCE: South 0 degrees 11 minutes 29 seconds West passing at 21.28 feet a 1/2" iron rod found at a fence corner post and

Exhibit "A" - Page 13

continuing a total distance of 1437.24 feet along the East line of said 121.267 acre tract to a 1/2" iron rod found for a corner;

THENCE: South 00 degrees 18 minutes 56 seconds West a distance of 1181.67 feet continuing along the East line of said 121.267 acre tract to the POINT OF BEGINNING and containing 121.267 acres of land, more or less.

TRACT V:

BEING a tract of land situated in the Thomas Dean Survey, Abstract No. 69, Rockwall County, Texas, and being all of that 31.973 acre tract of land known as Tract I conveyed to The Shores Country Club, Inc., by Deed recorded in Volume 556, Page 54, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for the Southeast corner of said Tract I and the most Southerly "ell" corner of that 121.267 acre tract of land described as Tract IV conveyed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas;

THENCE: South 89 degrees 10 minutes 19 seconds West a distance of 314.12 feet with the South line of said Tract I and the most Westerly line of said Tract IV to a 1/2" iron rod found for a corner on the North line of a 20 foot alley and the North line of The Shores, Phase One, an addition to the City of Rockwall recorded in Slide A, Page 299, Plat Records, Rockwall County, Texas, said iron rod being on a curve to the left having a central angle of 12 degrees 10 minutes 13 seconds, a radius of 889.89 feet, and a chord that bears North 84 degrees 44 minutes 33 seconds West a distance of 188.67 feet;

THENCE: Along the North lines of said Alley and said Addition as follows:

Along said curve an arc distance of 189.02 feet to a 1/2" iron rod set for a corner;

South 89 degrees 10 minutes 19 seconds West a distance of 107.69 feet to a 1/2" iron rod set for a corner;

and South 00 degrees 49 minutes 41 seconds East a distance of 20.00 feet to a cross cut in concrete for a corner at the Northeast of Lot 34, Block A, of said Addition;

THENCE: South 89 degrees 10 minutes 19 seconds West a distance of 288.72 feet continuing with the North line of said Addition to a 1/2" iron rod set for the Northwest corner of said Addition and the Southwest corner of said Tract I, said iron rod being on the City of Dallas Take Line for Lake Ray Hubbard;

THENCE: Along said Take Line and the West lines of said Tract I as follows:

North 0 degrees 14 minutes 23 seconds East, passing at 15.71 feet a concrete monument found marked CC56-1 and continuing a total distance of 59.92 feet to a concrete monument marked CC56-2 found for a corner;

Exhibit "A" - Page 14

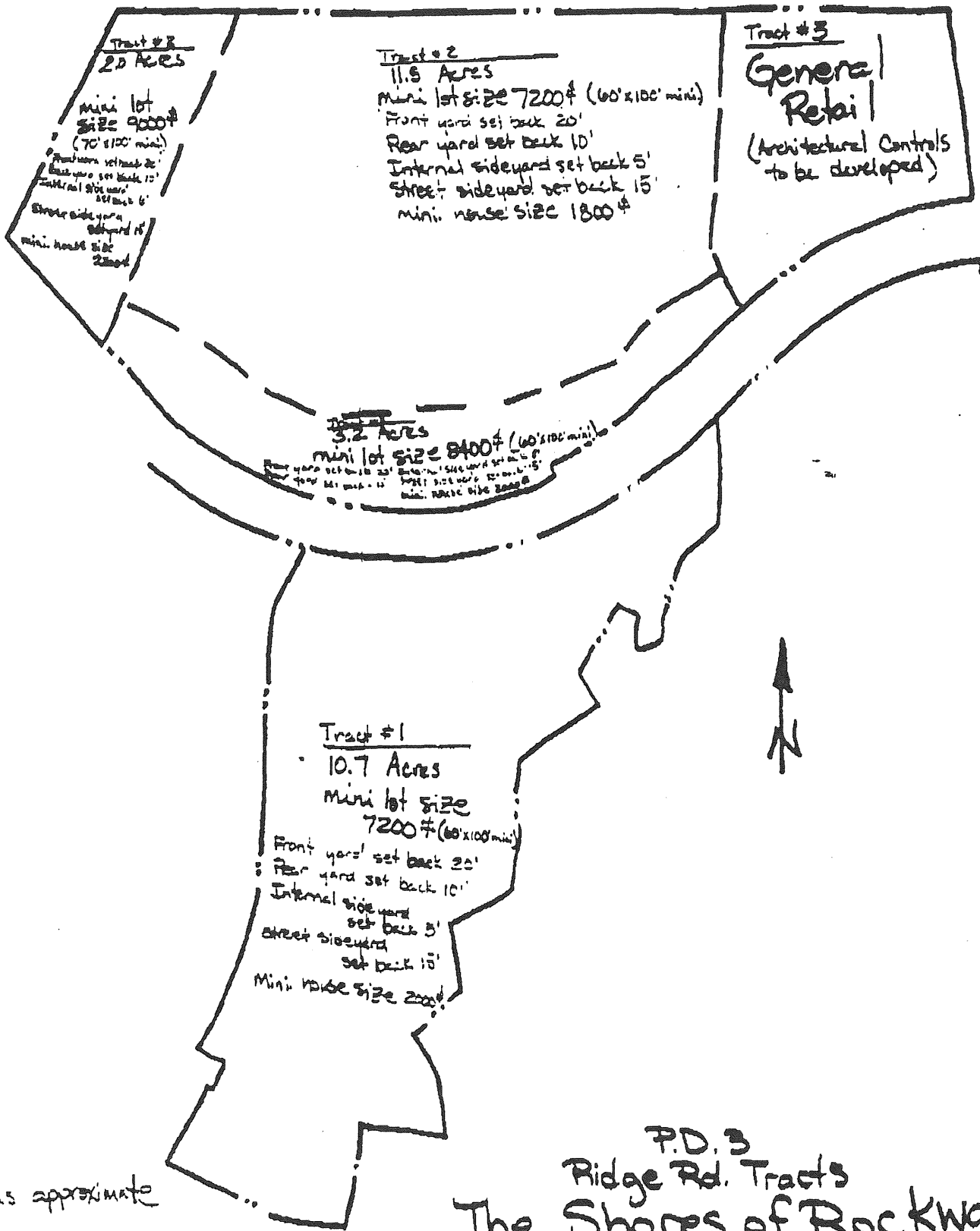
North 13 degrees 25 minutes 24 seconds West a distance of 275.70 feet to a concrete monument marked CC56-3 found for a corner; North 02 degrees 09 minutes 47 seconds East a distance of 330.23 feet to a concrete monument marked CC56-4 found for a corner; North 9 degrees 57 minutes 50 seconds East a distance of 354.66 feet to a concrete monument marked CC56-5 found for a corner; and North 00 degrees 23 minutes 13 seconds East a distance of 738.36 feet to a concrete monument marked CC56-6 and CC58-1 found at a fence corner for the northwest corner of said Tract I;

THENCE: North 89 degrees 48 minutes 06 seconds East a distance of 662.61 feet with the North line of said Tract I to a 1/2" iron rod found for the Northeast corner of said tract and the most Westerly Northwest corner of the previously mentioned 121.267 acre Tract IV;

THENCE: South 07 degrees 14 minutes 19 seconds East a distance of 1748.98 feet with the East line of said Tract I and the West line of said Tract IV to the POINT OF BEGINNING and containing 31.973 acres of land, more or less.

EXHIBIT "B"

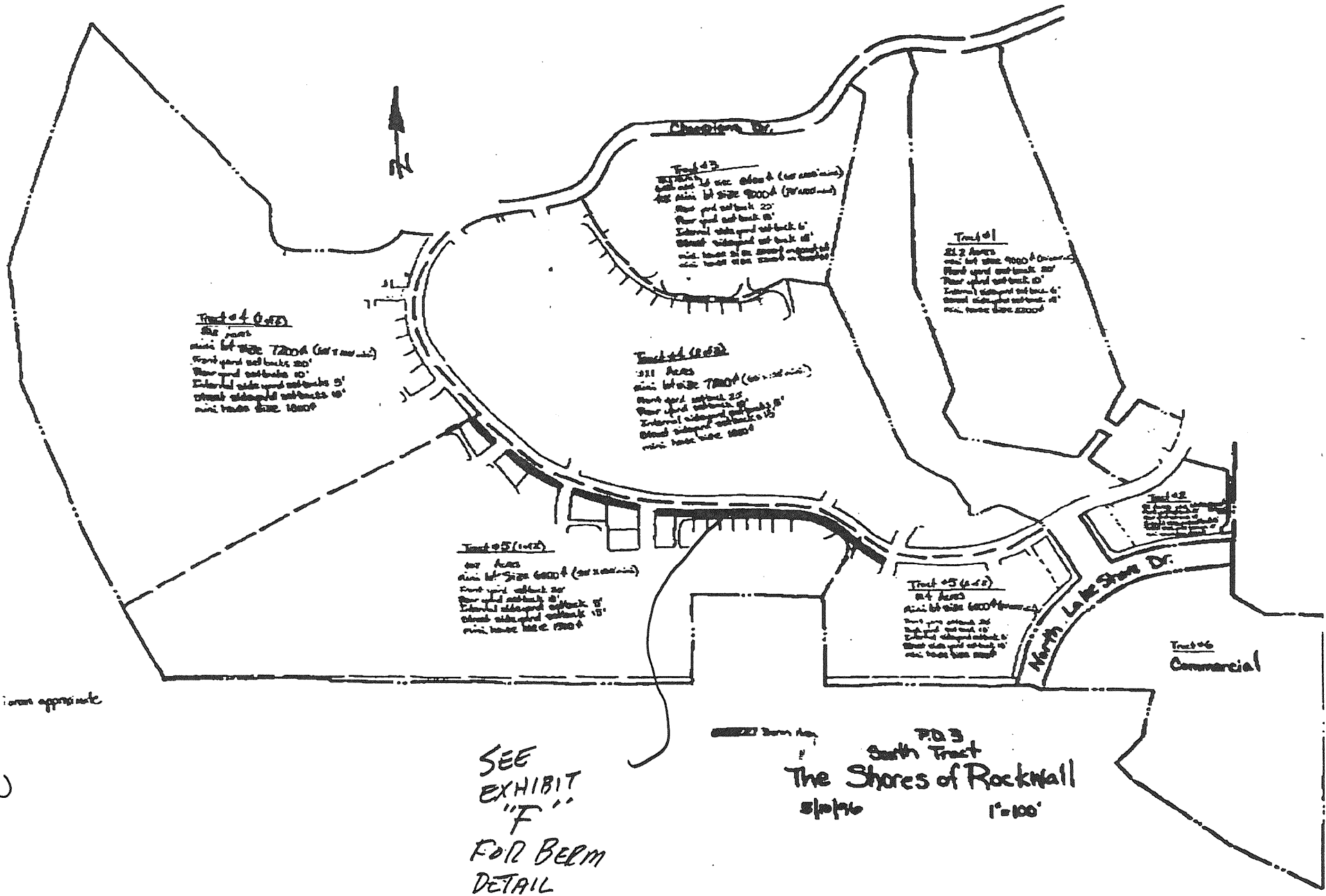
Tract Maps Showing Acreage, Locations of Tracts, Etc. (4 Maps)



All areas approximate

P.D. 3
Ridge Rd. Tracts
The Shores of Rockwall
1" = 100' 5/10/96

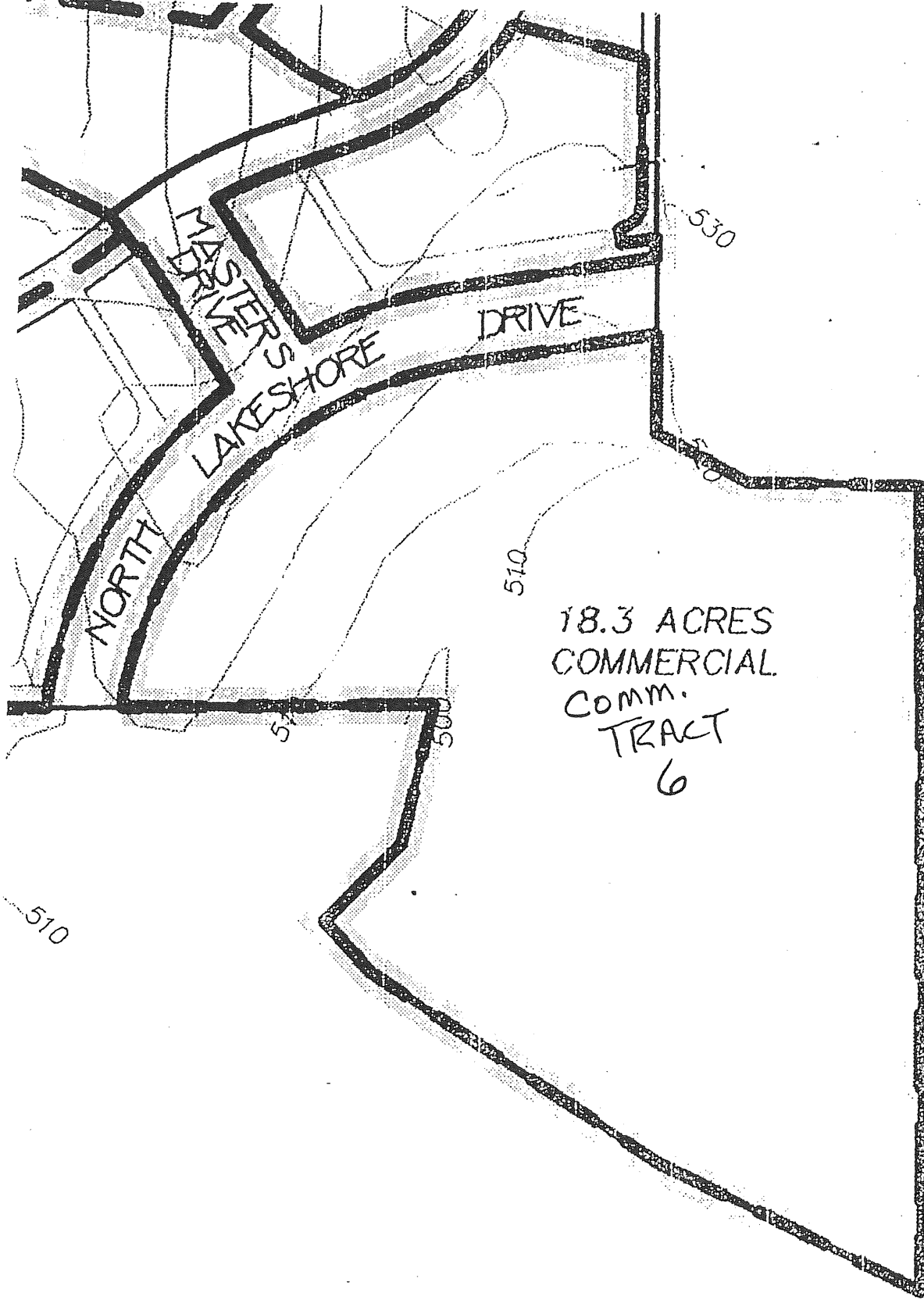
Pg 1 of 4



Area approximate

FD 2 OF 4

24



18.3 ACRES
COMMERCIAL
COMM.
TRACT
6

EXHIBIT "C"

Revised Area Requirements (17 pages)

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #1(10.7 +/- Acres)
Ridge Road Tract

| | |
|---|----------------------------|
| Minimum Lot Area | 7,200 Sq. ft. |
| Average Minimum Lot Area for Tract 1 | 8,500 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 2,000 Sq. ft. |
| Minimum Lot Frontage | 60 Feet on a Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #2 (3.2+/- Acres)
Ridge Road Tract

| | |
|---|----------------------------|
| Minimum Lot Area | 8,400 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 2,000 Sq. ft. |
| Minimum Lot Frontage | 60 Feet on a Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #2 (11.8 +/- Acres)
Ridge Road Tract

| | |
|---|----------------------------|
| Minimum Lot Area | 7,200 Sq. ft. |
| Average Minimum Lot Size for Tract 2 | 8,500 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,800 Sq. ft. |
| Minimum Lot Frontage | 60 Feet on A Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

Pg 3 of 17

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #2 (2.0 +/- Acres)
Ridge Road Tract

| | |
|---|---------------|
| Minimum Lot Area | 9,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 2,200 Sq. ft. |
| Minimum Lot Frontage | 70 Feet |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 6 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #4 (1 of 2) (50.2 +/- Acres)
South Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 7,200 Sq. ft. |
| Average Minimum Lot Area for Tract 4 | 8,500 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,800 Sq. ft. |
| Minimum Lot Frontage | 60 ft on a Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #4 (2 of 2) (37.1 +/- Acres)
South Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 7,200 Sq. ft. |
| Average Minimum Lot Area for Tract 4 | 8,500 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,800 Sq. ft. |
| Minimum Lot Frontage | 60 Ft on a Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

Pg 6 of 17

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #5 (1 of 2) (40.7 +/- Acres)
South Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 6,000 Sq. ft. |
| Average Minimum Lot Area for Tract 5 | 7,200 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,500 Sq. ft. |
| Minimum Lot Frontage | 50 ft on a Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 50% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #5 (2 of 2) (10.4 +/- Acres)
South Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 6,000 Sq. ft. |
| Average Minimum Lot Area for Tract 5 | 7,200 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,500 Sq. ft. |
| Minimum Lot Frontage | 50 ft on a Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 50% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #3 (1 of 2) (4.4 +/- Acres)

Tract #3 (2 of 2) 8.0 +/- Acres)

North Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 8,400 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 2,000 Sq. ft. |
| Minimum Lot Frontage | 60 ft on a Public Street |
| Minimum Lot Depth | 100 Ft. |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #4 (1 of 2) (4.6 +/- Acres)
Tract #4(2 of 2) (7.7 +/- Acres)
North Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 9,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 2,200 Sq. ft. |
| Minimum Lot Frontage | 70 ft on a Public Street |
| Minimum Lot Depth | 100 ft. |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard* (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #5 (15.9 +/- Acres)
North Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 7,200 Sq. ft. |
| Average Minimum Lot Area for Tract 5 | 10,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,600 Sq. ft. |
| Minimum Lot Frontage | 60 ft on a Public Street |
| Minimum Lot Depth | 100 Ft. |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #6 (39.2 +/- Acres)
North Tract

| | |
|--|--------------------------|
| Minimum Lot Area | 7,200 Sq. ft. |
| Average Min. Lot Area for Tracts 6 &7 (2 Tracts) | 8,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,800 Sq. ft. |
| Minimum Lot Frontage | 60 ft on a Public Street |
| Minimum Lot Depth | 100 Feet |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #7 (1 of 2) (15.8 +/- Acres)
Tract #7 (2 of 2) (19.2 +/- Acres)
North Tract

| | |
|---|----------------------------|
| Minimum Lot Area | 7,200 Sq. ft. |
| Average Min. Lot Area for Tract 6 and 7(2 Tracts) | 8,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,800 Sq. ft. |
| Minimum Lot Frontage | 60 Feet on A Public Street |
| Minimum Lot Depth | 100 ft |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #8 (1 of 2) (8.3 +/- Acres)
North Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 6,000 Sq. ft. |
| Average Minimum Lot Area for Tract 8 | 7,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,500 Sq. ft. |
| Minimum Lot Frontage | 50 ft on a Public Street |
| Minimum Lot Depth | 100 Ft. |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 50% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #8 (2 of 2) (30.6 +/- Acres)
North Tract

| | |
|---|--------------------------|
| Minimum Lot Area | 6,000 Sq. ft. |
| Average Minimum Lot Area for Tract 8 | 7,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 1,500 Sq. ft. |
| Minimum Lot Frontage | 50 ft on a Public Street |
| Minimum Lot Depth | 100 Ft. |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 50% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____

EXHIBIT "C"
AREA REQUIREMENTS
PD-3 (The Shores)

Tract # 1 (21.2 +/- Acres)
Tract # 2 (3.1 +/- Acres)
SOUTH TRACT

| | |
|---|-------------------------|
| Minimum Lot Area | 9,000 Sq. ft. |
| Average Minimum Lot Area for Tracts 1 & 2 | 10,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 2,200 Sq. ft. - |
| Minimum Lot Frontage | 70 ft on a Pubic Street |
| Minimum Lot Depth | 100 Ft. |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 6 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

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ORDINANCE NO. _____
EXHIBIT "C"
AREA REQUIREMENTS
PD-3 (The Shores)

Tract # 3 (13.1 +/- Acres)
SOUTH TRACT

| | |
|---|--|
| Minimum Lot Area 60% of Tract 3 | 8,400 Sq. ft. |
| Minimum Lot Area 40% of Tract 3 | 9,000 Sq. ft. |
| Average Minimum Lot Area for Tract 3 | 10,000 Sq. ft. |
| Single Family Dwelling Unit Per Lot | 1 |
| Minimum Floor Area per Dwelling Unit | 2,000 Sq. ft. (8,400 Sq. ft) 2,200 Sq. ft. (9,000 Sq.ft) |
| Minimum Lot Frontage (8400) (9000) | 60 ft on a Public Street 70 ft on a Pubic Street |
| Minimum Lot Depth | 100 Ft. |
| Minimum Front Set Back | 20 ft. |
| Minimum Rear Set Back | 10 ft. |
| Minimum Side Yard (internal lot) | 5 ft. |
| Minimum Side Yard (adjacent to a side street) | 15 ft. |
| Minimum Building Separation | 10 ft. |
| Maximum Building Coverage | 45% |
| Maximum Building Height | 35 ft. |
| Minimum Off-Street Parking (excluding garage) | 2 sps./ unit |
| Minimum Garage Space | 2 vehicles |

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

Exhibit "G"
Uses For General Retail Tract 3

Permitted Uses:

1. Any retail businesses, personal services, professional service, or business service conducted within a completely enclosed building, except the following: lumberyards or contractor yards, farm equipment or other heavy equipment sales or service, farm products warehousing and storage or stockyards, general warehousing or storage.
2. Banks, including drive through facilities.
3. Planned shopping centers of less than 10 acres and neighborhood convenience centers.
4. Office buildings.
5. Paved parking lots, not including commercial parking lots.
6. Other uses similar to the above.
7. Telephons, telegraph, television, radio or similar media stations, centers, studios, but not including public microwave, radio, and television towers.
8. Institutional uses.
9. Municipally owned or controlled facilities, utilities, and uses.
10. Restaurants, including accessory outdoor seating, without drive-in or drive-through facilities.
11. Retail outlets where gasoline products are sold as an accessory use limited to 2 dispensers which can service no more than 4 vehicles at one time.
12. An accessory use customarily related to a principal use authorized in this district.

13. Temporary indoor and outdoor fund raising events sponsored by nonprofit organizations with permit and approval of the Building Official.
14. Temporary on-site construction offices limited to the period of construction upon approval of the Building Official.

Conditional Uses: (Require Conditional Use Permits)

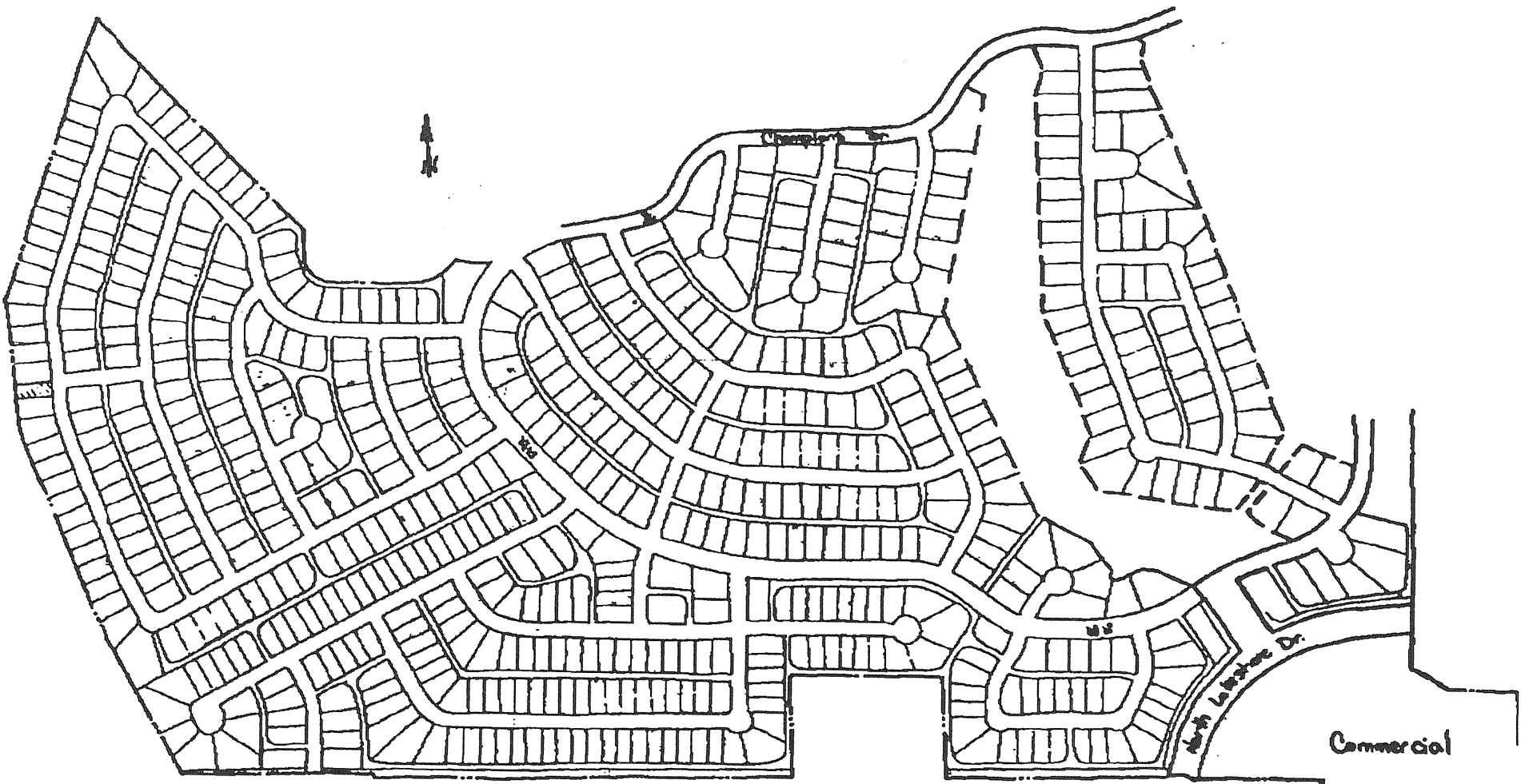
1. A mobile home on an unsubdivided tract of five acres or more used as a construction office.
2. Automotive repair, as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building.
3. Funeral Homes.
4. Non-open bay car wash.
5. Facilities for railroads or those utilities holding a franchise under the City of Rockwall not allowed as permitted uses.
6. Semi-public uses.
7. Commercial amusements, as defined herein, including amusement parks, circus or carnival grounds, recreation developments, or tents for other amusements, in accordance with all other applicable ordinances, and more than 300 feet from residentially zoned land unless such setback is reduced or waived by the Planning and Zoning Commission and City Council. Temporary uses not exceeding 14 days meeting all other requirements of the City may be permitted by the Building Official. (Ord. 88-32)
8. Drive-through window as an accessory to a restaurant.
9. Private club as an accessory to a general restaurant.
10. New buildings with over 5,000 square feet of floor area, or additions of over 40% of existing floor area or over 5,000 square feet with combustible structural construction materials.
11. Buildings with less than 90% masonry exterior walls.
12. Any structure over 36 feet in height.
13. Veterinary clinics for treatment of small animals, with no outdoor pens or runs. (Ord. 90-5)

14. Temporary concrete batching plant limited to the period of construction, upon approval of location and operation by the Building Official.

Pg 3 of 3

EXHIBIT "D"

Street Layouts (3 Maps)



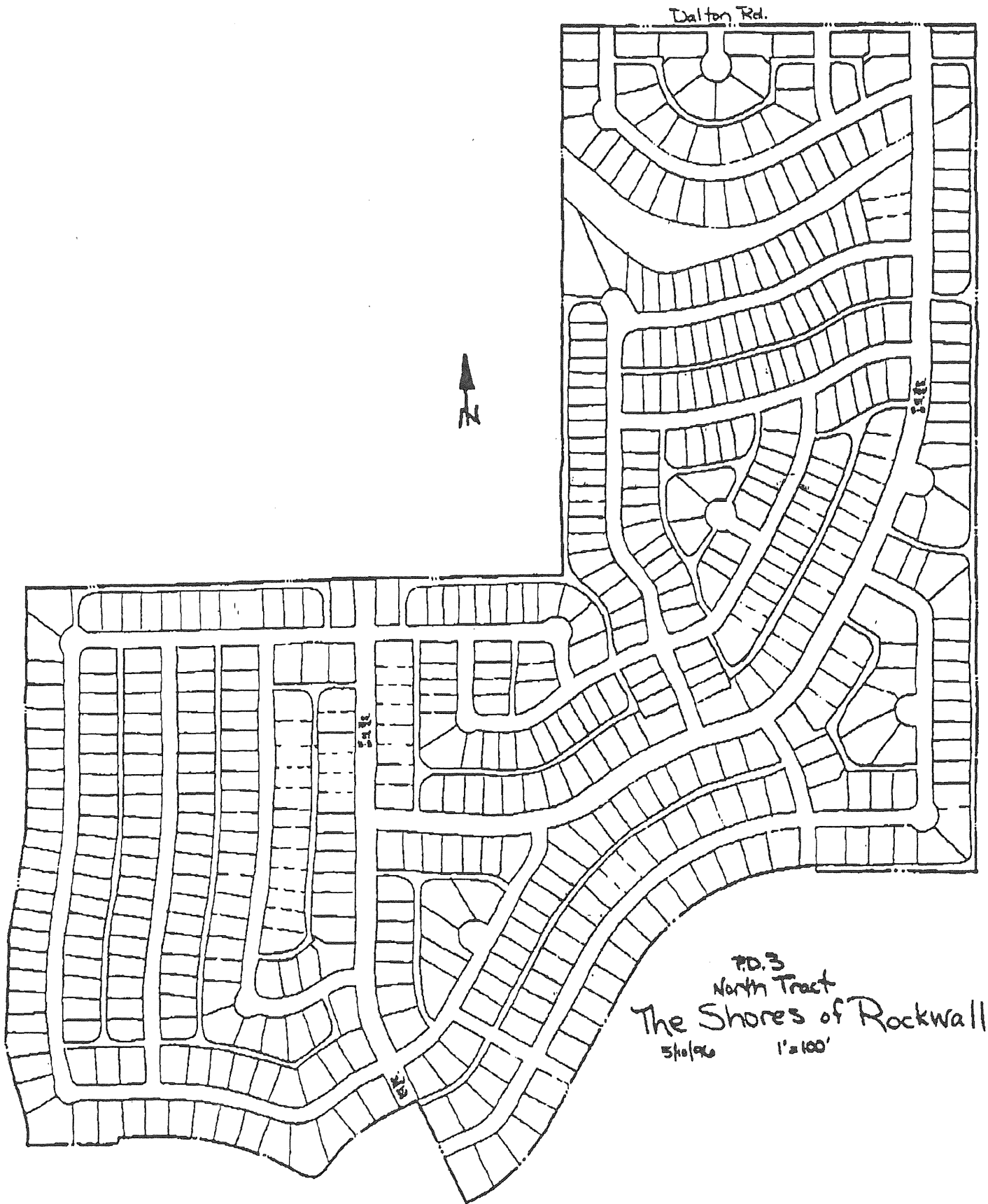
South Tract
 The Shores of Rockwall
 scale 1/8" = 100'

Commercial

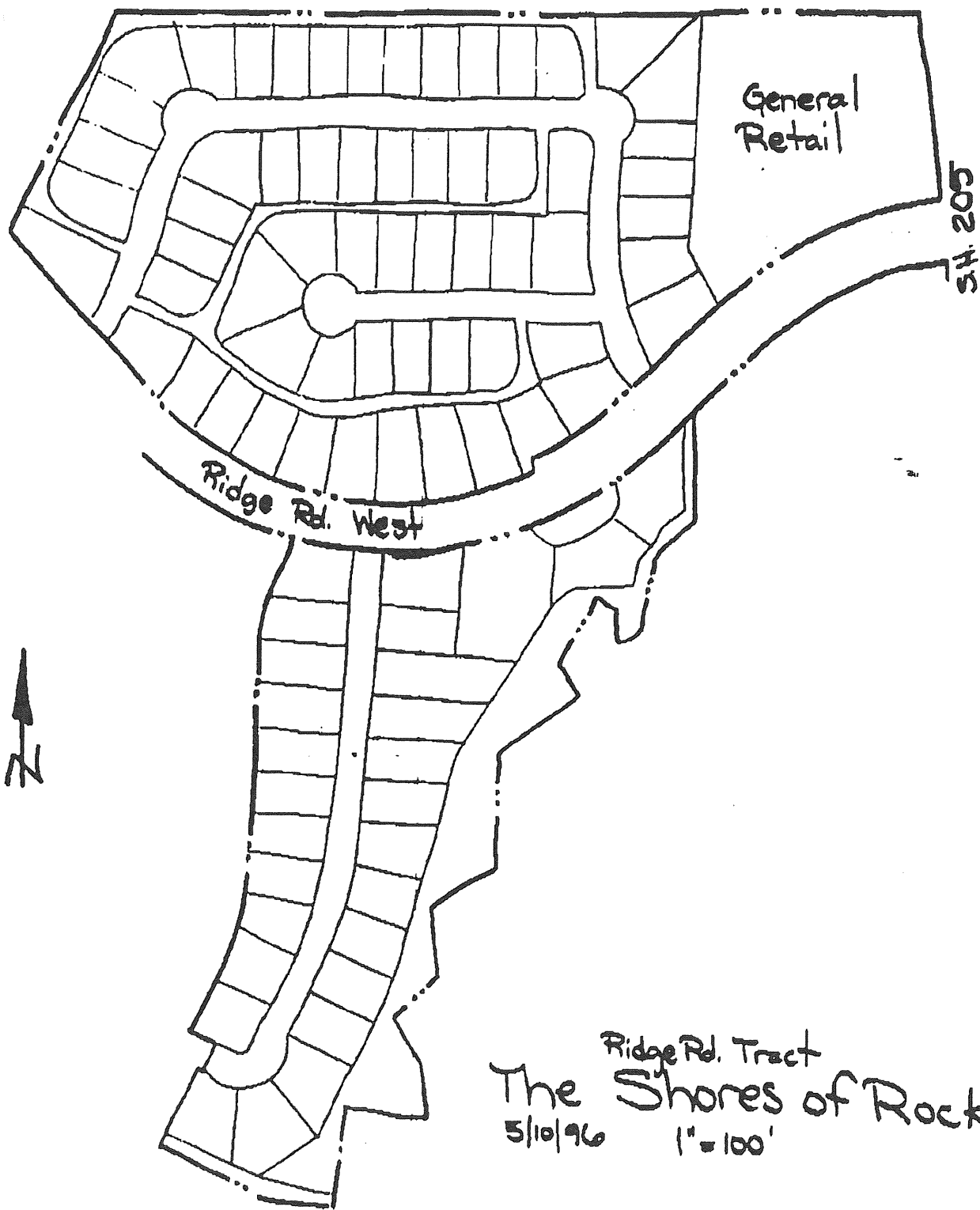
North Lakeside Dr.

Fig 1 of 3

29



PD.3
 North Tract
 The Shores of Rockwall
 5/10/96 1"=100'



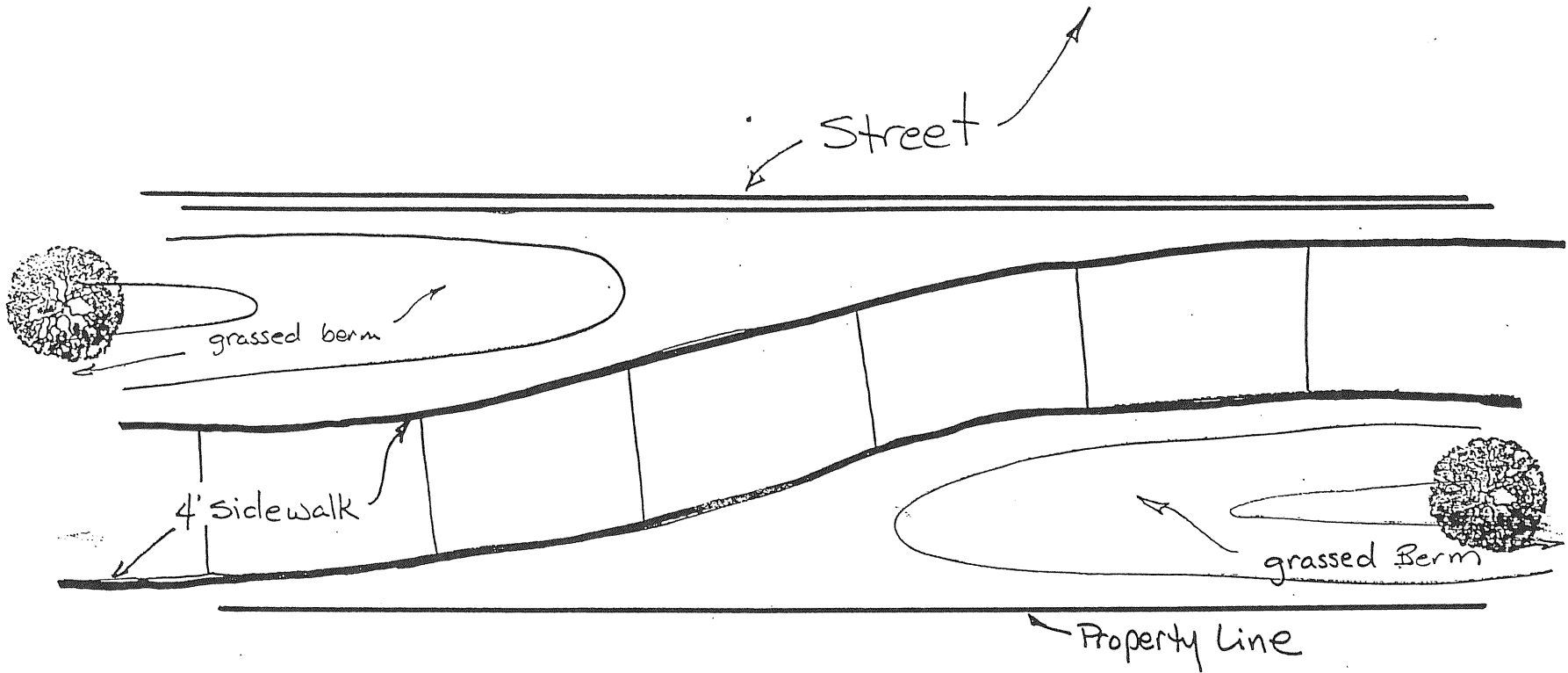
Ridge Rd. Tract
 The Shores of Rockwall
 5/10/96 1" = 100'

EXHIBIT "E"

Village Entry Features

EXHIBIT "F"

Berm Detail For Southern Section Tract 5



Bermed Parkway
The Shores of Rockwall

Exhibit "G"
Uses For General Retail Tract 3

Permitted Uses:

1. Any retail businesses, personal services, professional service, or business service conducted within a completely enclosed building, except the following: lumberyards or contractor yards, farm equipment or other heavy equipment sales or service, farm products warehousing and storage or stockyards, general warehousing or storage.
2. Banks, including drive through facilities.
3. Planned shopping centers of less than 10 acres and neighborhood convenience centers.
4. Office buildings.
5. Paved parking lots, not including commercial parking lots.
6. Other uses similar to the above.
7. Telephone, telegraph, television, radio or similar media stations, centers, studios, but not including public microwave, radio, and television towers.
8. Institutional uses.
9. Municipally owned or controlled facilities, utilities, and uses.
10. Restaurants, including accessory outdoor seating, without drive-in or drive-through facilities.
11. Retail outlets where gasoline products are sold as an accessory use limited to 2 dispensers which can service no more than 4 vehicles at one time.
12. An accessory use customarily related to a principal use authorized in this district.

13. Temporary indoor and outdoor fund raising events sponsored by nonprofit organizations with permit and approval of the Building Official.
14. Temporary on-site construction offices limited to the period of construction upon approval of the Building Official.

Conditional Uses: (Require Conditional Use Permits)

1. A mobile home on an unsubdivided tract of five acres or more used as a construction office.
2. Automotive repair, as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building.
3. Funeral Homes.
4. Non-open bay car wash.
5. Facilities for railroads or those utilities holding a franchise under the City of Rockwall not allowed as permitted uses.
6. Semi-public uses.
7. Commercial amusements, as defined herein, including amusement parks, circus or carnival grounds, recreation developments, or tents for other amusements, in accordance with all other applicable ordinances, and more than 300 feet from residentially zoned land unless such setback is reduced or waived by the Planning and Zoning Commission and City Council. Temporary uses not exceeding 14 days meeting all other requirements of the City may be permitted by the Building Official. (Ord. 88-32)
8. Drive-through window as an accessory to a restaurant.
9. Private club as an accessory to a general restaurant.
10. New buildings with over 5,000 square feet of floor area, or additions of over 40% of existing floor area or over 5,000 square feet with combustible structural construction materials.
11. Buildings with less than 90% masonry exterior walls.
12. Any structure over 36 feet in height.
13. Veterinary clinics for treatment of small animals, with no outdoor pens or runs. (Ord. 90-5)

14. Temporary concrete batching plant limited to the period of construction, upon approval of location and operation by the Building Official.

CITY OF ROCKWALL

ORDINANCE NO. 11-44

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR AN "URBAN FARM" WITHIN (PD-3) PLANNED DEVELOPMENT NO. 3 DISTRICT, ON A 13.3-ACRE TRACT OF LAND KNOWN AS TRACT 11-3, ABSTRACT 21, N. BUTLER SURVEY AND TRACT 11-3, ABSTRACT 98, A. HANNA SURVEY, AND MORE SPECIFICALLY SHOWN IN EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a Specific Use Permit for an "Urban Farm" within the (PD-3) Planned Development No. 3 district has been requested by Chris and Jill Blase for a proposed blueberry and pumpkin farm on a 13.3-acre tract of land known as Tract 11-3, Abstract 21, N. Butler Survey and Tract 11-3, Abstract 98, A. Hanna Survey, and more specifically described in Exhibit "A"; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit for an "Urban Farm" within the (PD-3) Planned Development No. 3 district, for a proposed blueberry and pumpkin farm on a 13.3-acre tract of land known as Tract 11-3, Abstract 21, N. Butler Survey and Tract 11-3, Abstract 98, A. Hanna Survey, and more specifically described in Exhibit "A"; and

Section 2. That the Specific Use Permit shall be subject to the conditions set forth in **Ordinance No. 96-23** (i.e. PD-3) and **Article V, Section 4.5, Commercial District** of the City of Rockwall Unified Development Code (Ord. No. 04-38), as heretofore amended and as may be amended in the future, and shall be subject to the additional following additions:

1. The urban farm use shall comply with the definitions and standards of "urban agriculture - urban farm" set out in Article IV of the Unified Development Code, except as otherwise noted in this ordinance.
2. The urban farm shall comply with the site plan attached hereto as Exhibit "A."

3. A parking plan shall be submitted and approved by staff prior to public use of the farm.
4. Retail sales and all other public use of the farm shall be limited to 7am and 7pm; however, permission for special events outside of these times (e.g. Halloween-themed "Haunted Forest" hayride) may be granted on a case-by-case basis by the City Manager and/or his/her designee.
5. Animals shall not be kept on the premises on a permanent basis, and the petting zoo shall operate only in conjunction with the seasonal sales of farm products. Furthermore, the petting zoo may also be operate in conjunction with "one-day" special events (e.g. children's birthday party) outside of the typical period(s) for seasonal sales of farm products, in which case the animals shall not be kept overnight.
6. Other activities such as hayrides and farm train shall be operated in the areas shown on the site plan.
7. One (1) temporary, 4-ft x 8-ft wooden sign shall be allowed in conjunction with the seasonal sales of farm products.
8. The SUP shall allow for one, 16'x20' building as shown on the site plan (Exhibit A). Any additional building(s) shall require an amendment to the SUP, and may require compliance with other development-related ordinances of the City of Rockwall including, but not limited to, the following:
 - a. Platting of the property, including the dedication of the remainder of East Fork Drive.
 - b. Construction and/or escrow of proportionate share of East Fork Drive, sidewalks, utility lines, etc.
 - c. Adherence to all engineering and fire department requirements such as paving, drainage/detention, fire lane(s) and hydrant(s), etc.
9. The City Council reserves the right to future review of this Specific Use Permit for compliance with all conditions of approval and any other changed conditions that may occur on this property that would affect the Specific Use Permit as granted.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.


Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code No. 04-38 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.


Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 7th day of November, 2011.



David Sweet, Mayor

ATTEST:



Kristy Ashberry, City Secretary



APPROVED AS TO FORM:



Pete Eckert, City Attorney

1st Reading: 10-17-11

2nd Reading: 11-07-11

CITY OF ROCKWALL

ORDINANCE NO. **23-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 3 (PD-3) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CONSOLIDATE THE REGULATING ORDINANCES OF THE PLANNED DEVELOPMENT DISTRICT, BEING A 639.264-ACRE TRACT OF LAND SITUATED WITHIN THE T. DEAN SURVEY, ABSTRACT NO. 69; S. KING SURVEY, ABSTRACT NO. 131; N. BUTLER SURVEY, ABSTRACT NO. 21; AND, A. HANNA SURVEY, ABSTRACT NO. 98, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has initiated an amendment to the Planned Development District 3 (PD-3) for the purpose of consolidating the regulating ordinances [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 86-61, 89-04, 94-35, & 96-23].

WHEREAS, Planned Development District 3 (PD-3) is a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas and which is more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 3 (PD-3) [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 86-61, 89-04, 94-35, 96-23 & 11-44] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 86-61, 89-04, 94-35, & 96-23;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. The Homeowner's Association (HOA) shall be responsible for the maintenance of all common areas, screening walls and features, landscape areas, deed restriction enforcement, and all other functions required to maintain the quality of the development.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF OCTOBER, 2023.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

DRAFT
ORDINANCE
09.12.2023

Exhibit 'A':
Legal Description

BEING 639.264 acres of land situated in Abstract 69, T. Dean Survey; Abstract 131, S. King Survey; Abstract 21, N. Butler Survey; and Abstract 98, A. Hanna Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the North Right of Way of North Lakeshore Dr. at the City of Rockwall Geodetic Control Monument #13. (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,590,432.919, N 7,032,885.954 Feet) bearing North 10°-01'-31" East, a distance of 4,838.978 feet to the POINT OF BEGINNING;

BEGINNING at a Southwestern corner of Abstract 71, W. T. Deweese Survey, Tract 5, also known as 3051 North Goliad Street, (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,591,205.473, N 7,037,644.958 Feet);

- 1 **THENCE** South 88°-09'-30" East, a distance of 174.421 feet to a point;
- 2 **THENCE** South 89°-18'-00" East, along the Northern boundary of the Creekside Village Phase 2 Addition, a distance of 807.443 feet to a point;
- 3 **THENCE** North 89°-50'-27" East, a distance of 574.25 feet to a point in the Right of Way of State Highway 205 (North Goliad Street) also being a beginning of a curve;
- 4 **THENCE** along said curve to the left having an angle of 07°-09'-14" and a radius of 8,822.954 feet with a chord distance of 1,100.909 feet and a chord bearing of South 11°-10'-59" East, for a corner;
- 5 **THENCE** South 78°-44'-38" West, along the Southeastern boundary of the Random Oaks Addition, a distance of 131.806 feet to a point;
- 6 **THENCE** South 77°-32'-26" West, continuing along said boundary a distance of 104.85 feet for a corner;
- 7 **THENCE** South 02°-01'-44" West, a distance of 199.631 feet to a point;
- 8 **THENCE** South 03°-01'-38" West, a distance of 549.228 feet to a point;
- 9 **THENCE** South 09°-42'-57" East, a distance of 234.514 for a corner;
- 10 **THENCE** North 80°-11'-17" West, along the Southern boundary of the Random Oaks Addition, a distance of 730.471 feet to a point;
- 11 **THENCE** North 82°-37'-24" West, a distance of 185.747 feet to the beginning of a curve;
- 12 **THENCE** along said curve to the left having an angle of 04°-07'-30" and a radius of 2,056.937 feet with a chord distance of 148.058 feet and a chord bearing of North 84°-08'-37" West, to the beginning of a reverse curve;
- 13 **THENCE** along said curve to the right having an angle of 19°-31'-59" and a radius of 513.44 feet with a chord distance of 174.193 feet and a chord bearing of North 72°-20'-57" West, a point;
- 14 **THENCE** North 62°-41'-51" West, a distance of 96.467 feet to a point;
- 15 **THENCE** North 23°-56'-24" East, a distance of 10.376 feet to the beginning of a curve;
- 16 **THENCE** along said curve to the right having an angle of 04°-10'-41" and a radius of 4,343.413 feet with a chord distance of 316.73 feet and a chord bearing of North 62°-52'-52" West, to the beginning of a curve;
- 17 **THENCE** along said curve to the right having an angle of 00°-26'-05" and a radius of 32,477.593 feet with a chord distance of 246.45 feet and a chord bearing of North 54°-34'-4" West, to the beginning of a curve;
- 18 **THENCE** along said curve to the left having an angle of 06°-44'-13" and a radius of 5,575.459 feet with a chord distance of 655.568 feet and a chord bearing of North 79°-07'-52" West, a point;
- 19 **THENCE** North 87°-52'-21" West, a distance of 39.207 feet for a corner;
- 20 **THENCE** South 00°-40'-53" East, along the Eastern boundary of The Shores Addition, a distance of 342.584 feet to a point;
- 21 **THENCE** South 00°-59'-46" West, a distance of 254.457 feet to a point;
- 22 **THENCE** South 00°-03'-57" West, a distance of 9.989 feet for a corner;
- 23 **THENCE** South 45°-28'-05" West, a distance of 202.51 feet for a corner;
- 24 **THENCE** South 04°-46'-24" West, a distance of 519.313 feet for a corner;
- 25 **THENCE** North 89°-44'-36" East, a distance of 96.721 feet for a corner;
- 26 **THENCE** South 01°-21'-55" East, along the Eastern boundary of The Shores Phase 3 Addition, a distance of 433.694 feet to a point;
- 27 **THENCE** South 00°-53'-02" West, a distance of 1,723.961 feet to a point;

Exhibit 'A':
Legal Description

- 28 **THENCE** South 82°-27'-37" West, a distance of 6.603 feet for a corner;
- 29 **THENCE** South 01°-15'-03" West, a distance of 121.92 feet to a point;
- 30 **THENCE** South 42°-45'-29" East, a distance of 55.379 feet to a point;
- 31 **THENCE** South 60°-28'-27" East, a distance of 110.47 feet to a point;
- 32 **THENCE** South 88°-22'-52" East, a distance of 229.342 feet for a corner;
- 33 **THENCE** South 00°-56'-40" West, continue around the area known as the Blase Family Farm, a distance of 800.823 feet for a corner;
- 34 **THENCE** North 89°-08'-02" West, a distance of 100.012 feet for a corner;
- 35 **THENCE** South 00°-51'-58" West, a distance of 120.015 feet for a corner;
- 36 **THENCE** South 89°-08'-02" East, a distance of 100.012 feet for a corner;
- 37 **THENCE** South 00°-51'-58" West, a distance of 108.014 feet to a point;
- 38 **THENCE** South 00°-51'-58" West, continuing a distance of 45.768 feet to a point in the Right of Way of East Fork Road for a corner;
- 39 **THENCE** North 63°-36'-29" West, a distance of 141.47 feet to a point;
- 40 **THENCE** North 61°-55'-58" West, a distance of 245.277 feet to a point;
- 41 **THENCE** North 55°-50'-09" West, a distance of 465.358 feet to a point;
- 42 **THENCE** North 42°-26'-08" West, a distance of 88.961 feet for a corner;
- 43 **THENCE** North 46°-41'-33" East, a distance of 148.35 feet to a point;
- 44 **THENCE** North 14°-28'-50" East, a distance of 186.703 feet for a corner;
- 45 **THENCE** North 89°-15'-27" West, a distance of 436.763 feet to a point;
- 46 **THENCE** North 74°-56'-00" West, crossing North Lakeshore Drive, a distance of 83.869 feet to a point;
- 47 **THENCE** North 89°-25'-39" West, along the Southern boundary of the Crestview Phase 1 Addition, a distance of 737.795 feet for a corner;
- 48 **THENCE** North 01°-10'-48" West, a distance of 312.433 feet for a corner;
- 49 **THENCE** North 89°-14'-21" West, a distance of 503.944 feet for a corner;
- 50 **THENCE** South 00°-23'-22" East, a distance of 318.21 feet for a corner;
- 51 **THENCE** North 89°-19'-25" West, along the Southern boundary of the Crestview Phase 3 Addition, a distance of 181.831 feet to a point;
- 52 **THENCE** South 80°-24'-05" West, a distance of 15.253 feet to a point;
- 53 **THENCE** North 89°-47'-20" West, a distance of 565.495 feet to a point;
- 54 **THENCE** North 73°-29'-07" West, a distance of 15.698 feet to a point;
- 55 **THENCE** South 87°-34'-56" West, a distance of 80.08 feet to a point;
- 56 **THENCE** North 89°-30'-59" West, a distance of 570.754 feet for a corner;
- 57 **THENCE** South 00°-12'-51" West, a distance of 15.459 feet for a corner;
- 58 **THENCE** North 89°-46'-14" West, a distance of 309.468 feet to a point;
- 59 **THENCE** South 89°-34'-27" West, a distance of 296.789 for a corner;
- 60 **THENCE** North 06°-17'-47" East, along the City of Dallas Take Line of Lake Ray Hubbard and adjacent residential lots, a distance of 2.096 feet to a point;
- 61 **THENCE** North 27°-55'-11" West, continuing along said Take Line, a distance of 322.756 feet to a point;
- 62 **THENCE** North 28°-28'-37" West, a distance of 276.945 feet to a point;
- 63 **THENCE** North 21°-37'-19" West, a distance of 678.581 feet to a point;
- 64 **THENCE** North 05°-55'-34" West, a distance of 449.668 feet to a point;
- 65 **THENCE** North 17°-42'-55" East, a distance of 980.368 feet to a point;
- 66 **THENCE** North 19°-36'-38" East, a distance of 21.013 feet to a point;
- 67 **THENCE** North 53°-26'-39" East, crossing the Rockwall Golf and Athletic Club Golf Course, a distance of 679.516 feet to a point;
- 68 **THENCE** South 84°-07'-20" East, a distance of 603.751 feet to a point;
- 69 **THENCE** South 71°-02'-28" East, a distance of 770.226 feet to a point;
- 70 **THENCE** South 88°-36'-41" East, a distance of 445.095 feet for a corner;
- 71 **THENCE** North 01°-07'-35" East, along the Western boundary of The Shores Addition, a distance of 1,687.816 feet to a point;
- 72 **THENCE** North 01°-41'-23" East, a distance of 195.033 feet to a point;
- 73 **THENCE** North 00°-17'-09" East, a distance of 60.183 feet to a point;
- 74 **THENCE** North 12°-28'-00" West, a distance of 165.262 feet to a point;

Exhibit 'A':
Legal Description

- 75 **THENCE** North 13°-24'-39" West, a distance of 112.025 feet to a point;
- 76 **THENCE** North 02°-20'-39" East, a distance of 330.71 feet to the beginning of a curve;
- 77 **THENCE** along said point being the beginning of a curve to the left having an angle of 05°-05'-40" and a radius of 1,829.031 feet with a chord distance of 162.577 feet and a chord bearing of North 11°-21'-39" East, a point;
- 78 **THENCE** North 10°-06'-17" East, a distance of 190.56 feet to a point;
- 79 **THENCE** North 00°-43'-21" East, a distance of 737.697 feet for a corner;
- 80 **THENCE** North 89°-55'-30" East, along the Northern boundary of the Shores Phase 4B Addition, a distance of 644.247 feet to a point;
- 81 **THENCE** North 89°-42'-06" East, along the Northern boundary of the City of Rockwall Shores Park, a distance of 1,060.108 feet for a corner;
- 82 **THENCE** North 00°-46'-08" East, a distance of 223.527 feet to a point;
- 83 **THENCE** North 03°-16'-35" East, a distance of 50.034 feet to a point;
- 84 **THENCE** North 00°-24'-45" East, along the Western boundary of the Shores Phase 5 Addition, a distance of 443.593 feet to a point;
- 85 **THENCE** North 01°-29'-10" West, continuing along said boundary, a distance of 65.666 feet to a point;
- 86 **THENCE** North 00°-37'-36" East, a distance of 900.321 feet to a point;
- 87 **THENCE** North 03°-37'-13" East, to a point in the Right of Way of Dalton Road, a distance of 16.021 feet for a corner;
- 88 **THENCE** South 89°-40'-13" East, a distance of 1,314.588 feet for a corner;
- 89 **THENCE** South 00°-32'-35" West, a distance of 26.441 feet to a point;
- 90 **THENCE** South 00°-32'-35" West, continuing along the Eastern boundary of the Shores North Phase 6 Addition, a distance of 1,143.321 feet to a point;
- 91 **THENCE** South 00°-28'-51" West, continuing along said boundary, a distance of 1,453.759 feet, to the **POINT OF BEGINNING AND CONTAINING** 639.264 acres of land (27,846,211.88 square feet) more or less.

Exhibit 'B':
Survey



Exhibit 'D':
Density and Development Standards

(1) NON-RESIDENTIAL.

(A) TRACT 1. (Unplatted)

- (1) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (2) Density and Development Standards. The development of *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(B) TRACT 2. (The Shops at Ridge Creek Subdivision)

- (1) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract 2 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the General (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following amendments shall apply to *Tract 2*:

(A) The following land uses shall be permitted *by-right*:

- Any retail business, personal services, professional services, or business service conducted within a completely enclosed building, except the following: [1] lumber yards, [2] contractor yards, [3] farm equipment, [4] heavy equipment sales or service, [5] farm products warehousing or storage, [6] stockyards, and/or [7] general warehousing or storage.
- Banks (*with or without drive-through facilities*).
- Planned Shopping Centers of less than ten (10) acres and neighborhood convenience centers.
- Office Buildings.
- Paved Parking Lots (*not including commercial parking lots*).
- Other uses similar to the above.
- Telephone, telegraph, television, radio or similar media stations, centers, studios, but not including public microwave, radio, and television towers.
- Institutional Uses.
- Municipally owned or controlled facilities, utilities, and uses.
- Restaurants, including accessory outdoor seating, without drive-in or drive-through facilities.
- Retail outlets where gasoline products are sold as an accessory use limited to two (2) dispensers which can service no more than four (4) vehicles at a time.
- An accessory use customarily related to a principal use authorized in this zoning district.
- Temporary indoor and outdoor fund-raising events sponsored by nonprofit organizations with permit and approval from the Building Official.
- Temporary on-site construction offices limited to the period of construction upon approval of the Building Official.

Exhibit 'D':
Density and Development Standards

(B) The following land uses shall be permitted by Specific Use Permit (SUP):

- A mobile home on an un-subdivided tract of five (5) acres or more used as a construction office.
- Automotive repair, as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building.
- Funeral Homes.
- Non-Open Bay Carwash.
- Facilities for railroads or those utilities holding a franchise under the City of Rockwall not allowed as permitted uses.
- Semi-Public Uses.
- Commercial amusements, as defined herein, including amusements parks, circus or carnival grounds, recreation developments, or tents for amusements, in accordance with all other applicable ordinances, and more than 300-feet from residentially zoned land unless such setback is reduced or waived by the Planning and Zoning Commission and City Council. Temporary uses not exceeding 14-days meeting all other requirements of the City may be permitted by the Building Official.
- Drive-through window as an accessory to a restaurant.
- Private club as an accessory to a general restaurant.
- New buildings with over 5,000 SF of floor area, or additions of over 40% of existing floor area or over 5,000 SF with combustible structural construction materials.
- Buildings with less than 90% masonry exterior walls.
- Any structure over 36-feet in height.
- Veterinary clinics for treatment of small animals, with no outdoor pens or runs.
- Temporary concrete batching plant limited to the period of construction, upon approval of location and operation by the Building Official.

(2) *Density and Development Standards*. The development of *Tract 2 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(C) *TRACT 3. (A portion of The Shores Club House Subdivision)*

(1) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, only the following land uses shall be permitted within *Tract 3*:

(A) Community Center and Golf Course with pertinent accessory land uses (*i.e. swimming pool, restaurant, tennis courts, pickleball courts, pro-shop, etc.*)

(2) *Density and Development Standards*. The development of *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article

**Exhibit 'D':
Density and Development Standards**

05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(2) RESIDENTIAL.

(A) TRACTS A, B, C, D, E, & F.

(1) Tracts. The tracts in this section correspond with the following phases of the Shores Subdivision:

- (A) Tract A. Hillside at the Shores, Phases 1-5 & a portion of Creekside Village, Phase 2.
- (B) Tract B. Crestview at the Shores, Phases 1-3.
- (C) Tract C. Creekside at the Shores.
- (D) Tract D. The Shores North, Phase 4B and portions of The Shores North, Phases 2A & 4A.
- (E) Tract E. The Shores North, Phases 3A, 3B, & 5.
- (F) Tract F. A portion of The Shores North, Phase 6.

(2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tracts A, B, C, D, E, & F -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) Density and Development Standards. The development of *Tracts A, B, C, D, E, & F -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 7 (SF-7) District as required by Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tracts A, B, C, D, E, & F* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

| <i>Lot Type (see Concept Plan) ►</i> | A | B | C | D | E | F |
|---|----------|----------|----------|----------|----------|-----------|
| MINIMUM LOT AREA | 7,200 SF | 6,000 SF | 7,200 SF | 7,200 SF | 6,000 SF | 7,200 SF |
| AVERAGE LOT AREA FOR TRACT | 8,500 SF | 7,200 SF | 8,500 SF | 8,000 SF | 7,000 SF | 10,000 SF |
| SINGLE-FAMILY DWELLING UNITS PER LOT | 1 | 1 | 1 | 1 | 1 | 1 |
| MINIMUM FLOOR AREA PER DWELLING UNIT | 1,800 SF | 1,500 SF | 2,000 SF | 1,800 SF | 1,500 SF | 1,600 SF |
| MINIMUM LOT FRONTAGE ⁽¹⁾ | 60' | 50' | 60' | 60' | 50' | 60' |
| MINIMUM LOT DEPTH | 100' | 100' | 100' | 100' | 100' | 100' |
| MINIMUM FRONT YARD SETBACK | 20' | 20' | 20' | 20' | 20' | 20' |
| MINIMUM REAR YARD SETBACK | 10' | 10' | 10' | 10' | 10' | 10' |
| MINIMUM SIDE YARD SETBACK | 5' | 5' | 5' | 5' | 5' | 5' |
| MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET | 15' | 15' | 15' | 15' | 15' | 15' |
| MINIMUM BUILDING SEPERATION | 10' | 10' | 10' | 10' | 10' | 10' |
| MAXIMUM BUILDING COVERAGE | 45% | 50% | 45% | 45% | 50% | 45% |
| MAXIMUM BUILDING HEIGHT | 35' | 35' | 35' | 35' | 35' | 35' |
| MINIMUM OFF-STREET PARKING (SPACES/UNIT) ⁽²⁾ | 2 | 2 | 2 | 2 | 2 | 2 |
| MINIMUM GARAGE SPACE (VEHICLES SPACES) | 2 | 2 | 2 | 2 | 2 | 2 |

GENERAL NOTES:

- ^{1:} Lot frontage shall be measured on a public street.
- ^{2:} Excluding the required garage spaces.

Exhibit 'D':
Density and Development Standards

(B) TRACTS G, H, I, & J.

- (1) Tracts. The tracts in this section correspond with the following phases of the Shores Subdivision:
- (A) Tract G. Fairway Pointe at the Shores, Phases 1 & 2.
 - (B) Tract H. A portion of Creekside Village, Phase 2.
 - (C) Tract I. A portion of Creekside Village, Phase 2 and portions of The Shores North, Phases 2A, 2B, & 4A.
 - (D) Tract J. A portion of The Shores North, Phase 2A, 2B, & 4A.
- (2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tracts G, H, I, & J -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) Density and Development Standards. The development of *Tracts G, H, I, & J -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tracts G, H, I, & J* shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

| <i>Lot Type (see Concept Plan) ►</i> | G | H | I | J |
|--|-----------|----------|----------|----------|
| <i>MINIMUM LOT AREA</i> | 9,000 SF | 9,000 SF | 8,400 SF | 9,000 SF |
| <i>AVERAGE LOT AREA FOR TRACT</i> | 10,000 SF | N/A | N/A | N/A |
| <i>SINGLE-FAMILY DWELLING UNITS PER LOT</i> | 1 | 1 | 1 | 1 |
| <i>MINIMUM FLOOR AREA PER DWELLING UNIT</i> | 2,200 SF | 2,200 SF | 2,000 SF | 2,200 SF |
| <i>MINIMUM LOT FRONTAGE ⁽¹⁾</i> | 70' | 70' | 60' | 70' |
| <i>MINIMUM LOT DEPTH</i> | 100' | 100' | 100' | 100' |
| <i>MINIMUM FRONT YARD SETBACK</i> | 20' | 20' | 20' | 20' |
| <i>MINIMUM REAR YARD SETBACK</i> | 10' | 10' | 10' | 10' |
| <i>MINIMUM SIDE YARD SETBACK</i> | 6' | 6' | 5' | 5' |
| <i>MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET</i> | 15' | 15' | 15' | 15' |
| <i>MINIMUM BUILDING SEPERATION</i> | 10' | 10' | 10' | 10' |
| <i>MAXIMUM BUILDING COVERAGE</i> | 45% | 45% | 45% | 45% |
| <i>MAXIMUM BUILDING HEIGHT</i> | 35' | 35' | 35' | 35' |
| <i>MINIMUM OFF-STREET PARKING (SPACES/UNIT) ⁽²⁾</i> | 2 | 2 | 2 | 2 |
| <i>MINIMUM GARAGE SPACE (VEHICLES SPACES)</i> | 2 | 2 | 2 | 2 |

GENERAL NOTES:

- ^{1:} Lot frontage shall be measured on a public street.
- ^{2:} Excluding the required garage spaces.

Exhibit 'D':
Density and Development Standards

(C) TRACT K. (*Random Oaks at the Shores Subdivision*)

(1) Concept Plan. All development of *Tract K* shall conform with the *Concept Plan* depicted in *Figure 1*.

FIGURE 1. CONCEPT PLAN FOR TRACT K



(2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract K -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) Density and Development Standards. The development of *Tract K -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tract K* shall conform to the standards depicted in *Table 3*, which are as follows:

**Exhibit 'D':
Density and Development Standards**

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

| | Lot Type (see Concept Plan) ▶ | K |
|--|-------------------------------|----------------------|
| MINIMUM LOT AREA ⁽¹⁾ | | 7,800 SF & 10,000 SF |
| MINIMUM FLOOR AREA PER DWELLING UNIT | | 1,800 SF |
| MINIMUM LOT FRONTAGE ⁽²⁾ | | 100' |
| MINIMUM LOT DEPTH | | 60' |
| MINIMUM FRONT YARD SETBACK | | 25' |
| MINIMUM REAR YARD SETBACK | | 10' |
| MINIMUM SIDE YARD SETBACK | | 6' |
| MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET | | 15' |
| MAXIMUM BUILDING COVERAGE | | 35% |
| MAXIMUM BUILDING HEIGHT | | 32' |

GENERAL NOTES:

- 1:** As shown in the concept plan for *Tract K* above.
- 2:** As measured at the front building line.

- (4) **Garage Orientation.** *Front-Entry Garages* shall be prohibited.
- (5) **Landscaping and Entry Monumentation Signage.** The proposed development shall incorporate landscaping and entry monumentation signage that conforms to the *Landscaping and Entry Monumentation Signage* exhibit depicted in *Figure 2*.

FIGURE 2. LANDSCAPE AND ENTRY MONUMENTATION SIGNAGE

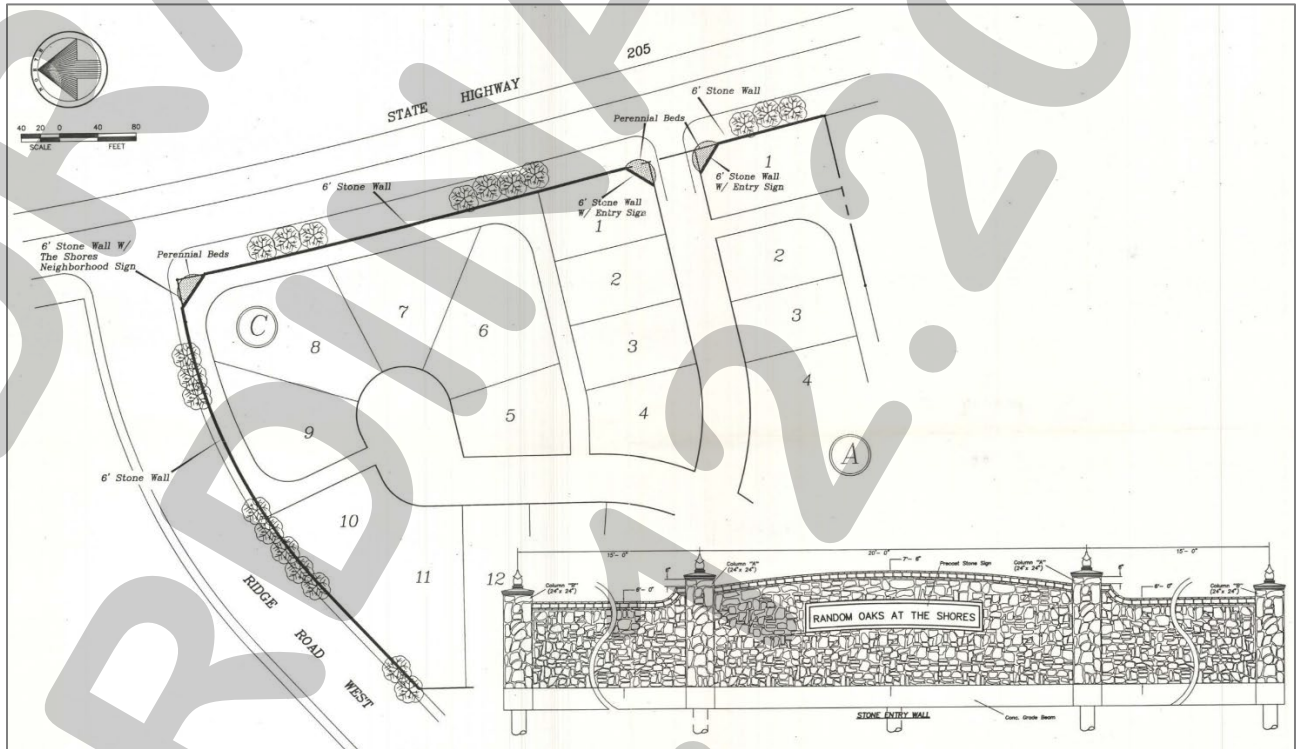


Exhibit 'D':
Density and Development Standards

(D) TRACT L. (*Fairway Pointe at the Shores, Phase 3*)

- (1) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract L -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (2) Density and Development Standards. The development of *Tract L -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tract L* shall conform to the standards depicted in *Table 4*, which are as follows:

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

| | <i>Lot Type (see Concept Plan) ►</i> | L |
|--|--------------------------------------|-----------|
| MINIMUM LOT AREA | 60% OF THE LOTS | 8,400 SF |
| | 40% OF THE LOTS | 9,000 SF |
| AVERAGE LOT AREA FOR TRACT | | 10,000 SF |
| SINGLE-FAMILY DWELLING UNIT PER LOT | | 1 |
| MINIMUM FLOOR AREA PER DWELLING UNIT | 8,400 SF LOTS | 2,000 SF |
| | 9,000 SF LOTS | 2,200 SF |
| MINIMUM LOT FRONTAGE ⁽¹⁾ | 8,400 SF LOTS | 60' |
| | 9,000 SF LOTS | 70' |
| MINIMUM LOT DEPTH | | 100' |
| MINIMUM FRONT YARD SETBACK | | 20' |
| MINIMUM REAR YARD SETBACK | | 10' |
| MINIMUM SIDE YARD SETBACK | | 5' |
| MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET | | 15' |
| MINIMUM BUILDING SEPERATION | | 10' |
| MAXIMUM BUILDING COVERAGE | | 45% |
| MAXIMUM BUILDING HEIGHT | | 35' |
| MINIMUM OFF-STREET PARKING (SPACES/UNIT) ⁽²⁾ | | 2 |
| MINIMUM GARAGE SPACE (VEHICLES SPACES) | | 2 |

GENERAL NOTES:

- ¹: Lot frontage shall be measured on a public street.
- ²: Excluding the required garage spaces.

**Exhibit 'D':
Density and Development Standards**

(E) TRACT M. (A portion of The Shores Club House Subdivision)

- (1) Concept Plan. All development of *Tract M* shall conform with the *Concept Plan* depicted in *Figure 3*.

FIGURE 3. CONCEPT PLAN FOR TRACT M



- (2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract M* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Single-Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) Density and Development Standards. The development of *Tract M* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 7 (SF-7) District as required by Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tract M* shall conform to the standards depicted in *Table 5*, which are as follows:

TABLE 5: LOT DIMENSIONAL REQUIREMENTS

**Exhibit 'D':
Density and Development Standards**

| | Lot Type (see Concept Plan) ▶ | M |
|---|--|----------------------|
| MINIMUM LOT AREA ⁽¹⁾ | | SEE (1) BELOW |
| SINGLE-FAMILY DWELLING UNITS PER LOT | | 1 |
| MINIMUM FLOOR AREA PER DWELLING UNIT | LOT 17, BLOCK H LOTS 18-21, BLOCK H | 2,200 SF 2,000 SF |
| MINIMUM LOT FRONTAGE ⁽¹⁾ | | SEE (1) BELOW |
| MINIMUM LOT DEPTH ⁽¹⁾ | | SEE (1) BELOW |
| MINIMUM FRONT YARD SETBACK | | 30' |
| MINIMUM REAR YARD SETBACK | | 25' |
| MINIMUM SIDE YARD SETBACK | | 10' |
| MINIMUM BUILDING SEPERATION | | 10' |
| MAXIMUM BUILDING COVERAGE | | 35% |
| MAXIMUM BUILDING HEIGHT | | 30' |
| MINIMUM OFF-STREET PARKING (SPACES/UNIT) ⁽²⁾ | | 2 |

GENERAL NOTES:

¹: As shown in the concept plan for *Tract J* above.

²: Excluding the required garage spaces.

(4) Garage Orientation. No Garage shall open onto Champions Drive.

Exhibit 'D':
Density and Development Standards

(F) TRACT N. (The Shores, Phase 1)

(1) Concept Plan. All development of Tract N shall conform with the Concept Plan depicted in Figure 4.

FIGURE 4. CONCEPT PLAN FOR TRACT N



(2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract N -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) Density and Development Standards. The development of *Tract N -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract N* shall conform to the standards depicted in *Table 6*, which are as follows:

Exhibit 'D':
Density and Development Standards

TABLE 6: LOT DIMENSIONAL REQUIREMENTS

| | Lot Type (see Concept Plan) ► | N |
|--|-------------------------------|---------------|
| MINIMUM LOT AREA | | 9,000 SF |
| SINGLE-FAMILY DWELLING UNITS PER LOT | | 1 |
| MINIMUM LOT FRONTAGE ⁽¹⁾ | | 75' |
| MINIMUM LOT DEPTH | | 120' |
| MINIMUM FRONT YARD SETBACK ⁽¹⁾ | | 25' |
| MINIMUM REAR YARD SETBACK ⁽²⁾ | | 10' |
| MINIMUM SIDE YARD SETBACK ⁽³⁾ | | 6' |
| MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET | | SEE (1) BELOW |
| MAXIMUM BUILDING COVERAGE | | 35% |
| MAXIMUM BUILDING HEIGHT ⁽⁴⁾ | | 2½ STORIES |

GENERAL NOTES:

- ¹: (OR) As depicted on the approved subdivision plat that was filed with Rockwall County on March 9, 1978.
- ²: Section 9-701 of the 1972 City of Rockwall Zoning Ordinance [*Single-Family 3 (SF-3) District*].
- ³: Section 9-601 of the 1972 City of Rockwall Zoning Ordinance [*Single-Family 3 (SF-3) District*].
- ⁴: Section 11-102 of the 1972 City of Rockwall Zoning Ordinance: In the districts where the height of buildings is restricted to two and one-half (2½) or three (3) stories, cooling towers, roof gables, chimneys and vent stacks may extend for an additional height not to exceed 40-feet above the average grade line of the building. Water stand pipes and tanks, church steeples, domes and spires and school buildings and institutional buildings may be erected to exceed three (3) stories in height, provided that one (1) additional foot shall be added to the width and depth of front, side and rear yards for each foot that such structures exceed three (3) stories.

**Exhibit 'D':
Density and Development Standards**

(G) TRACT O. (The Shores, Phase 2)

- (1) Concept Plan. All development of *Tract O* shall conform with the *Concept Plan* depicted in *Figure 5*.

FIGURE 5. CONCEPT PLAN FOR TRACT O



- (2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract O* -- as depicted in Exhibit 'C' of this ordinance -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) Density and Development Standards. The development of *Tract O* -- as depicted in Exhibit 'C' of this ordinance -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract O* shall conform to the standards depicted in *Table 7*, which are as follows:

TABLE 7: LOT DIMENSIONAL REQUIREMENTS

**Exhibit 'D':
Density and Development Standards**

| <i>Lot Type (see Concept Plan) ▶</i> | O |
|---|------------|
| MINIMUM LOT AREA ⁽¹⁾ | 9,000 SF |
| SINGLE-FAMILY DWELLING UNIT PER LOT | 1 |
| MINIMUM FLOOR AREA PER DWELLING UNIT | 2,000 SF |
| MINIMUM LOT FRONTAGE ^{(1) & (2)} | 75' |
| MINIMUM LOT DEPTH | 120' |
| MINIMUM FRONT YARD SETBACK ⁽¹⁾ | 25' |
| MINIMUM REAR YARD SETBACK | 10' |
| MINIMUM SIDE YARD SETBACK | 6' |
| MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET ⁽¹⁾ | 15' |
| MINIMUM BUILDING SEPERATION | 10' |
| MAXIMUM BUILDING COVERAGE | 35% |
| MAXIMUM BUILDING HEIGHT | 2½ STORIES |
| MINIMUM OFF-STREET PARKING (SPACES/UNIT) ⁽³⁾ | 2 |
| MINIMUM GARAGE SPACE (VEHICLES SPACES) | 2 |

GENERAL NOTES:

- ^{1:} (OR) As depicted on the approved subdivision plat that was filed with Rockwall County on February 22, 1991.
- ^{2:} Lot frontage shall be measured on a public street.
- ^{3:} Excluding the required garage spaces.

Exhibit 'D':
Density and Development Standards

(H) TRACT P. (*The Shores, Phase 3*)

(1) Concept Plan. All development of *Tract P* shall conform with the *Concept Plan* depicted in *Figure 6*.

FIGURE 6. CONCEPT PLAN FOR TRACT P



(2) Permitted Land Uses. Unless specifically provided by this Planned Development District ordinance, *Tract P* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) Density and Development Standards. The development of *Tract P* -- as depicted in *Exhibit 'C'* of this ordinance -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract P* shall conform to the standards depicted in *Table 8*, which are as follows:

TABLE 8: LOT DIMENSIONAL REQUIREMENTS

**Exhibit 'D':
Density and Development Standards**

| <i>Lot Type (see Concept Plan) ▶</i> | P |
|---|------------|
| MINIMUM LOT AREA ⁽¹⁾ | 8,400 SF |
| SINGLE-FAMILY DWELLING UNIT PER LOT | 1 |
| MINIMUM FLOOR AREA PER DWELLING UNIT | 2,000 SF |
| MINIMUM LOT FRONTAGE ^{(1) & (2)} | 75' |
| MINIMUM LOT DEPTH | 120' |
| MINIMUM FRONT YARD SETBACK ⁽¹⁾ | 25' |
| MINIMUM REAR YARD SETBACK | 10' |
| MINIMUM SIDE YARD SETBACK | 6' |
| MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET ⁽¹⁾ | 15' |
| MINIMUM BUILDING SEPERATION | 10' |
| MAXIMUM BUILDING COVERAGE | 35% |
| MAXIMUM BUILDING HEIGHT | 2½ STORIES |
| MINIMUM OFF-STREET PARKING (SPACES/UNIT) ⁽³⁾ | 2 |
| MINIMUM GARAGE SPACE (VEHICLES SPACES) | 2 |

GENERAL NOTES:

- ^{1:} (OR) As depicted on the approved subdivision plat that was filed with Rockwall County on February 22, 1991.
- ^{2:} Lot frontage shall be measured on a public street.
- ^{3:} Excluding the required garage spaces.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: September 12, 2023

SUBJECT: Z2023-039; *Amendment to Subsection 06.16, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the UDC to Allow Homeowner's Associations (HOA's) the Ability to Lease the Lake Ray Hubbard Takeline*

On August 7, 2023, the City Council directed staff to amend Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)* to add language that would allow certain Homeowner's Associations (HOA's) the ability to lease non-leasable areas adjacent to their jurisdictional boundaries. The purpose of this proposal is to allow certain Homeowner's Associations (HOA's) the ability to make improvements in the takeline area in exchange for the necessary erosion control improvements needed to prevent or fix erosion on non-leasable areas without subjugating the City to the maintenance of these structures moving forward. In researching this amendment, staff identified four (4) Homeowner's Associations (HOA's) that could be eligible to lease areas of the takeline that are currently unleaseable. These include: [1] the Chandler's Landing Subdivision (*i.e. adjacent to Blocks B & C, Chandler's Landing, Phase 17*), [2] the Signal Ridge Subdivision (*i.e. adjacent to Signal Ridge, Phase 4*), [3] the Water's Edge Subdivision at Lake Ray Hubbard (*aka Villas De Portofino*), and [4] the Lakeside Village Subdivision. If approved, the amendment prepared by staff -- *contained in the attached packet* -- would create the following requirements for the lease of the takeline for these Homeowner's Associations (HOA's):

- (1) A site plan would be required to be approved by the Planning and Zoning Commission that will be incorporated into the *Sublease Agreement*. This site plan will show all proposed improvements within the leased takeline area -- *which are required to be located within Activity Areas* -- and the required seawalls necessary to make these improvements.
- (2) All *Activity Areas* are permitted to be a maximum of 50-feet by 50-feet in size and be spaced a minimum of 200-feet apart.
- (3) Seawalls are required to be installed a minimum of 100-feet on either side of an *Activity Area*.
- (4) *Fixed Piers and Dock Decks* are required to be spaced a minimum of 200-feet apart along the leased area.
- (5) *Boathouses* are prohibited to be constructed in the takeline in these leased areas.
- (6) The Homeowner's Association (HOA) would be required to assume the responsibility for any existing improvements in the leased area.
- (7) Fees for a new lease, annual renewal of a lease, and reinstatement of an expired lease are the same as the fees established for a standard takeline sublease agreement.

In addition to the proposed amendment, staff has included an updated *Sublease Agreement* that allows Homeowner's Associations (HOA's) to sublease the takeline area. Staff should note that the City Attorney has reviewed the proposed text amendment and *Sublease Agreement*, and has provided staff with comments that have been incorporated into these documents. In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

~~Planning and Zoning Commission Work Session: August 29, 2023~~

Planning and Zoning Commission Public Hearing: September 12, 2023

City Council Public Hearing/First Reading: September 18, 2023

City Council Second Reading: October 2, 2023

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section

02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on September 12, 2023.



CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
CC: Mary Smith, *City Manager*
Joey Boyd, *Assistant City Manager*
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: August 7, 2023
SUBJECT: *Text Amendment to Article 05, District Development Standards, of the UDC to Allow Homeowner's Associations (HOA's) the Ability to Lease the Lake Ray Hubbard Takeline*

On January 4, 2020, the City Council adopted changes to the *Lake Ray Hubbard Takeline Overlay (TL OV) District* [Case No. Z2020-041] for the purpose of [1] providing clearer requirements with regard to the land uses, building materials, and construction standards permitted within the takeline, [2] providing a process that incentivizes property owners to construct erosion control measures (*i.e. seawalls*) by allowing additional land uses when such measures are provided, and [3] providing for a process to try and facilitate more property owners to pursue takeline leases. Prior to the adoption of these changes, staff met with several citizens who owned property that backed up to areas of the takeline that were not leasable. These citizens were interested in creating a process that would allow Homeowner's Associations (HOA's) the ability to lease these areas of the takeline; however, this was ultimately not pursued in the changes that were brought forward to the City Council in January 2020. More recently, several residents of the Lakeside Village Subdivision have met with staff to express concern about erosion that is occurring along the banks of the takeline adjacent to this subdivision. Specifically, these residents were inquiring about constructing seawalls to correct the erosion issues. The problem that City staff encounter in considering this, is tied to the issue of allowing private property owners to make improvements on public land, and the fact that these improvements -- *after construction* -- would become the City's responsibility to maintain (*i.e. since these areas of the takeline were not leasable there is no way to tie the improvements in the takeline to the private property owner's property after construction*). To facilitate a solution to this issue, staff is proposing to amend the *Lake Ray Hubbard Takeline Overlay (TL OV) District* to allow Homeowner's Associations (HOA's) the ability to lease non-leasable areas adjacent to their jurisdictional boundaries. This would allow these property owners the ability to work with the Homeowner's Associations (HOA's) to make the necessary erosion control improvements without subjugating the City to the maintenance of these structures moving forward.

In researching this proposal, staff identified four (4) Homeowner's Associations (HOA's) that could be eligible to lease areas of the takeline that are currently unleaseable. These include: [1] the Chandler's Landing Subdivision (*i.e. adjacent to Blocks B & C, Chandler's Landing, Phase 17*), [2] the Signal Ridge Subdivision (*i.e. adjacent to Signal Ridge, Phase 4*), [3] the Water's Edge Subdivision at Lake Ray Hubbard (*aka Villas De Portofino*), and [4] the Lakeside Village Subdivision. If approved, the amendment prepared by staff -- *contained in the attached packet* -- would create the following requirements for the lease of the takeline for these Homeowner's Associations (HOA's):

- (1) A site plan would be required to be approved by the Planning and Zoning Commission that will be incorporated into the *Sublease Agreement*. This site plan will show all proposed improvements within the leased takeline area -- *which are required to be located within Activity Areas* -- and the required seawalls necessary to make these improvements.
- (2) All *Activity Areas* are permitted to be a maximum of 50-feet by 50-feet in size and be spaced a minimum of 200-feet apart.
- (3) Seawalls are required to be installed a minimum of 100-feet on either side of an *Activity Area*.
- (4) *Fixed Piers* and *Dock Decks* are required to be spaced a minimum of 200-feet apart along the leased area.
- (5) *Boathouses* are prohibited to be constructed in the takeline in these leased areas.
- (6) The Homeowner's Association (HOA) would be required to assume the responsibility for any existing improvements in the leased area.
- (7) Fees for a new lease, annual renewal of a lease, and reinstatement of an expired lease are the same as the fees established for a standard takeline sublease agreement.

In addition to the proposed amendment, staff has included an updated *Sublease Agreement* that allows Homeowner's Associations (HOA's) to sublease the takeline area. Staff should note that the City Attorney has reviewed the proposed text amendment and *Sublease Agreement*, and has provided staff with comments that have been incorporated into these documents. Should the City Council choose to direct staff to proceed with this text amendment, the proposed amendment would be subject to the following schedule:

Planning and Zoning Commission Work Session: August 29, 2023

Planning and Zoning Commission Public Hearing: September 12, 2023

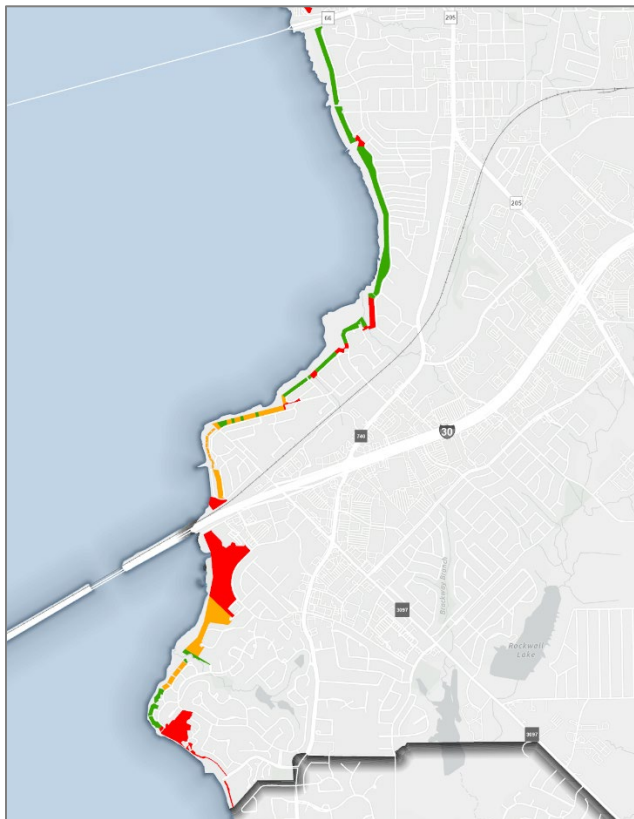
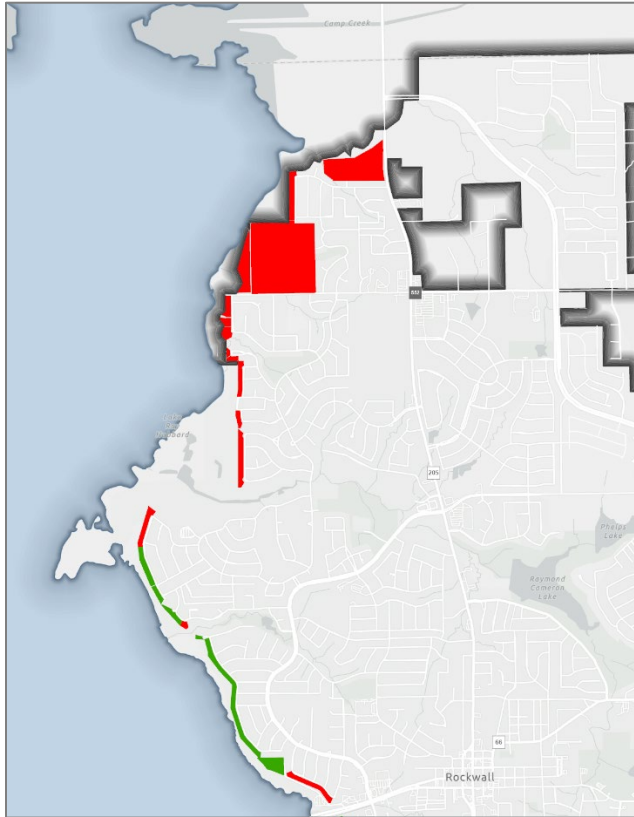
City Council Public Hearing/First Reading: September 18, 2023

City Council Second Reading: October 2, 2023

Should the City Council have any questions concerning the proposed text amendment, staff will be available at the meeting on August 7, 2023.



FIGURE 32: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP

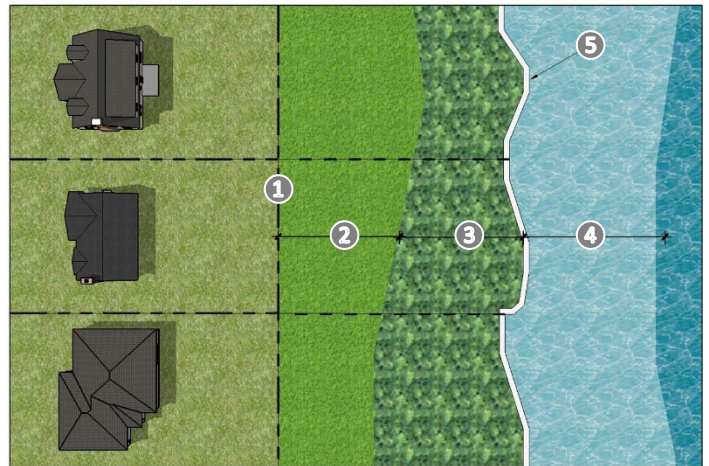


RED: NON-LEASEABLE PROPERTY
GREEN: LEASABLE PROPERTY
ORANGE: HOA LEASABLE AREA

SUBSECTION 06.16: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

- (A) **Purpose.** The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended to serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (i.e. Garland, Rockwall, and Rowlett) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality.
- (B) **Boundaries.** The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 2632, *Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-foot sea level elevation. In addition, *Figure 2733: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 33: ELEVATION CONTOUR ZONES



1: REAR PROPERTY LINE/TAKE LINE; 2: 438.0 ELEVATION ZONE; 3: 435.5 ELEVATION ZONE; 4: 425.5 ELEVATION ZONE; 5: SEAWALL;

- (C) **Applicability.**
 - (1) **Applicable Lots.** The standards set forth within Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac or Homeowner's Association (HOA) that are eligible to lease. The properties and Homeowner's Associations (HOA's) that are eligible to lease the takeline area are depicted in *Figure*



2632: *Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.

(2) Exceptions for Lots Not Meeting the Applicability Standards.

The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in [Subsection 06.15\(C\)\(1\)](#) above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to [Subsection \(JK\), Specifications for Permitted Land Uses](#). In addition, the following terms shall be defined as follows:

- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
- (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).
- (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.
- (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
- (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. *fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
- (6) Lake. Refers to Lake Ray Hubbard.
- (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. *property at or below an elevation of 435.5-foot mean sea level*).
- (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
- (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
- (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
- (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
- (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. *a slip*) for not more than 156-consecutive hours.
- (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.

(14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. *435.5-foot mean sea level*).

(15) Slip. A watercraft's berth between two (2) piers or between finger piers.

(16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. *435.5-foot mean sea level*).

(17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.

(18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.

(19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area ([see Figure 28: Visual Measurements for View Corridors of Subsection \(E\)](#)).

(20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard ([see Figure 28: Visual Measurements for View Corridors](#)).

(21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:

- (a) Motorized Boat. A boat propelled by an internal combustion engine.
- (b) Sail Boat. A boat with a mast and sail propelled by the wind.

(E) Visual Measurements for View Corridors.

(1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (i.e. *435.5-foot mean sea level*), and connecting these two (2) points in a straight line ([see Figure 2834: Visual Measurements for View Corridors](#)). Based on this linear measurement, the view clear zones are determined by the following:

- (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (i.e. 25%) center point from the shoreline frontage line

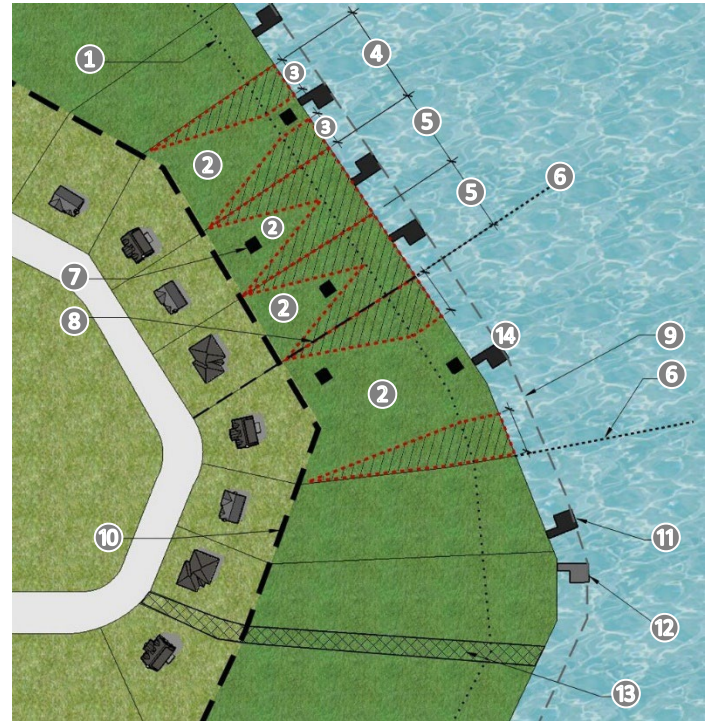


along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

- (b) Lots That Have More 100-Foot or More Shoreline Frontage. The view corridor for lots that have 100-foot or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (i.e. 25%) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-foot along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

QUARTER DISTANCE LINE; 16: 25% OF THE TAKELINE AREA; 17: QUARTER DISTANCE LINE.

FIGURE 35 EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT

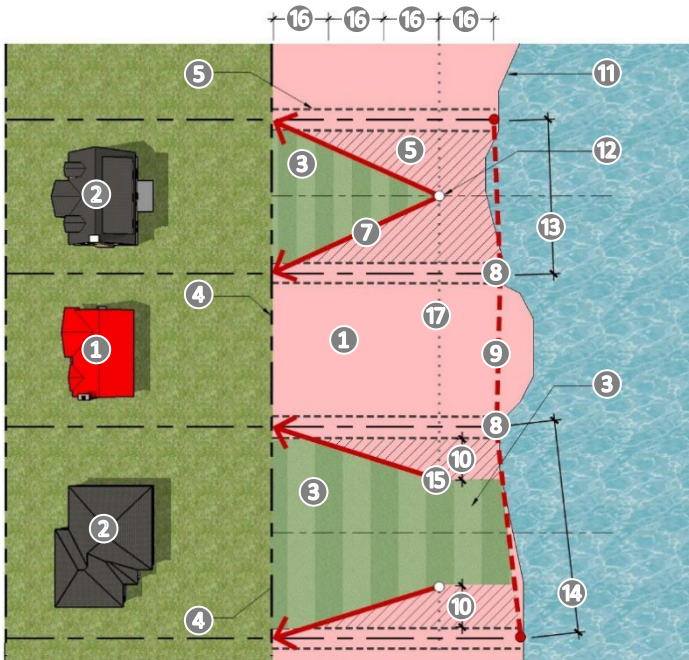


- 1: QUARTER DISTANCE LINE; 2: BUILDABLE AREA; 3: 30-FOOT; 4: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOET OR MORE; 5: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOET; 6: LEASE AREA'S PROJECTED SIDE YARD; 7: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; 8: LEASE AREA'S SIDE YARD; 9: 40-FOOT BUILDING LINE; 10: REAR PROPERTY LINE/TAKELINE; 11: EXISTING BOATHOUSE; 12: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; 13: DRAINAGE EASEMENT; 14: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

- (1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(JK\)](#), [Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height*):
 - (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
 - (b) 435.5 Elevation Zone. One (1) structure shall be permitted in the 435.5 Elevation Zone.
- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(JK\)](#), [Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height*):

FIGURE 34: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



- 1: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); 2: NEIGHBORING PROPERTY; 3: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); 4: REAR PROPERTY LINE/TAKELINE; 5: VIEW CLEAR ZONE (LINED AREA); 6: LEASE AREA SIDE YARD SETBACK; 7: VIEW PRESERVATION ANGLE; 8: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; 9: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] 3 POINTS IN A STRAIGHT LINE); 10: 30-FOOT; 11: SHORELINE; 12: CENTER POINT AT THE QUARTER DISTANCE LINE; 13: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FOET; 14: A LOT WITH A SHORELINE FRONTAGE 100-FOET OR MORE; 15: 30-FOOT POINT ON THE



- (a) 438.0 Elevation Zone: Structures in the *438.0 Elevation Zone* should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by [Subsection \(JK\), Specifications for Permitted Land Uses](#).
 - (b) 435.5 Elevation Zone: Structures in the *435.5 Elevation Zone* should be generally centered in the lease area -- equal distance from both leased side yard boundary lines -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by [Subsection \(JK\), Specifications for Permitted Land Uses](#).
 - (c) 425.5 Elevation Zone: Structures located in the *425.5 Elevation Zone* should be generally centered along the shoreline -- equal distance from both the leased side yard boundary lines -- behind the primary structure of the leasing property.
 - (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in [Subsection \(JK\), Specifications for Permitted Land Uses](#), and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (e.g. sand, fill, pea gravel) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a *Treescape Plan* showing the exact location, size (i.e. trunk diameter and height), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
- (a) Planting Trees. Trees are permitted to be planted within the *438.0 Elevation Zone* pending they are [1] not a variety specifically listed in the prohibited tree list contained in [Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines](#)

and Requirements, and [2] they are not located within the view clear zone outlined [Subsection \(E\), Visual Measurements](#). The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.

- (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures on Lease Property in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with [Subsection 06.15\(JK\)\(6\)](#). For temporary structures on unleased property in the takeline area see [Article III, Offenses Regarding the Use of the Lake Ray Hubbard Takeline, of Chapter 22, Miscellaneous Offenses of the Municipal Code of Ordinances](#).
- (G) Residential Sublease Agreement. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. **The area to be leased by a single-family property owner shall be directly contiguous to the boundaries of the property and are only permitted in the areas depicted in GREEN on Figure 32, Lake Ray Hubbard Takeline (TL OV) District Map.** It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of [Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code \(UDC\)](#). The following shall be the costs associated with a *Residential Sublease Agreement*:

| Lease | Fees |
|---|----------|
| New Lease (i.e. New Never Leased by Current Owner) ² | \$200.00 |
| Annual Renewal of a Lease | \$100.00 |
| Change of Ownership of a Valid Lease | \$50.00 |
| Reinstatement of an Expired Lease (i.e. Same Property Owner) ³ | \$500.00 |

NOTES:

- ¹: To be subject to these new fees, a lease entered into after *January 1, 2021* will be required (i.e. the effective date of the amendment adopting these fees).
- ²: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.



³: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

(H) Homeowner's Association (HOA) Sublease Agreement. A Homeowner's Association (HOA) Sublease Agreement is an agreement between a Homeowner's Association (HOA) and the City of Rockwall that grants the HOA certain rights to the exclusive use of the takeline area for their members. The area to be leased by the Homeowner's Association (HOA) shall be directly contiguous to the boundaries of the HOA and are only permitted in the areas depicted in ORANGE on Figure 32, Lake Ray Hubbard Takeline [TL OV] District Map. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid Homeowner's Association (HOA) Sublease Agreement. A Homeowner's Association (HOA) in violation of this section shall be subject to the requirements of Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code (UDC). The requirements for a Homeowner's Association (HOA) Sublease Agreement are as follows:

(1) Site Plan. Prior to the execution of a Homeowner's Association (HOA) Sublease Agreement, the Homeowner's Association (HOA) shall submit a Site Plan to the Director of Planning and Zoning in accordance with the procedures outlined in Subsection 01.02, Submission of an Application, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC). The Site Plan shall show all of the Activity Areas [see Subsection (H)(2) below], the proposed improvements for these areas, the required seawalls, fixed piers and/or dock decks, private walkways, and any landscaping for the leased area. The Planning and Zoning Commission shall review the Site Plan in accordance with the procedures contained in Section 03, Site Plans, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC). Upon approval of a Site Plan, the approved Site Plan shall be incorporated into the Homeowner's Association (HOA) Sublease Agreement. Should the Homeowner's Association (HOA) choose to amend the Site Plan, the Site Plan shall be amended in accordance with the procedures of Subsection 03.06, Amended Site Plan, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC). Upon approval of an amendment to the Site Plan, a new Homeowner's Association (HOA) Sublease Agreement shall be drafted containing the Amended Site Plan and superseding the original Homeowner's Association (HOA) Sublease Agreement.

(2) Activity Areas. In lieu of the requirements of Subsections (F)(1), Number of Permitted Structures, and (F)(2), General Location of Permitted Structures, -- and as part of the required Site Plan outlined in Subsection (H)(1) above -- the Homeowner's Association (HOA) shall identify Activity Areas where improvements can/will be made within the leased area. Improvements outside of the Activity Areas -- with the exception of landscaping and private walkways -- shall be prohibited for the purpose of preserving the view corridors of the existing residential properties. The Activity Areas shall generally adhere to the following requirements:

- (a) Size. Activity Areas should not be larger than 50-feet by 50-feet, unless otherwise approved by the Planning and Zoning Commission. In reviewing the Activity Areas, the Planning and Zoning Commission shall consider how the proposed size affects the view corridors of the adjacent residential properties.
- (b) Location. Activity Areas shall be spaced so that they are a minimum of 200-feet apart, and be setback a minimum of 25-feet from the rear or side yard property line of any residential property. In addition, the Activity Areas shall be located in a manner that will create the least amount of impact to the adjacent property owners and their view corridors.
- (c) Seawalls. Prior to the construction of an Activity Area, a seawall, conforming to Subsection (K), Specifications for Permitted Land Uses, and extending 100-feet on either side of the Activity Area, shall be required to be constructed.
- (3) Fixed Piers and Dock Decks. Fixed piers and dock decks, conforming to Subsection (K), Specifications for Permitted Land Uses and spaced a minimum of 200-feet apart, are permitted along the leased area; however, a seawall, conforming to Subsection (K), Specifications for Permitted Land Uses and extending 100-feet on either side of the fixed pier or dock deck, shall be required with the proposed improvements.
- (4) Prohibited Land Uses. Boathouses, as defined in Subsection (K), Specifications for Permitted Land Uses, shall be prohibited in the leased area associated with any Homeowner's Association (HOA) Sublease Agreement; however, in the event a boathouse existed in the leased area prior to the execution of the Homeowner's Association (HOA) Sublease Agreement, the HOA shall assume responsibility for the existing improvement in accordance with Subsection (H)(5) below.
- (5) Existing Improvements. As part of the Homeowner's Association (HOA) Sublease Agreement, the HOA shall be required to assume responsibility for any existing improvements and the maintenance of these improvements in the leased area.
- (6) Fees. The following shall be the costs associated with a Homeowner's Association (HOA) Sublease Agreement:

| Lease | Fees |
|--|----------|
| New Lease (i.e. New Never Leased by HOA) ¹ | \$200.00 |
| Annual Renewal of a Lease | \$100.00 |
| Reinstatement of an Expired Lease (i.e. Same HOA) ² | \$500.00 |

NOTES:

- ¹: A lease is considered to be new if the property has never had a valid lease agreement or if a site plan has been amended in accordance with the procedures of Subsection (H)(1).
- ²: A lease is considered to be a reinstatement when it lapses or expires, and then the Homeowner's Association (HOA) requests a new lease.

~~(H)(1)~~ Permitted Uses. All of the uses permitted within the Lake Ray Hubbard Takeline Overlay (TL OV) District shall adhere to all other



applicable codes and the permitting requirements of the City of Rockwall. For a list of permitted land uses see [Subsection \(JL\), Specifications for Permitted Land Uses](#), or [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#).

(H)(J) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in [Subsection \(JK\), Specifications for Permitted Land Uses](#) or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by [Subsection \(JK\), Specifications for Permitted Land Uses](#); however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in [Subsection \(JK\), Specifications for Permitted Land Uses](#), or [Subsection \(F\), General Requirements](#), is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in [Subsection \(E\), Visual Measurements](#). A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in [Subsection \(JK\), Specifications for Permitted Land Uses](#), (e.g. jet ski lift) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

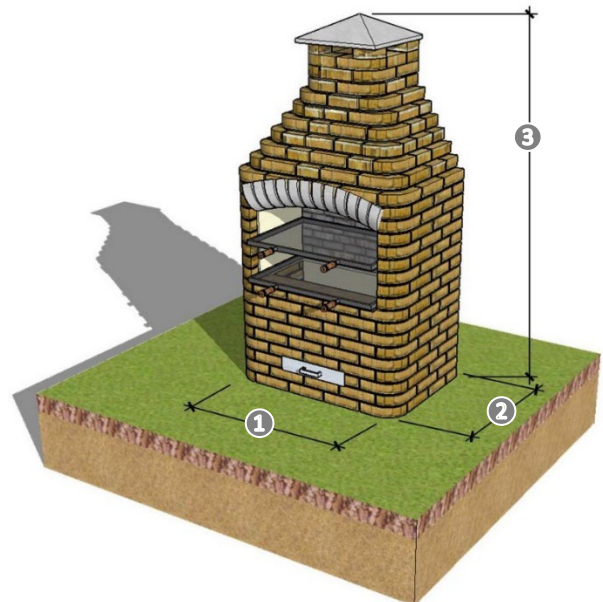
(H)(K) Specifications for Permitted Land Uses. See [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#), for a summary of the development standards for each of the following conditional uses.

(1) Barbecue Pit.

- (a) Definition. A barbecue pit is a permanent fireplace structure over which meat, poultry and other foods are roasted (for Fire Pit see [Subsection 06.15\(JK\)\(9\)](#)).
- (b) Prerequisites. A barbecue pit may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A barbecue pit shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A barbecue pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).
- (e) Construction Standards.
 - (1) Building Materials. A barbecue pit must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.
 - (2) Height. A barbecue pit shall not exceed a maximum of six (6) feet in height.
 - (3) Size. A barbecue pit shall not be smaller than a minimum size of three (3) feet in length by three (3)

feet in width; however, a barbecue pit should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.

- (f) Setback Requirements. A barbecue pit must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a barbecue pit must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. A barbecue pit must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



①: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH; ②: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH; ③: A MAXIMUM OF SIX (6) FEET;

(2) Boathouse.

- (a) Definition. A boathouse is a roofed structure affixed to the end of an adjoining fixed pier, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) Prerequisites. A boathouse may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall, has constructed a seawall along the entire length of the shoreline within the leased area, and has constructed a fixed pier.
- (c) Conditional Use Standards. Boathouses are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store



sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) Elevation Zone. A *boathouse* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials) -- products equivalent to Trex brand are preferred -- for decking, galvanized metal/iron/steel or aluminum (with a minimum color rating of AAMA 2604) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellent sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3)

feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.

(5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.

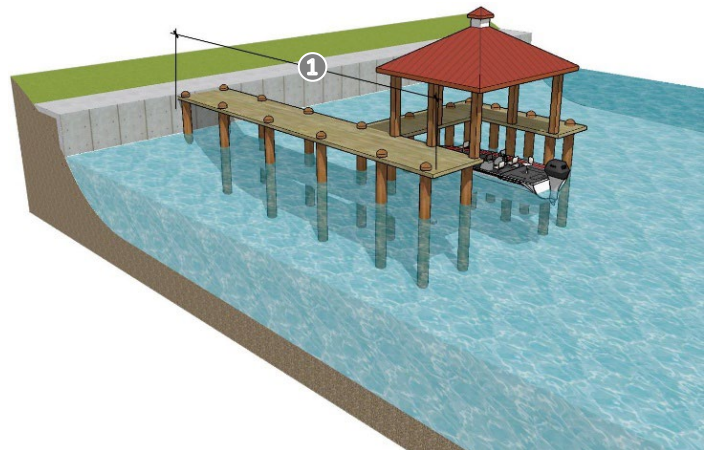
(6) Additional Construction Standards.

- (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
- (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
- (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
- (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

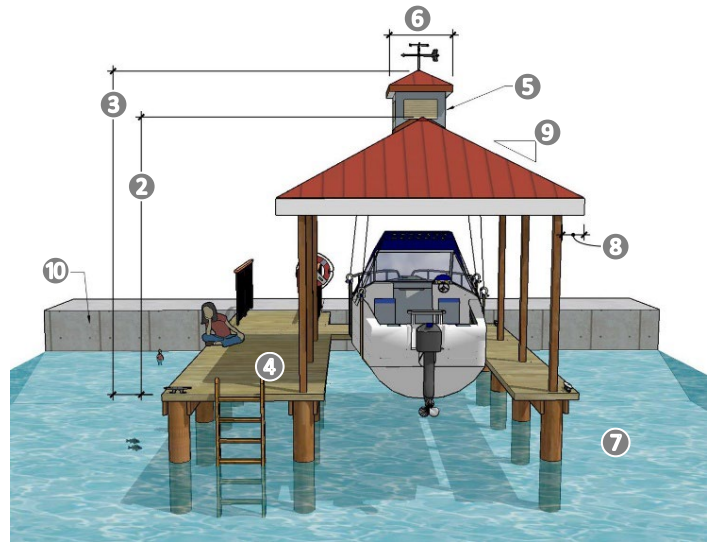


- (7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a boathouse should generally be located in line with the primary structure on the leasing property (*i.e. generally centered on the lot*). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.
- (f) Setback Requirements. A *boathouse* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.

Continued on Next Page ...



1: 40-FOOT MAXIMUM



1: 40-FOOT MAXIMUM; 2: 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; 3: 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; 4: CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); 5: CUPOLA; 6: THREE (3) FEET BY FOUR (4) FEET; 7: 435.5-FOOT NORMAL POOL ELEVATION; 8: 1.5-FOOT MAXIMUM OVERHANG; 9: 2:1 ROOF PITCH (HIP ROOF ONLY); 10: SEAWALL

(3) Covered Patio.

- (a) Definition. A *covered patio* is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A *covered patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *covered patio* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.



(d) Conditional Use Standards. A covered patio shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) Construction Standards.

(1) Building Materials. A covered patio must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

(2) Height. A covered patio shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.

(3) Size. A covered patio shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

(4) Roof. A covered patio will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All covered patios should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.

(5) Location. A covered patio located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Covered patios shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A covered patio must adhere to the following setbacks:

- (1) Takeline Setback: 6-Feet (from the Concrete Cap of the Seawall)
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

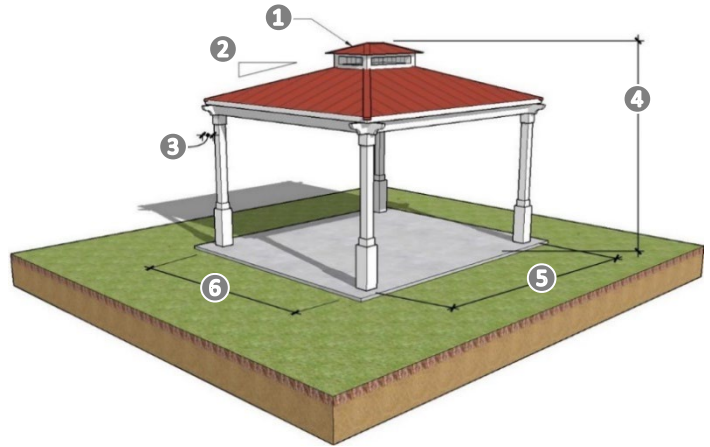
(1) Earth Work. Earth work required for the construction of a covered patio must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A covered patio must comply with all other applicable City of Rockwall codes.

(3) Emergency Response. The covered patio shall not be located in an area where it would block public safety personnel and their vehicles from accessing

or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 4:1 MINIMUM ROOF PITCH; 3: 18-INCHES MAXIMUM OVERHANG; 4: 15-FEET MAXIMUM HEIGHT; 5: 20-FEET MAXIMUM; 6: 12-FEET MAXIMUM;

(4) Deck.

(a) Definition. A deck is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.

(b) Prerequisites. A deck may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A deck shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Not Permitted (see Dock Deck in [Subsection 06.15\(JK\)\(5\)](#)).

(d) Conditional Use Standards. A deck shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

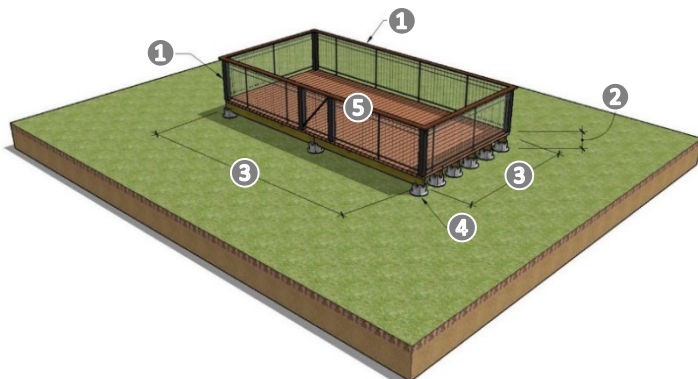
(1) Building Materials. A deck must be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Handrails incorporated into a deck in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.

(2) Height. A deck shall not exceed a maximum height of 24-inches above grade.

(3) Size. A deck shall not exceed a maximum area of 1,000 SF.



- (4) Location. A deck located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Decks shall not be placed in the view clear zone of a neighbor's view corridor.
- (5) Foundation. A deck shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed deck.
- (f) Setback Requirements. A deck must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a deck must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A deck must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The deck shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



1: WROUGHT IRON OR DECORATIVE METAL; 2: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; 3: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; 4: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; 5: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A dock deck is a flat floor surface area built over the water adjoining the end of a fixed pier.
- (b) Prerequisites. A dock deck may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a seawall along the entire length of the shoreline within the leased area, and has constructed fixed pier.
- (c) Elevation Zone. A dock deck shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a dock deck include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a dock deck. A watercraft is only allowed to moor at any portion of a dock deck for no more than 156-consecutive hours during any given week. All dock decks shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a dock deck shall not be designed to prevent public access to an area of water. Dock decks shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the Lake. Accessories placed on the flat surface of a dock deck or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.
 - (1) Building Materials. The catwalk and/or dock deck and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a dock deck shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. Dock decks above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. Dock decks constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all dock decks shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall *not* be used.
 - (2) Height. No pole structures incorporated into a dock deck shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.
 - (3) Size. The footprint of the exterior sides of a dock deck adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (i.e. 80 SF) and a maximum of 12-feet by 30-feet (i.e. 360 SF). Dock



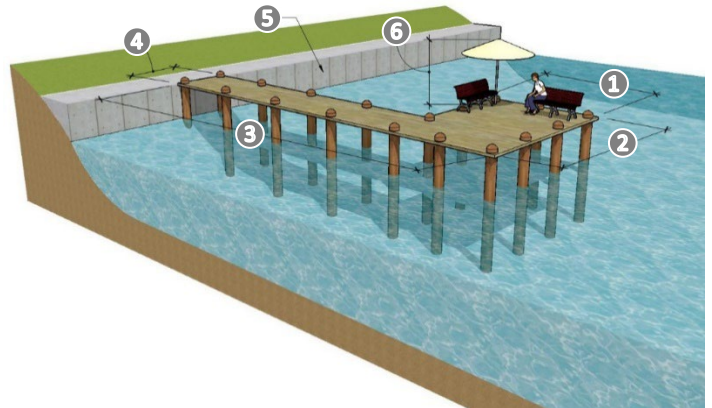
decks shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e.* 435.5).

- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a dock deck at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a dock deck.
- (5) Additional Construction Standards.
- (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to dock decks. Dock decks shall not be allowed on land.
- (f) Setback Requirements. A dock deck must adhere to the following setbacks:
- (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a dock deck provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area

allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A dock deck must comply with all other applicable City of Rockwall codes.
- (3) Address. All dock decks shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No dock deck shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



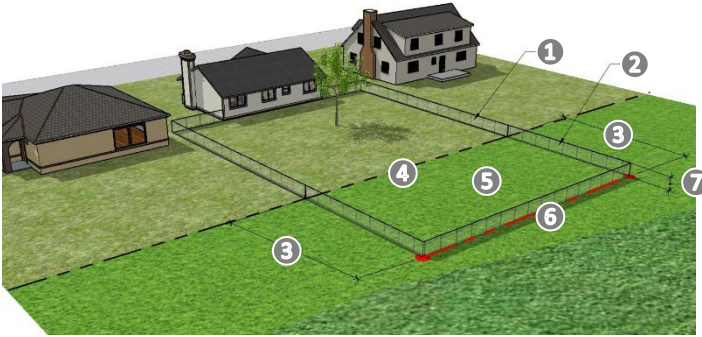
①: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30- FEET; ②: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12- FEET; ③: 40- FOOT MAXIMUM; ④: SIX (6) FOOT MAXIMUM; ⑤: SEAWALL; ⑥: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A fence is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the Takeline corners (*i.e.* the rear property line corners of the property leasing the



take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).



1: EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; 2: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; 3: MAXIMUM OF 45-FOOT ALONG THE LEASE LINE OF THE TAKELINE; 4: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; 5: 438.0 ELEVATION ZONE; 6: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; 7: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A fence shall *only* be constructed of wrought iron or black tubular steel.
- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.

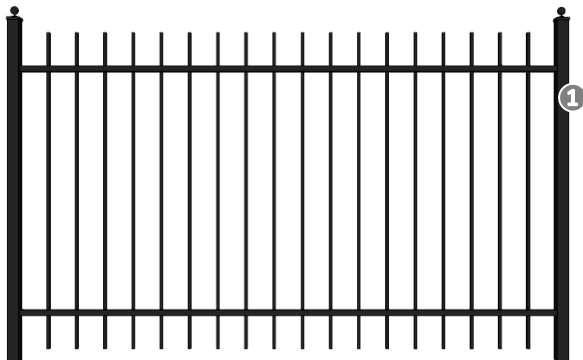
(f) Setback Requirements. A fence must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



1: FOUR (4) FOOT WROUGHT IRON FENCE

(7) Flagpole.

(a) Definition. A flagpole is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.

(b) Prerequisites. A flagpole may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A flagpole shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A maximum of two (2) flagpoles, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.

(e) Construction Standards.

- (1) Building Materials. A flagpole shall *only* be constructed of either stainless steel or aluminum.
- (2) Height. A flagpole shall not exceed a maximum height of 20-feet from grade.
- (3) Size. At the ground base a flagpole shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
- (4) Location. A flagpole located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Flagpoles shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A flagpole must adhere to the following setbacks:

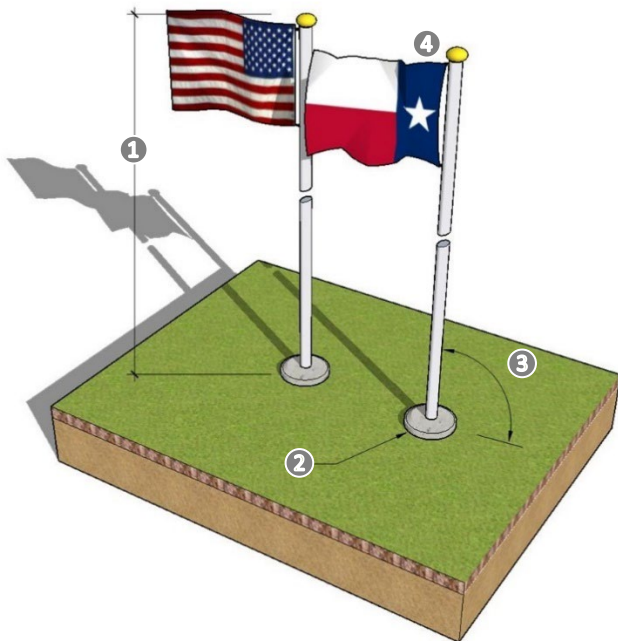
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a flagpole must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A flagpole must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The flagpole shall not be located in an area where it would block public safety

personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



① : MAXIMUM OF 20-FEET FROM GRADE; ② : AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③ : MAINTAINED TO BE 90-DEGREES FROM GRADE; ④ : FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see [Subsection 06.15\(JK\)\(8\)\(h\)](#)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers

placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.

(e) Construction Standards.

- (1) Building Materials. The catwalk and any benches built on these structures shall utilize only composite materials (e.g. *wood composite* or *synthetic wood* where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. *wood composite* or *synthetic wood* where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
- (2) Height. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) Size. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a



maximum height of eight (8) feet can be placed at the end of a *fixed pier*.

(5) Additional Construction Standards.

- (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (b) Catwalks. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-foot mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) Location. View corridor restrictions do not apply to *fixed piers*.

(f) Setback Requirements. A *fixed pier* must adhere to the following setbacks:

- (1) Takeline Setback: 0-feet
- (2) Leased Side Yard Setback: 10-feet
- (3) Maximum Distance from Seawall: 40-feet

(g) Additional Requirements.

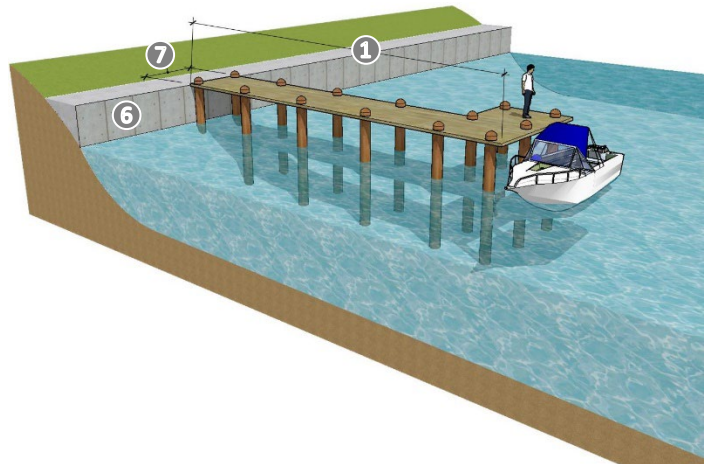
- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

(2) Compliance with Applicable Codes. A *fixed pier* must comply with all other applicable City of Rockwall codes.

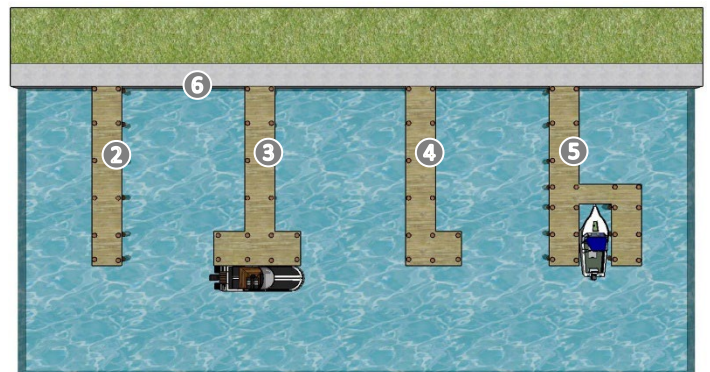
(3) Address. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

(4) Easement Protection. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



1 : 40-FOOT MAXIMUM; 2 : PIER IN AN 'I' SHAPE; 3 : PIER IN 'T' SHAPE; 4 : PIER IN A 'L' SHAPE; 5 : PIER IN A 'U' SHAPE; 6 : SEAWALL; 7 : SIX (6) FOOT MAXIMUM



(9) Fire Pit.

(a) Definition. A *fire pit* is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.

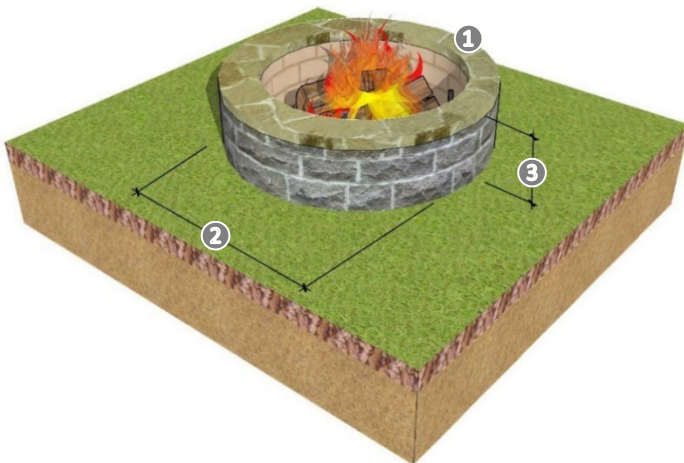
(b) Prerequisites. A *fire pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *fire pit* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted.



- (d) Conditional Use Standards. A fire pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).
- (e) Construction Standards.
- (1) Building Materials. The surround (i.e. the area used to contain the fire) for a fire pit must be constructed utilizing a combination of natural stone, brick, and/or concrete.
 - (2) Height. A fire pit shall not exceed a maximum of 36-inches in height.
 - (3) Size. A fire pit shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a fire pit should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A fire pit must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a fire pit must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A fire pit must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



① : NATURAL STONE, BRICK, AND/OR CONCRETE; ② : MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ③ : MAXIMUM HIEGHT OF 36-INCHES OR THREE (3) FEET.

(10) Gazebo.

- (a) Definition. A gazebo is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.

- (b) Prerequisites. A gazebo may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A gazebo shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A gazebo shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (1) Building Materials. A gazebo built in the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. The side trellis of the gazebo may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A gazebo built in the 435.5 Elevation Zone shall only be built out of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A gazebo will be constructed using steel reinforced concrete piers.
 - (2) Height. A gazebo shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the gazebo shall be measured from grade to the vertex of the gazebo's main roof or clerestory/cupola roof. In either case a gazebo shall not be larger than one (1) story or incorporate a balcony.
 - (3) Size. A gazebo shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.
 - (4) Roof. The roof of the gazebo shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the gazebo can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.
 - (5) Location. A gazebo located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Gazebos shall not be placed in the view clear zone of a neighbor's view corridor.



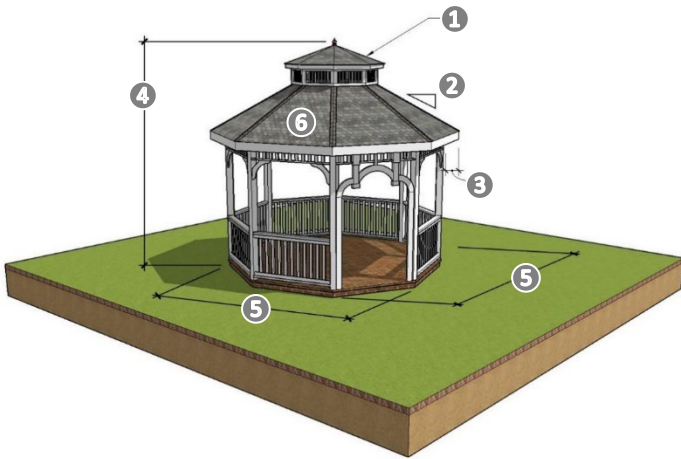
(f) Setback Requirements. A gazebo must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a gazebo must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A gazebo must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The gazebo shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 2:1 MINIMUM ROOF PITCH; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 18-FEET MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FEET WITHOUT A CUPOLA OR CLERESTORY; 5: 12-FEET MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) Landing and Stairs.

- (a) Definition. A *landing* is the area of a floor near the top or bottom step of a stair. A *stair* is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A *landing and stairs* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 or 425.5 Elevation Zones -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *landing and stairs* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Permitted (if a Seawall has been constructed).

NOTE: A landing and stairs located in the 425.5 Elevation Zone is permitted beside the lake but not upon or over the lake.

(d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.

(e) Construction Standards.

- (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
- (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
- (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
- (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A landing and stairs must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 5-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a landing and stairs must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A landing and stairs must comply with all other applicable City of Rockwall codes.

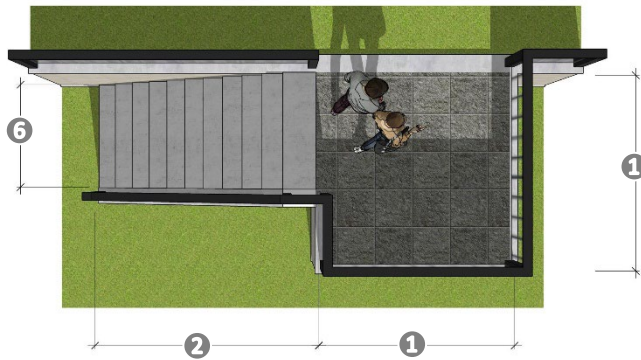
(h) Visual Representation.

PERSPECTIVE VIEW.





TOP VIEW.



①: MINIMUM OF EIGHT (8) FOOT BY EIGHT (8) FOOT LANDING; ②: VARIABLE LENGTH STAIRCASE; ③: WROUGHT IRON OR BLACK TUBULAR STEEL; ④: NATURAL STONE, BRICK, OR CONCRETE MATCHING THE RETAINING WALL; ⑤: VARIABLE HEIGHT BUT A MINIMUM OF THREE (3) FEET; ⑥: MAXIMUM OF SIX (6) FEET.

(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Remedial *landscaping* in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of [Article 08, Landscaping and Fence Standards, of the Unified Development Code \(UDC\)](#). For information regarding planting or removing trees see [Subsection \(F\)\(4\)](#) above.
- (e) Construction Standards.
 - (1) Building Materials. *Retaining walls* shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception of the 438.0 Elevation Zone. The use of

railroad ties, treated wood, pea gravel -- with the exception of using it as a base --, and brick shall be prohibited.

- (2) Height. *Retaining walls* as part of landscaping will be limited to less than three (3) feet.
 - (3) Location. *Landscaping and retaining walls* shall not hinder the view clear zone of an adjacent neighbor's view corridor. *Landscaping* shall not exceed six (6) feet in height in the view clear zone.
- (f) Setback Requirements. *Retaining walls* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *landscaping and retaining walls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. *Landscaping and retaining walls* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. *Landscaping and retaining walls* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

- (a) Definition. *Municipal utilities* represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.
- (b) Elevation Zone. *Municipal utilities* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Permitted.
- (c) Conditional Use Standards. All *municipal utilities'* infrastructure is permitted within the take area. *Municipal utilities* shall be placed underground.
- (d) Setback Requirements. *Municipal utilities* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (e) Additional Requirements.
 - (1) Compliance with Applicable Codes. *Municipal utilities* must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

- (a) Definition. Outdoor lighting is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.
- (b) Prerequisites. Outdoor lighting may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. Outdoor lighting shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted outdoor lighting allowed below the 438.0 Elevation Zone.

- (d) Conditional Use Standards. Systems and structures associated with outdoor lighting include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are not allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
- (e) Photometric Plan. A photometric plan describing compliance with the provisions of [Article 07, Performance Standards, of the Unified Development Code \(UDC\)](#) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for outdoor lighting. This plan shall be prepared by an appropriate lighting professional (e.g. *lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in [Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code \(UDC\)](#).
- (f) Construction Standards.

- (1) Building Materials. Outdoor lighting poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
- (2) Height. The height of outdoor lighting shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the 438.0 Elevation Zone should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
- (3) Location. Outdoor lighting fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for outdoor lighting associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
- (g) Setback Requirements. Outdoor lighting must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (h) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of outdoor lighting must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. Outdoor lighting must comply with all other applicable City of Rockwall codes.
 - (3) Municipal or Government Installed Lighting. Outdoor lighting installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. *rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) Patio.

- (a) Definition. A patio is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
- (b) Prerequisites. A patio may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A patio shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A patio shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

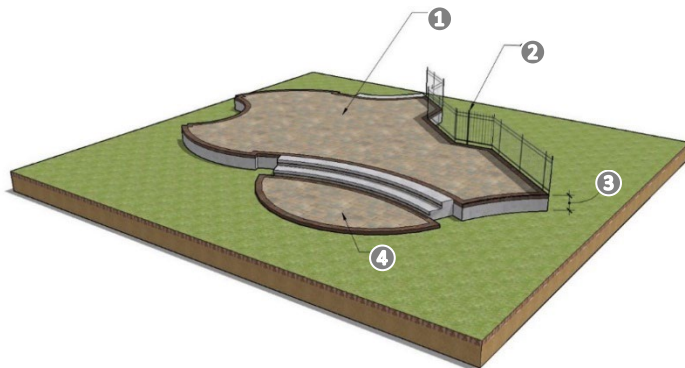
- (1) Building Materials. A patio must be constructed with natural stone. Handrails incorporated into a patio in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
- (2) Height. A patio shall not exceed a maximum height of 12-inches above grade.
- (3) Size. A patio shall not exceed a maximum area of 1,000 SF.
- (4) Location. Patios shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A patio must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a patio must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A patio must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The patio shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.

❶: NATURAL STONE; ❷: WROUGHT IRON OR BLACK TUBULAR STEEL; ❸: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ❹: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A pergola is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.
- (b) Prerequisites. A pergola may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the*

435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A pergola shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A pergola shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.(e) Construction Standards.

- (1) Building Materials. A pergola constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A pergola constructed within the 435.5 Elevation Zone must be constructed using composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

- (2) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.

- (3) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

- (4) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.

- (5) Location. A pergola located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A pergola must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

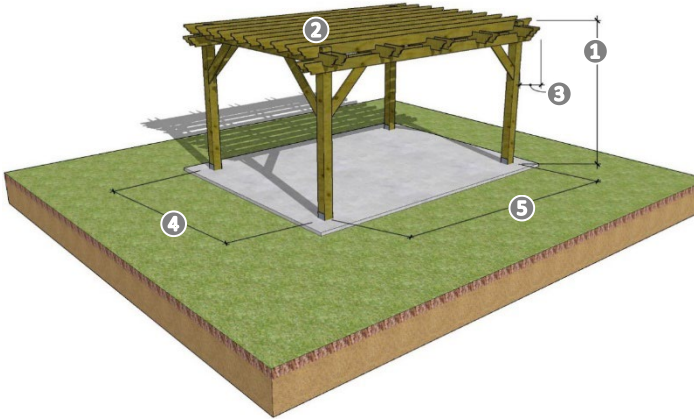
- (1) Earth Work. Earth work required for the construction of a pergola must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

- (2) Compliance with Applicable Codes. A pergola must comply with all other applicable City of Rockwall codes.



- (3) Emergency Response. The *pergola* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: 12-FOOT MAXIMUM HEIGHT; 2: OPEN ROOF OF GIRDERS OR RAFTERS; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 12-FOOT MAXIMUM; 5: 20-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(17) Picnic Table.

- (a) Definition. A *picnic table* is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *picnic table* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (i.e. no roof covering) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.
- (e) Construction Standards.
 - (1) Building Materials. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.
 - (2) Height. A *picnic table* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.
 - (4) Location. A *picnic table* located within the 435.5 *Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic*

tables shall not be placed in the view clear zone of a neighbor's view corridor.

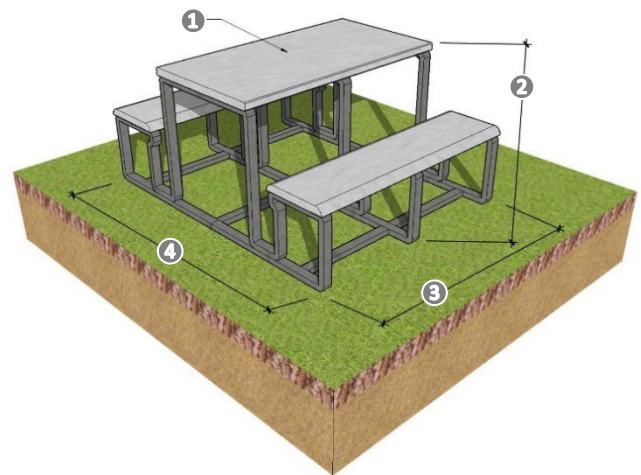
- (f) Setback Requirements. A *picnic table* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

- (g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *picnic table* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; 2: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; 3: EIGHT (8) FOOT MAXIMUM; 4: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

- (a) Definition. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *private play structure* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *private play structure* can consist of arched ladders, vertical ladders, horizontal



ladders, clutter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.

(e) Construction Standards.

- (1) Building Materials. A private play structure shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a private play structure should blend and incorporate the same hues and tones of the surrounding landscaping.
- (2) Height. A private play structure shall not exceed a maximum of eight (8) feet in height.
- (3) Size. All private play structures will be situated in a collected area that is a maximum of 1,000 SF in area.
- (4) Location. Private play structures shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A private play structures must adhere to the following setbacks:

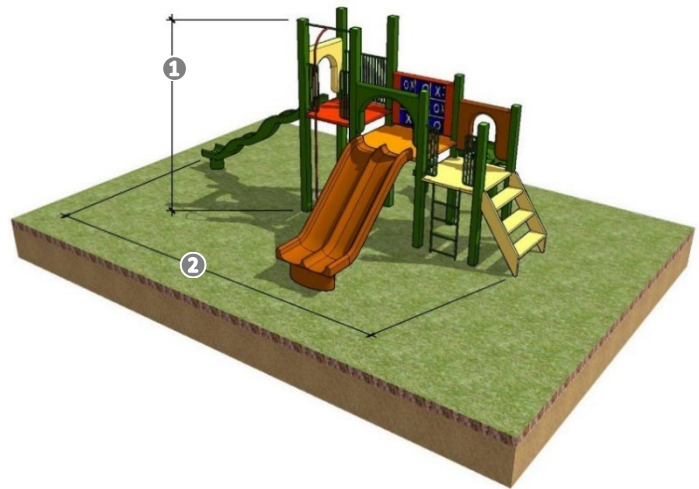
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a private play structures must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A private play structure must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The private play structure shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.

Continued on Next Page ...



①: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ②: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ③: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

(a) Definition. Private utilities are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.

(b) Prerequisites. Private utilities may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. Private utilities shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. Private utilities are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. Private utilities containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.

(e) Construction Standards.

(1) Building Materials. Private utilities shall only be constructed out of materials permitted by the City's Engineering Department.

(2) Location. Private utilities within 20-feet of the normal pool elevation shoreline (*i.e.* 435.5) shall be built to handle load factors associated with emergency and service vehicles. Private utilities containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.



(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) Private Walkways.

- (a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.
- (b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. *Private walkways* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private walkways* with steps are permitted (see *Landing and Stairs in Subsection 06.15(J)(11)*).
- (e) Construction Standards.
 - (1) Building Materials. *Private walkways* shall be constructed using native stone, brick, concrete and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, or asphalt.
 - (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
 - (3) Size. *Private walkways* shall be no greater than 48-inches in width.
 - (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is

responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. *Private walkways* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *seawall* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.

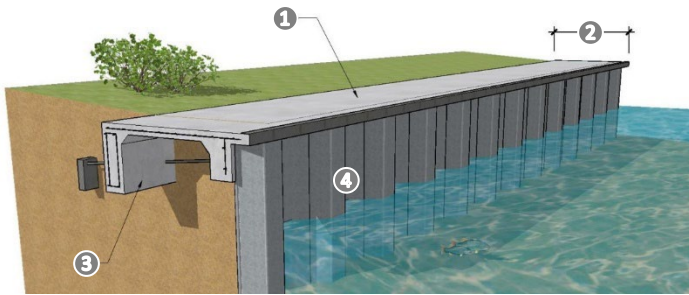
NOTE: Seawalls are only permitted along the shoreline.

(d) Construction Standards.

- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a seawalls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A seawall must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.

① : CONCRETE WALKWAY; ② : SIX (6) FOOT MINIMUM; ③ : 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; ④ : RETAINING WALL.

(22) Sprinkler/Irrigation System.

- (a) Definition. A *sprinkler/irrigation system* is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (b) Prerequisites. A *sprinkler/irrigation system* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *sprinkler/irrigation system* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (d) Conditional Use Standards. A *sprinkler/irrigation system* must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.
- (e) Construction Standards.
 - (1) Building Materials. A *sprinkler/irrigation system* shall *only* be constructed utilizing *Schedule 40 PVC pipe*.
 - (2) Height. The heads of a *sprinkler/irrigation system* used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
 - (3) Location. A *sprinkler/irrigation system* shall be allowed up to one (1) foot of the normal pool elevation shoreline (*i.e.* 435.5) provided no part of

the system could potentially result in lake siltation erosion.

- (f) Setback Requirements. A *sprinkler/irrigation system* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

SUBSECTION 06.16: VARIANCES TO THE GENERAL OVERLAY DISTRICT STANDARDS

See [Subsection 09.02, Variances to the General Overlay Districts Standards, of Article 11, Development Applications and Review Procedures.](#)

SECTION 07 | DISTRICT DEVELOPMENT STANDARDS

See next page.

THE STATE OF TEXAS §
CITY OF ROCKWALL §

HOMEOWNER'S ASSOCIATION (HOA) SUBLEASE AGREEMENT

This Sublease Agreement (hereinafter referred to as the "Sublease") is made and entered into this ___ day of _____ by and between the City of Rockwall, Texas, a political subdivision of the State of Texas herein called "Sublessor," and the _____ Homeowner's Association (HOA), herein called "Sublessee."

RECITALS

- (A) On or about the 16th day of January, 2001, Sublessor (as lessee) and the City of Dallas, Texas (as Lessor) entered into an Interlocal Agreement and Lease (hereinafter defined and described as the "Base Lease") covering the lease of the Lake Ray Hubbard take line area, which encompasses the Leased Area as hereinafter defined. Said Interlocal Agreement and Lease is incorporated herein by reference and said Lease shall expire on January 16, 2041.
- (B) Sublessor is a municipal corporation, which has leased from the City of Dallas the land adjacent to Lake Ray Hubbard, which encompasses the perimeter boundary of Dallas' property at the lake for the purposes as set out in the Base Lease.
- (C) Sublessor desires to sublease to Sublessee the leased area adjacent to Sublessee's jurisdictional boundary being depicted and described by the hereto attached *Exhibit 'A'* survey of the sublease property, during the term hereof, so as to permit use and enjoyment of same by said Sublessee.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are mutually acknowledged, the parties hereby agree as follows:

ARTICLE 1. DEFINITIONS

- (A) "**Interlocal Agreement**" means the Base Lease, or Master Lease, covering the lease of the Lake Ray Hubbard take line area by the City of Dallas to the City of Rockwall, dated January 16, 2001, which encompasses the Leased Area as defined herein.
- (B) "**Lake**" means Lake Ray Hubbard.
- (C) "**Take Line**" means the perimeter boundary of Dallas' property at the Lake.
- (D) "**Take Area**" means the land owned by Dallas between the Take Line and the normal Lake pool elevation (435.5 mean sea level).
- (E) "**Lake Area**" means the City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the Lake at normal Lake pool elevation (property at or below elevation 435.5 mean sea level).
- (F) "**Lake Ray Hubbard Overlay District Ordinance**" means Subsection 06.16 of the City of Rockwall Unified Development Code, known as the Lake Ray Hubbard Take line Overlay District.

- (G) **“Leased Area”** means the Take Area that is within the City Limits of Rockwall, or where the Take Line is directly adjacent to the City Limits of Rockwall.
- (H) **“Maintenance Responsibilities”** shall mean keeping the erosion control structure(s) in good condition throughout the term hereof so that such structures remain capable of proper protection against erosion.
- (I) **“Subleased Premises”** means the area hereby subleased and more particularly described in Article 3 herein.
- (J) **“HOA Area”** means the Leased Area where the Take Line is adjacent to the boundaries of the Homeowner’s Association (HOA) and where no commercial activity exists, or is proposed to exist, on Dallas property. If commercial activity occurs in a HOA Area, that portion of the Leased Area will be considered a Commercial Area.
- (K) **“Sublessee”** means a person or entity subleasing Dallas property in the Leased Area from City of Rockwall. Sublessee shall be an adjacent property owner.
- (L) **“Shoreline”** means the line along the shore of the Lake, established by the normal Lake pool elevation (435.5 mean sea level).
- (M) **“New Immediate Action Area”** means any section of the Leased Area where any of the following has occurred:
- (1) The shoreline is within 30 feet or less of the Take Line;
 - (2) A public hazard exists or can be expected to be created by erosion within a short period of time;
 - (3) Structures are at risk of structural damage due to erosion; or,
 - (4) Existing adjacent erosion protection is impeded if erosion is allowed to continue.
- (N) **“Critical Areas”** mean areas determined to be immediate action erosion control areas, as defined in the 1987 “Lake Ray Hubbard Erosion Control Study” by Bernard Johnson Incorporated (*the Bernard Johnson Report*), a copy of which is available for review at the City of Rockwall Parks and Recreation Department.

ARTICLE 2. PURPOSE AND INTENT

The purpose of this sublease agreement is to permit the use of property along the take area of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth procedures for the development of said property and establishing an appeal process for the terms of Lake Ray Hubbard Overlay District Ordinance adopted by the City of Rockwall. The zoning overlay district has its basis in and is intended to serve as one implementation tool for the Lake Ray Hubbard Master Plan, adopted by the City of Dallas; the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the Lake Cities Coalition (Garland, Rockwall, and Rowlett, Texas) and the City of Dallas, Texas; and the Comprehensive Plan for the City of Rockwall, adopted on December 17, 2001. The adoption of the zoning district is intended to provide a means for the protection of water quality, water supply, and the preservation of the natural environment and to enhance the quality of the Lake Ray Hubbard shoreline through regulation of manmade facilities. For those properties that take part in the City of Rockwall Residential Sublease Agreement the overlay zoning ordinance is to be used in conjunction and in addition to the erosion control and engineering standards as well as other development related ordinances, such as but not limited to, landscaping ordinance, tree preservation ordinance and outdoor lighting.

ARTICLE 3. SUBLEASED AREA

- (A) Sublessor, for and in consideration of the rents, covenants and promises herein contained to be kept, performed and observed by Sublessee has subleased to Sublessee, for and in consideration of the covenants and agreements herein does hereby accept from Sublessor, the Subleased Area as more specifically described by the hereto attached *Exhibit 'A'* (survey of the Take Area) and subsequent to the terms and conditions as hereafter described. Sublessee acknowledges that it has inspected the Subleased Area to their satisfaction and accepts the Subleased Area "As Is" and with all faults and defects, whether known or unknown to either Sublessor or Sublessee and without representation or warranty of any kind from Sublessor as to the status or condition thereof.
- (B) All structure and/or improvements that exist in the Take Area at the time this agreement is executed shall be the responsibility of the Sublessee, and shall be maintained in accordance with the requirements of the City of Rockwall.
- (C) All structures and/or improvements in the Take Area **shall require a building permit** issued by the City of Rockwall consistent with applicable ordinances and regulations of Takeline Area Overlay District allowed uses, and shall be constructed in accordance with the approved site plan depicted in *Exhibit 'B'* of this sublease agreement.
- (D) Sublessee acknowledges that the decision to lease the Subleased Area is based solely upon the Sublessee's comprehensive inspection of the Subleased Area and not upon any warranty or representation of Sublessor, or of Sublessor's employees, agents or representatives with regard thereto. Without limiting the foregoing, **THERE IS NO WARRANTY, EXPRESSED OR IMPLIED, OF SUITABILITY, MERCHANT ABILITY, HABITABILITY, OR FITNESS FOR ANY PARTICULAR PURPOSE GIVEN IN CONNECTION WITH THIS LEASE.**
- (E) **IT IS UNDERSTOOD BY BOTH THE CITY OF ROCKWALL AND SUBLESSEE THAT THE WATER LEVEL IN THE LAKE WILL NOT REMAIN CONSTANT AND THAT ALL LAND IN THE SUBLEASED PREMISES IS SUBJECT TO FLOODING. THE PARTIES AGREE THAT NEITHER THE CITY OF DALLAS NOR THE CITY OF ROCKWALL SHALL BE RESPONSIBLE FOR DAMAGES TO ANY STRUCTURES, FACILITIES, LANDSCAPING, OR OTHER PROPERTY DAMAGE ON THE SUBLEASED AREA DUE TO WIND, WATER, EROSION, FLUCTUATING WATER LEVELS, OR FLOATING DEBRIS.**

ARTICLE 4. SUBLEASE TERM

- (A) Subject to the terms and conditions of this Sublease, the demise set forth in Article 3 above shall be for the Sublease Term, which shall **expire on January 16, 2041**, unless otherwise terminated. HOA Area subleases cannot be further subleased.
- (B) This sublease shall terminate and become null and void no later than **January 16, 2041**, unless extended by the parties hereto in writing subject to the provisions of the Base Lease or the Master Lease by and between the City of Dallas and the City of Rockwall. Any holding over or use and occupancy by Sublessee after the termination of this Sublease shall not constitute a renewal hereof or give Sublessee any rights hereunder in or to the Subleased Area upon termination. Upon termination of this Sublease, all improvements to the Subleased Area (whether or not constructed by Sublessee) shall be and become the property of Sublessor or its successors in interest; provided, however, Sublessee shall be entitled to remove from the Subleased Area removable equipment, provided that such removal can be accomplished without unreasonable injury to the Subleased Area or the removing improvements on the Subleased Premises.

- (C) This Sublease shall be terminated or canceled by the City of Rockwall in the event that the Interlocal Agreement between the City of Rockwall and the City of Dallas is terminated or canceled by agreement or operation of law. Sublessee shall be entitled to no compensation of any kind from the City of Rockwall or the City of Dallas if this Agreement is so canceled or terminated.
- (D) The annual sublease payment shall not exceed the estimated annual expenses of the City of Rockwall in administering all subleases and sublease areas, pursuant to the base lease, divided by the number of properties within the boundaries of the City of Rockwall within the Takeline area, and subleases or legally available for sublease.
- (E) Sublessee shall have the right to terminate this sublease if, at any time during this sublease, a material and substantial change in circumstances existing at the time of this sublease should occur. For the purpose of this paragraph, a "material and substantial change in circumstances" shall include but not be limited to a collective increase in the sublease payment of more than 100% over any ten (10) year period or less, or the elimination by the City Council of an authorized use for which the sublessee has in place.
- (F) Sublessor shall have the right to terminate this sublease if, at any time during this sublease, Sublessee breaches any provision of the sublease and fails to remedy the breach in accordance with Article VI. Sublessor shall not terminate sublease if Sublessee cures such breach within the cure period in Article VI.

ARTICLE 5. SUBLEASE PAYMENT

- (A) In accordance with Section III (C) of the Base Lease, Sublessee shall pay an initial payment of **\$200.00** to Sublessor and an annual payment of **\$100.00** due annually based on contract date. Said payment may be adjusted annually by the City during the term of the Sublease by majority vote of the City Council of the City of Rockwall.
- (B) Failure of sublessee to pay the annual payment as provided for in Section A shall be considered as an event of default. If Sublessee fails to pay the annual payment within thirty (30) days of receipt of notice, Sublessor may terminate this lease and take possession of any improvements on the leased premises subject to *Article 6, Section N* herein.

ARTICLE 6. USE OF SUBLEASED AREA

- (A) Sublessee agrees to use and maintain the Subleased Area in accordance with all City codes and regulations established by Sublessor for the Take Line area. Any violation of such regulations shall be considered a breach by Sublessee of this Agreement, for which Sublessor shall be entitled to take appropriate action if such violation is not cured. Sublessee specifically recognizes that the City of Dallas, as a third-party beneficiary, has the right to enforce the terms of this Agreement in the event of the Sublessee' breach of any of the terms contained herein.
- (B) Structures or appurtenances that shall be **prohibited** within the Subleased Area, without prior approval by Sublessor and the City of Dallas are as follows but not limited to:
 - (1) Propane tanks.
 - (2) Storage of gasoline, oils, diesel, or similar types of compounds.
 - (3) Storage of pesticides, herbicides, fungicides, or preservatives.

- (4) Use of pesticides, herbicides, fungicides, or preservatives that are not approved by the Texas Commission on Environmental Quality or US Environmental Protection Agency for use around water supplies, and on a listing approved provided by Dallas.
- (5) Storage of any hazardous materials, regardless of its nature.
- (6) Septic tanks and lateral lines (with the exception of city utilities).
- (7) Toilets.
- (8) Habitable structures.
- (9) Diving boards and slides over and/or into the lake.
- (10) Pets living quarters, livestock, maintenance of livestock or any such structure that houses or shelters livestock and/or pets, including but not limited to cattle, horses, swine, poultry.
- (11) Water wells.
- (12) Chemically preserved wood (e.g. railroad ties and telephone poles) in the water.

(C) Prohibited activities on the lake and shore area:

- (1) Shoreline (bank of the lake) will not be tapered, cut, smoothed, or altered in any way without a permit.
- (2) Leased shore area will not be excavated, channeled, cut, bored, dug, filled, smoothed, or altered in any manner unless specifically permitted.
- (3) Wheeled vehicles and all other motorized equipment are prohibited from operating on the lake bottom unless specifically authorized.
- (4) The construction of sandy beaches on the lake bottom at the shoreline are prohibited.
- (5) Removal of vegetation from the lake bottom at the shoreline is prohibited unless specifically authorized.
- (6) Railroad ties on the shoreline and Take Area are prohibited.
- (7) No dumping on the shoreline (bank of the lake) and take area of brush, leaves, bricks, logs, concrete rubble, asphalt rubble, soil, sand, gravel, rock, or any other material.
- (8) Garbage cans and waste receptacles are prohibited anywhere in the leased area.
- (9) No signage in the leased area unless specifically authorized.
- (10) No business activity will be performed from within the leased area.
- (11) No storage of personal items on the Take Area and shoreline unless specifically authorized by the City of Rockwall. Personal items includes but is not limited to boats, jet skis, rafts, watercraft, boat trailers, vehicles, campers, RVs, wood piles, lawn equipment, appliances, storage facilities, construction material, and storage of miscellaneous materials.
- (12) Drawing lake water for personal usage such as for irrigation is prohibited without a permit issued by Dallas Water Utilities.

Additional Requirements:

- (1) All tree removals will comply with the City of Rockwall Tree Preservation Ordinance.
- (2) A permit is required for any and all types of lake dredging and lake bottom earthwork.

- (3) Sublessee will immediately remove personal items littering the lake, particularly after a storm.
 - (4) No permit is required for minor repair or general maintenance of an authorized existing erosion control structure unless the repair or general maintenance will include different material than what was originally approved. A permit is required for modifications and alterations to existing erosion control structures.
 - (5) All boats on the shoreline must comply with the mooring time limit as specified in the Rockwall Takeline Overlay District Zoning Ordinance.
 - (6) Boats will in no way pollute lake waters from, but not limited to; bilge discharges, septic waste, fueling, cleaning, maintenance, and painting.
 - (7) Sublessee must first install an approved method of erosion control before the construction of lake structures. Lake structures will not be permitted without the placement of erosion control the entire length of the subleased shoreline.
- (D) Sublessee agrees that he/she will not make nor allow to be made, any unlawful, improper or offensive use of the premises, which would be injurious to any person or property, or which would violate the laws of the United States or the State of Texas, or any ordinance(s) of the City of Rockwall or the City of Dallas that may pertain to the demised premises. In the event of a conflict between the respective ordinances and/or the provisions of the lease the most restrictive shall apply. Sublessee shall be subject to the terms and penalties associated with ordinance and regulations violations in addition to the provisions of this Sublease.
- (E) The City of Rockwall and the City of Dallas retain the right to make regular or special inspections of the Subleased Premises to ensure that it is being maintained and used in accordance with the terms of this Sublease and the Base Lease and that all terms of this Sublease and the Base Lease are being upheld. The City of Rockwall will provide written notice of a breach or violation, or noncompliance with the terms of this Sublease or the Base Lease to Sublessee. Sublessee will have ten (10) days to correct and/or abate all violations, unless otherwise agreed by the City of Rockwall. If Sublessee has commenced and is pursuing the cure of the same, then after first advising the City Council of Rockwall or its designated representatives of Sublessee's effort to cure, Sublessee may utilize an additional ten (10) days, if approved by the City of Rockwall. Failure to correct all violations in the allotted time constitutes a material breach of this Sublease.
- (F) In the event of the default after the expiration of the applicable notice and cure periods (except for the non-payment of agreed sublease), the City of Rockwall shall be entitled in addition to any other penalties or fines to assess and receive from Sublessee as liquidated damages the sum of \$500.00 per day for each day the breach remains uncured.
- (G) Failure by the City to provide the ten (10) day notice described above shall not constitute a waiver of any breach of this Sublease. Waiver of any breach of any provision of this Sublease shall not be considered as a waiver of any subsequent breach of the same or any other provision of the Sublease.
- (H) The City of Rockwall has adopted the Takeline Area Overlay District Zoning Ordinance and policies for the construction of structures and/or other improvements in the Subleased Premises. A detailed site plan for construction of structures in accordance with the Take Area Zoning Ordinance adopted June 21, 2004, must be approved by the City of Rockwall and the City of Dallas prior to construction. If improvements or structures have been constructed in the Takeline area or the shoreline prior to the execution of this Sublease, all existing noncompliance items or encroachments that are not approved must be abated prior to the execution of this sublease agreement. No structures or improvements that are in noncompliance or are encroaching will be grandfathered.

- (I) Sublessee recognizes and consents to the City of Rockwall and the City of Dallas having the right of ingress and egress to the Subleased premises for any operational or maintenance purposes upon twenty-four (24) hours advance notification to Sublessee; except that no advance notice will be required in case of an emergency or possible health and/or safety hazards.
- (J) Sublessee understands that pursuant to the Base Lease Dallas will make a reasonable effort to repair any damage resulting from Dallas accessing the Take Area for utility maintenance and/or public safety vehicles, and will restore the damaged property as nearly as possible to its condition prior to the damage created by the City of Dallas accessing the Take Area; however, if the damage is located within a dedicated easement the requirements of that easement shall govern and no additional obligations are assumed by the City of Rockwall or the City of Dallas as a result of the execution of this Sublease. Likewise, the City of Rockwall will make a reasonable effort to repair any damage resulting from the City of Rockwall accessing the Take Area for utility maintenance and/or public safety vehicles, and will restore the damaged property as nearly as possible to its condition prior to the damage created by the City of Rockwall accessing the Takeline Area however, if the damage is located within a dedicated easement the requirements of that easement shall govern and no additional obligations are assumed by the City of Rockwall or the City of Dallas as a result of the execution of this Sublease.
- (K) Sublessee recognizes that the City of Rockwall may require easements in the future in the Subleased Area. Sublessee hereby agrees to approve future easements with the understanding that the Sublessor will make all reasonable efforts to avoid damage to existing improvements. If damage results from the use of a future easement, Sublessor will restore the damaged property as nearly as possible to its condition prior to the damage created by the Sublessor.
- (L) Sublessee recognizes that Sublessor has established specific setbacks, reservation of future easements or other development requirements unique to this Sublease. Such specific requirements are set forth in the Take Area Zoning Ordinance adopted June 21, 2004. Sublessee agrees to abide by all requirements during the term of the Sublease.
- (M) Sublessee recognizes that prior to placement of any structures and/or personal items, improvements, including, but not limited to: landscaping, construction or subgrade alterations on the Subleased Premises a construction alteration permit must first be obtained from the City of Rockwall. Such construction alteration permit will be in addition to any other permit or approval required by the City of Dallas. Time limits for completion of construction will be established at the issuance of the construction alteration permit. No construction will be considered complete and/or approved until a final inspection is conducted by the City of Rockwall and/or the City of Dallas or their appointed representatives.
- (N) If this lease is terminated for any reason stated within this agreement any structures and/or any improvements must be removed within 30 days.

ARTICLE 7. EROSION PROTECTION

- (A) For all subleases, the City of Rockwall will require sublessee of HOA Areas to either completely install, or pay for the installation of, Shoreline erosion protection in accordance with Section VI of the Base Lease or Master Lease in Critical Areas, whenever such Critical Areas may arise (as defined in Section VI (A) Base Lease), before execution of the sublease. Erosion protection required under the sublease must be completed no later than twelve (12) months from the date of execution of the sublease, but prior to, or concurrent with, a sublessee's commencement of construction of any improvements. If a Critical Area arises after execution of the sublease, the City of Dallas or the City of Rockwall are not responsible for any erosion control measures required and the

sublessee shall not look to the City of Dallas or the City of Rockwall for action. If any part of the subleased area becomes a Critical Area after execution of the sublease, the sublessee of a residential area may, at sublessee's option, install erosion protection in accordance with this sublease agreement and Base Lease. Erosion protection required under the sublease must be completed prior to a sublessee's commencement of construction of any improvements of any kind on the leased area, subject to the City of Rockwall's permitting process.

- (B) In areas determined to be Critical Areas or New Immediate Action Areas, as defined above (collectively referred to as "Critical Areas"), the Sublessee will be responsible for installation and maintenance of erosion control. Such required erosion protection must be completed no later than twelve (12) months from the date of execution of this Sublease, but prior to, or concurrent with, the Sublessee's commencement of construction of any improvement. If the City of Dallas has installed or performed maintenance or erosion control in any Critical Area, the Sublessee will reimburse the City of Dallas for the cost of installation and maintenance from the date of execution of the Base Lease to the later of, the date of execution of the Sublessee's sublease with the City of Rockwall, or the date of installation of the erosion control. If Dallas installed or performed maintenance or erosion control in any area that is not a Critical Area, the Sublessee will reimburse Dallas for the cost of installation and maintenance from the date of execution of the Base Lease to the date of execution of the Sublessee's sublease with the City of Rockwall (*i.e.* there will be no retroactive reimbursement obligations of the Sublessee in a non-Critical Area; the full extent of the erosion reimbursement obligations of the Sublessee in a non-Critical Area will be known at the time of execution of the sublease). Reimbursements can be paid in a lump sum or over a term to be determined by Dallas. Term payments will include interest charges and the term will not exceed the life of the asset. Sublessee shall assume maintenance responsibility for existing or proposed erosion control.
- (C) Sublessee may install erosion control subject to the written approval of the City of Dallas and the City of Rockwall. Sublessee will be responsible for maintenance of the installed erosion control in the same manner as set out above.
- (D) The City of Dallas and the City of Rockwall will establish a listing of types of erosion control approved for use around the Lake, based on the Bernard Johnson Report or engineering data or criteria list. The list may be expanded jointly by Dallas and the City of Rockwall should new and approved technology become available for such erosion control. If the City of Dallas or the City of Rockwall installs erosion control, it can install any type listed in the Bernard Johnson Report, or on the updated/approved listing, as it deems economically and/or environmentally feasible.
- (E) The Sublessee may reclaim lost Shoreline with the approval of the City of Rockwall and prior written approval of the City of Dallas, as determined on a case-by-case basis. Any reclamation or cut and fill in the Lake or at the Shoreline shall not reduce the usable water storage capacity or flood storage capacity of the Lake, as determined by the City of Dallas. Sublessee, or the parties performing the reclamation, will be responsible for obtaining all related permits for the reclamation, such as the U.S. Army Corps of Engineer permits.
- (F) No activities will be allowed which will increase the erosion of the Shoreline property, including any alteration of vegetation or property, as determined by the City of Dallas as described by the Bernard Johnson report.
- (G) Erosion control installations must comply with all local, state, and federal laws, regulations and requirements and shall be designed by a licensed professional engineer and installed by a competent contractor with demonstrated experience in the installation of that system.
- (H) Sublessee agrees to allow abutting Sublessee(s) to connect to the erosion protection mechanism so installed, so as not to create gaps between abutting properties in said erosion protection.

ARTICLE 8. HOLD HARMLESS

Sublessee hereby agrees to defend, indemnify and hold the City of Dallas and City of Rockwall, their respective officers, agents and employees, fully harmless from any claims, lawsuits or expenses for personal injury (including death), property damage or other harm for which damages may be recovered under law, suffered by any person or persons (including but not limited to Sublessee), that may arise out of or be occasioned by Sublessee's fault or negligence in the use, occupancy, maintenance or operation of the Subleased Premises for any purpose, or that arises out of or is occasioned by erosion control improvements installed, used or maintained by Sublessee, or by Sublessee's failure to install erosion control devices as required under the Sublease, **REGARDLESS OF WHETHER OR NOT THE NEGLIGENCE OR FAULT OF THE CITY OF DALLAS OR THE CITY OF ROCKWALL IN OPERATING OR MAINTAINING THE LAKE AREA, OR ORIGINALLY INSTALLING OR MAINTAINING ANY EXISTING EROSION CONTROL IMPROVEMENTS ASSUMED BY SUBLESSEE, OR IN DETERMINING WHAT EROSION CONTROL IMPROVEMENTS WERE APPROPRIATE, CONTRIBUTED TO THE DAMAGE OR INJURY.**

ARTICLE 9. COVENANT RUNNING WITH THE LAND

- (A) This Sublessee cannot be further subleased by Sublessee. Sublessee agrees to notify in writing, Sublessor of any change in ownership of the property within five (5) days prior to closing but no later than ten (10) days of closing. This covenant shall be considered as a covenant running with the land and shall be filed for record in the deed records of Rockwall County, Texas.
- (B) It is the understanding of the parties that this Sublease contains the entire understanding of the Sublessor and Sublessee and that any change, alteration, or modification of this Sublease shall only be effective if in writing approved by both parties.
- (C) Sublessee further asserts that the Homeowner's Association (HOA) has received a summary of the Base Lease and the Takeline Area Overlay District Zoning Ordinance which is incorporated herein by reference and that he/she has read said Base Lease and understands its terms and provisions.
- (D) Sublessee will endeavor to provide Sublessor with a certificate that extends coverage under Sublessee's Homeowners Insurance Policy to the leased premises.

ARTICLE 10. SEVERABILITY

In case any one or more of the provisions contained in this Sublease shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision thereof and this Sublease shall be considered as if such invalid, illegal, unenforceable provision had never been contained in this Sublease.

ARTICLE 11. MISCELLANEOUS

- (A) This sublease, its exhibits, addenda, and riders are the entire agreement of the parties concerning the sublease of the Subleased Area by Sublessor to Sublessee. There are no representations, warranties, agreements, or promises pertaining to the Subleased Area or the sublease of the Subleased Area by Sublessor to Sublessee, and Sublessee is not relying on any statements or representations of any agent of the Sublessor, that are not in this Sublease and any exhibits, addenda, and riders. This Sublease may be amended only by an instrument in writing signed by Sublessor and Sublessee.
- (B) Alternative Dispute Resolution. The parties agree that, prior to instituting any lawsuit or other proceeding arising from a dispute under this agreement, the parties shall first attempt to resolve the dispute by taking the steps

described in this Section. First, the dissatisfied party shall deliver to the other party a written notice substantially describing the nature of the dispute, which notice shall request a written response to be delivered to the dissatisfied party not less than five (5) days after receipt of the notice of dispute. Second, if those persons cannot or do not resolve the dispute, then the parties shall each appoint a person within each respective party, who shall then promptly meet, in person, in an effort to resolve the dispute. Third, if the dispute is not resolved after such effort, the Sublessor and Sublessee agree to mediate in good faith before filing a suit for damages.

- (C) Governing Law; Venue. This Agreement and all of the transactions contemplated herein shall be governed by and construed in accordance with the laws of the State of Texas. The provisions and obligations of this Agreement are performable in Rockwall County, Texas such that exclusive venue for any action arising out of this Agreement shall be in Rockwall County, Texas.
- (D) Exhibits. All exhibits to this Agreement are incorporated herein by reference for all purposes wherever reference is made to the same.
- (E) Notices. Any notice or other communication required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been duly given if (i) delivered to the party at the address set forth below, (ii) deposited in the U.S. Mail, registered or certified, return receipt requested, to the address set forth below, or (iii) given to a recognized and reputable overnight delivery service, to the address set forth below:

IF TO SUBLESSEE:

City of Rockwall
City Manager
385 S. Goliad
Rockwall, TX 75987

WITH COPY TO:

City of Dallas
ATTN:
ADDRESS

IF TO SUBLESSEE

NAME OF HOA
ADDRESS

SUBLESSEE:

HOMEOWNER'S ASSOCIATION REPRESENTATIVE

HOMEOWNER'S ASSOCIATION

ADDRESS

PHONE NUMBER

EMAIL ADDRESS

SIGNATURE

ACKNOWLEDGMENT

THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the, undersigned, a Notary Public in and for said County and State, on this day personally appeared _____, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ___ day of _____, 202_.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

MY COMMISSION EXPIRES

EXHIBIT 'A': SURVEY OF SUBLEASED AREA

EXHIBIT 'B': APPROVED SITE PLAN

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] to allow certain Homeowner's Associations (HOA's) the ability to lease the *Lake Ray Hubbard Takeline*; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF OCTOBER, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

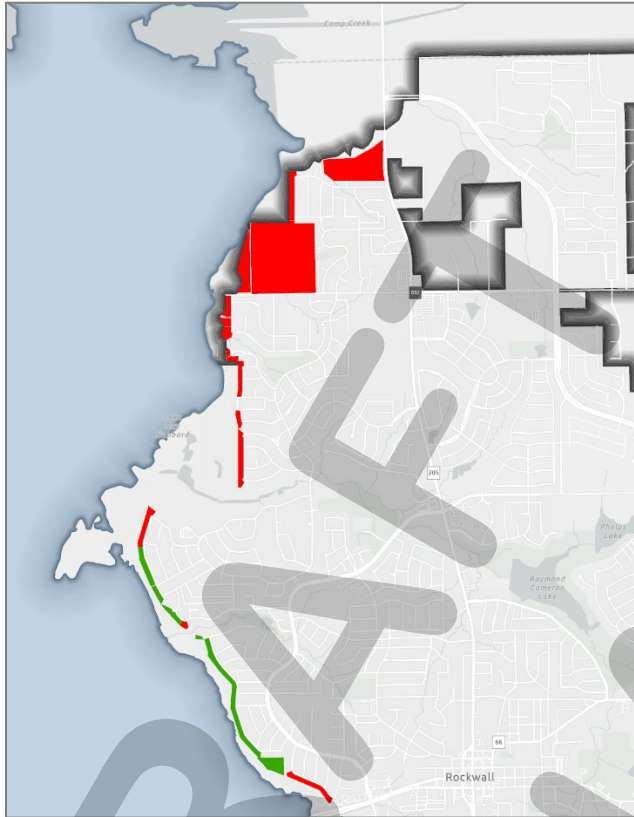
DRAFT
ORDINANCE
09.12.2023

Exhibit 'A'
*Article 05, District Development Standards, of the
Unified Development Code (UDC)*

Continued on Next Page ...



FIGURE 32: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP

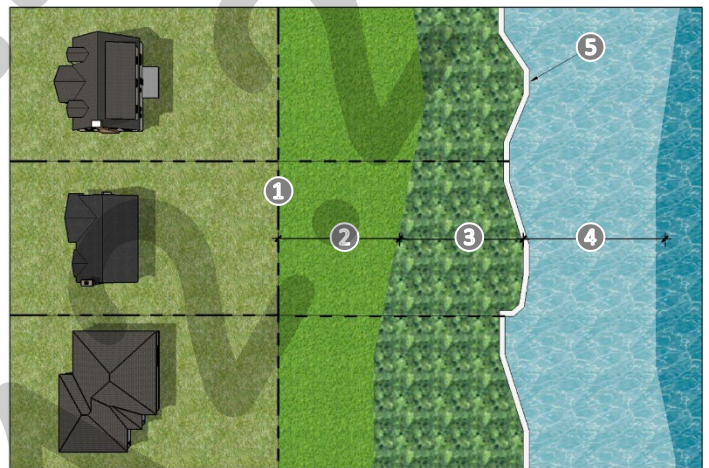


RED: NON-LEASEABLE PROPERTY
GREEN: LEASABLE PROPERTY
ORANGE: HOA LEASABLE AREA

SUBSECTION 06.16: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

- (A) **Purpose.** The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended to serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (i.e. Garland, Rockwall, and Rowlett) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality.
- (B) **Boundaries.** The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 2632, Lake Ray Hubbard Takeline [TL OV] District Map) and the meandering of the contour line 435.5-foot sea level elevation. In addition, Figure 2733: Elevation Contours, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 33: ELEVATION CONTOUR ZONES



1: REAR PROPERTY LINE/TAKE LINE; 2: 438.0 ELEVATION ZONE; 3: 435.5 ELEVATION ZONE; 4: 425.5 ELEVATION ZONE; 5: SEAWALL;

- (C) **Applicability.**
 - (1) **Applicable Lots.** The standards set forth within Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac or Homeowner's Association (HOA) that are eligible to lease. The properties and Homeowner's Associations (HOA's) that are eligible to lease the takeline area are depicted in Figure



2632: *Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.

(2) Exceptions for Lots Not Meeting the Applicability Standards.

The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(C)(1) above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (JK), Specifications for Permitted Land Uses. In addition, the following terms shall be defined as follows:

- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
- (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).
- (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.
- (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
- (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. *fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
- (6) Lake. Refers to Lake Ray Hubbard.
- (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. *property at or below an elevation of 435.5-foot mean sea level*).
- (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
- (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
- (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
- (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
- (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. *a slip*) for not more than 156-consecutive hours.
- (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.

(14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. *435.5-foot mean sea level*).

(15) Slip. A watercraft's berth between two (2) piers or between finger piers.

(16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. *435.5-foot mean sea level*).

(17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.

(18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.

(19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (see Figure 28: Visual Measurements for View Corridors of Subsection (E)).

(20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (see Figure 28: Visual Measurements for View Corridors).

(21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:

- (a) Motorized Boat. A boat propelled by an internal combustion engine.
- (b) Sail Boat. A boat with a mast and sail propelled by the wind.

(E) Visual Measurements for View Corridors.

(1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (i.e. *435.5-foot mean sea level*), and connecting these two (2) points in a straight line (see Figure 2834: Visual Measurements for View Corridors). Based on this linear measurement, the view clear zones are determined by the following:

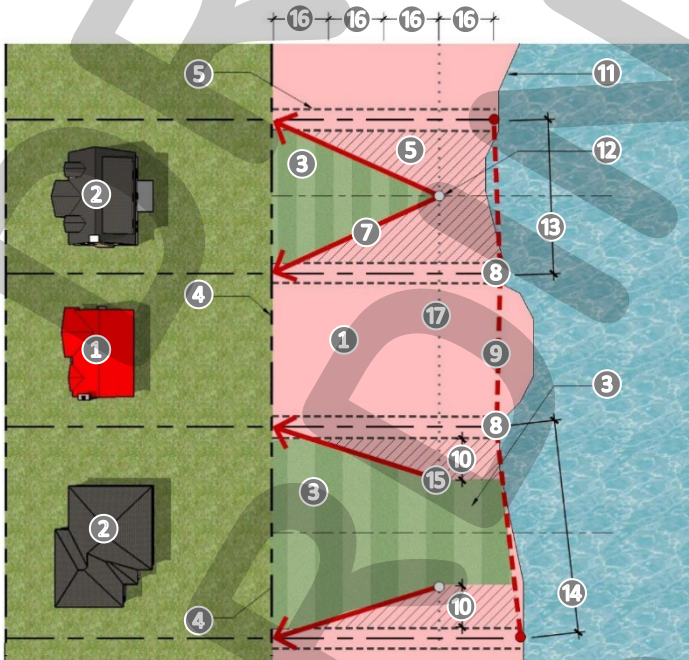
- (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (i.e. 25%) center point from the shoreline frontage line



along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

- (b) Lots That Have More 100-Foot or More Shoreline Frontage. The view corridor for lots that have 100-foot or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (i.e. 25%) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-foot along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

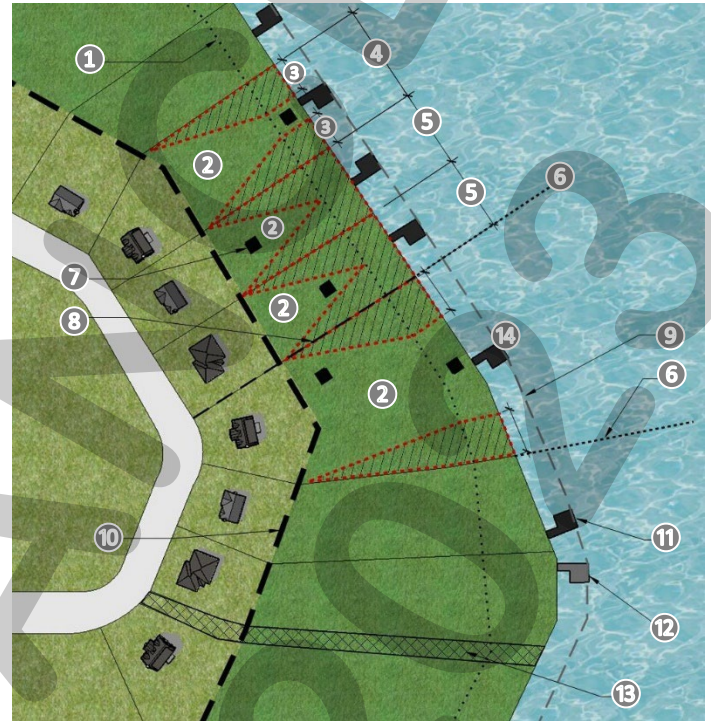
FIGURE 34: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



- 1: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); 2: NEIGHBORING PROPERTY; 3: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); 4: REAR PROPERTY LINE/TAKELINE; 5: VIEW CLEAR ZONE (LINED AREA); 6: LEASE AREA SIDE YARD SETBACK; 7: VIEW PRESERVATION ANGLE; 8: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; 9: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] 3 POINTS IN A STRAIGHT LINE); 10: 30-FOOT; 11: SHORELINE; 12: CENTER POINT AT THE QUARTER DISTANCE LINE; 13: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FOOT; 14: A LOT WITH A SHORELINE FRONTAGE 100-FOOT OR MORE; 15: 30-FOOT POINT ON THE

QUARTER DISTANCE LINE; 16: 25% OF THE TAKELINE AREA; 17: QUARTER DISTANCE LINE.

FIGURE 35 EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



- 1: QUARTER DISTANCE LINE; 2: BUILDABLE AREA; 3: 30-FOOT; 4: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOOT OR MORE; 5: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOOT; 6: LEASE AREA'S PROJECTED SIDE YARD; 7: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; 8: LEASE AREA'S SIDE YARD; 9: 40-FOOT BUILDING LINE; 10: REAR PROPERTY LINE/TAKELINE; 11: EXISTING BOATHOUSE; 12: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; 13: DRAINAGE EASEMENT; 14: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

- (1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(JK\)](#), [Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height):
 - (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
 - (b) 435.5 Elevation Zone. One (1) structure shall be permitted in the 435.5 Elevation Zone.
- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(JK\)](#), [Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height):



- (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (JK), Specifications for Permitted Land Uses.
- (b) 435.5 Elevation Zone: Structures in the 435.5 Elevation Zone should be generally centered in the lease area -- equal distance from both leased side yard boundary lines -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (JK), Specifications for Permitted Land Uses.
- (c) 425.5 Elevation Zone: Structures located in the 425.5 Elevation Zone should be generally centered along the shoreline -- equal distance from both the leased side yard boundary lines -- behind the primary structure of the leasing property.
- (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in Subsection (JK), Specifications for Permitted Land Uses, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (e.g. sand, fill, pea gravel) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a Treescape Plan showing the exact location, size (i.e. trunk diameter and height), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
 - (a) Planting Trees. Trees are permitted to be planted within the 438.0 Elevation Zone pending they are [1] not a variety specifically listed in the prohibited tree list contained in Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines

and Requirements, and [2] they are not located within the view clear zone outlined Subsection (E), Visual Measurements. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.

- (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures on Lease Property in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(JK)(6). For temporary structures on unleased property in the takeline area see Article III, Offenses Regarding the Use of the Lake Ray Hubbard Takeline, of Chapter 22, Miscellaneous Offenses of the Municipal Code of Ordinances.
- (G) Residential Sublease Agreement. A Residential Sublease Agreement is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A Residential Sublease Agreement shall be required to build certain structures within the takeline area. **The area to be leased by a single-family property owner shall be directly contiguous to the boundaries of the property and are only permitted in the areas depicted in GREEN on Figure 32, Lake Ray Hubbard Takeline (TL OV) District Map.** It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid Residential Sublease Agreement. An owner in violation of this section shall be subject to the requirements of Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code (UDC). The following shall be the costs associated with a Residential Sublease Agreement:

| Lease | Fees |
|---|----------|
| New Lease (i.e. New Never Leased by Current Owner) ² | \$200.00 |
| Annual Renewal of a Lease | \$100.00 |
| Change of Ownership of a Valid Lease | \$50.00 |
| Reinstatement of an Expired Lease (i.e. Same Property Owner) ³ | \$500.00 |

NOTES:

- ¹: To be subject to these new fees, a lease entered into after January 1, 2021 will be required (i.e. the effective date of the amendment adopting these fees).
- ²: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.



3: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

(H) Homeowner's Association (HOA) Sublease Agreement. A Homeowner's Association (HOA) Sublease Agreement is an agreement between a Homeowner's Association (HOA) and the City of Rockwall that grants the HOA certain rights to the exclusive use of the takeline area for their members. The area to be leased by the Homeowner's Association (HOA) shall be directly contiguous to the boundaries of the HOA and are only permitted in the areas depicted in ORANGE on Figure 32, Lake Ray Hubbard Takeline [TL OV] District Map. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid Homeowner's Association (HOA) Sublease Agreement. A Homeowner's Association (HOA) in violation of this section shall be subject to the requirements of Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code (UDC). The requirements for a Homeowner's Association (HOA) Sublease Agreement are as follows:

(1) Site Plan. Prior to the execution of a Homeowner's Association (HOA) Sublease Agreement, the Homeowner's Association (HOA) shall submit a Site Plan to the Director of Planning and Zoning in accordance with the procedures outlined in Subsection 01.02, Submission of an Application, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC). The Site Plan shall show all of the Activity Areas [see Subsection (H)(2) below], the proposed improvements for these areas, the required seawalls, fixed piers and/or dock decks, private walkways, and any landscaping for the leased area. The Planning and Zoning Commission shall review the Site Plan in accordance with the procedures contained in Section 03, Site Plans, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC). Upon approval of a Site Plan, the approved Site Plan shall be incorporated into the Homeowner's Association (HOA) Sublease Agreement. Should the Homeowner's Association (HOA) choose to amend the Site Plan, the Site Plan shall be amended in accordance with the procedures of Subsection 03.06, Amended Site Plan, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC). Upon approval of an amendment to the Site Plan, a new Homeowner's Association (HOA) Sublease Agreement shall be drafted containing the Amended Site Plan and superseding the original Homeowner's Association (HOA) Sublease Agreement.

(2) Activity Areas. In lieu of the requirements of Subsections (F)(1), Number of Permitted Structures, and (F)(2), General Location of Permitted Structures, -- and as part of the required Site Plan outlined in Subsection (H)(1) above -- the Homeowner's Association (HOA) shall identify Activity Areas where improvements can/will be made within the leased area. Improvements outside of the Activity Areas -- with the exception of landscaping and private walkways -- shall be prohibited for the purpose of preserving the view corridors of the existing residential properties. The Activity Areas shall generally adhere to the following requirements:

(a) Size. Activity Areas should not be larger than 50-feet by 50-feet, unless otherwise approved by the Planning and Zoning Commission. In reviewing the Activity Areas, the Planning and Zoning Commission shall consider how the proposed size affects the view corridors of the adjacent residential properties.

(b) Location. Activity Areas shall be spaced so that they are a minimum of 200-feet apart, and be setback a minimum of 25-feet from the rear or side yard property line of any residential property. In addition, the Activity Areas shall be located in a manner that will create the least amount of impact to the adjacent property owners and their view corridors.

(c) Seawalls. Prior to the construction of an Activity Area, a seawall, conforming to Subsection (K), Specifications for Permitted Land Uses, and extending 100-feet on either side of the Activity Area, shall be required to be constructed.

(3) Fixed Piers and Dock Decks. Fixed piers and dock decks, conforming to Subsection (K), Specifications for Permitted Land Uses and spaced a minimum of 200-feet apart, are permitted along the leased area; however, a seawall, conforming to Subsection (K), Specifications for Permitted Land Uses and extending 100-feet on either side of the fixed pier or dock deck, shall be required with the proposed improvements.

(4) Prohibited Land Uses. Boathouses, as defined in Subsection (K), Specifications for Permitted Land Uses, shall be prohibited in the leased area associated with any Homeowner's Association (HOA) Sublease Agreement; however, in the event a boathouse existed in the leased area prior to the execution of the Homeowner's Association (HOA) Sublease Agreement, the HOA shall assume responsibility for the existing improvement in accordance with Subsection (H)(5) below.

(5) Existing Improvements. As part of the Homeowner's Association (HOA) Sublease Agreement, the HOA shall be required to assume responsibility for any existing improvements and the maintenance of these improvements in the leased area.

(6) Fees. The following shall be the costs associated with a Homeowner's Association (HOA) Sublease Agreement:

| Lease | Fees |
|--|----------|
| New Lease (i.e. New Never Leased by HOA) ¹ | \$200.00 |
| Annual Renewal of a Lease | \$100.00 |
| Reinstatement of an Expired Lease (i.e. Same HOA) ² | \$500.00 |

NOTES:

¹: A lease is considered to be new if the property has never had a valid lease agreement or if a site plan has been amended in accordance with the procedures of Subsection (H)(1).

²: A lease is considered to be a reinstatement when it lapses or expires, and then the Homeowner's Association (HOA) requests a new lease.

(H)(1) Permitted Uses. All of the uses permitted within the Lake Ray Hubbard Takeline Overlay (TL OV) District shall adhere to all other



applicable codes and the permitting requirements of the City of Rockwall. For a list of permitted land uses see [Subsection \(JL\), Specifications for Permitted Land Uses](#), or [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#).

(H)(J) *Specific Use Permits (SUPs)*. A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in [Subsection \(JK\), Specifications for Permitted Land Uses](#) or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by [Subsection \(JK\), Specifications for Permitted Land Uses](#); however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in [Subsection \(JK\), Specifications for Permitted Land Uses](#), or [Subsection \(F\), General Requirements](#), is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in [Subsection \(E\), Visual Measurements](#). A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in [Subsection \(JK\), Specifications for Permitted Land Uses](#), (e.g. jet ski lift) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

(H)(K) *Specifications for Permitted Land Uses*. See [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#), for a summary of the development standards for each of the following conditional uses.

(1) *Barbecue Pit*.

- (a) *Definition*. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (for *Fire Pit* see [Subsection 06.15\(JK\)\(9\)](#)).
- (b) *Prerequisites*. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) *Elevation Zone*. A *barbecue pit* shall be allowed in the following zones:
 - (1) [438.0](#): Permitted.
 - (2) [435.5](#): Not Permitted.
 - (3) [425.5](#): Not Permitted.
- (d) *Conditional Use Standards*. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. *natural gas or propane*).
- (e) *Construction Standards*.
 - (1) *Building Materials*. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.
 - (2) *Height*. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.
 - (3) *Size*. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3)

feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.

- (f) *Setback Requirements*. A *barbecue pit* must adhere to the following setbacks:
 - (1) *Takeline Setback*: 0-Feet
 - (2) *Leased Side Yard Setback*: 6-Feet
- (g) *Additional Requirements*.
 - (1) *Earth Work*. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) *Compliance with Applicable Codes*. A *barbecue pit* must comply with all other applicable City of Rockwall codes.
- (h) *Visual Representation*.



①: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH; ②: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH; ③: A MAXIMUM OF SIX (6) FEET;

(2) *Boathouse*.

- (a) *Definition*. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) *Prerequisites*. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.
- (c) *Conditional Use Standards*. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store



sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) Elevation Zone. A *boathouse* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials) -- products equivalent to Trex brand are preferred -- for decking, galvanized metal/iron/steel or aluminum (with a minimum color rating of AAMA 2604) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellant sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3)

feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.

(5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.

(6) Additional Construction Standards.

- (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
- (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
- (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
- (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

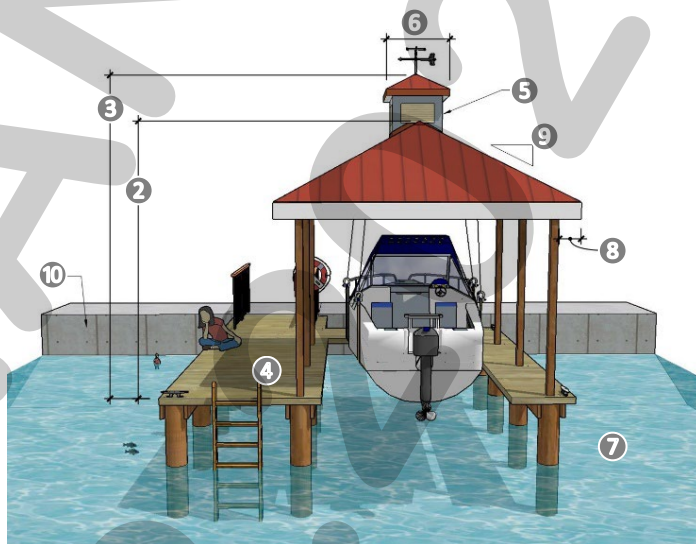


- (7) **Location.** All boathouses are required to be located in the water of the Lake. View corridor restrictions do not apply to boathouses; however, a boathouse should generally be located in line with the primary structure on the leasing property (i.e. generally centered on the lot). Boathouses shall not be designed to prevent or restrict public access to any portion of water within the Lake.
- (f) **Setback Requirements.** A boathouse must adhere to the following setbacks:
- (1) **Takeline Setback:** 0-feet
 - (2) **Leased Side Yard Setback:** 10-feet
 - (3) **Maximum Distance from Seawall:** 40-feet
- (g) **Additional Requirements.**
- (1) **Dredging.** Dredging of the lake area is allowed for the berthing of a motorized boat into a boathouse provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) **Compliance with Applicable Codes.** A boathouse must comply with all other applicable City of Rockwall codes.
 - (3) **Address.** All boathouses shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
 - (4) **Easement Protection.** No boathouse shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) **Visual Representation.**

Continued on Next Page ...



1: 40-FOOT MAXIMUM



1: 40-FOOT MAXIMUM; 2: 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; 3: 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; 4: CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); 5: CUPOLA; 6: THREE (3) FEET BY FOUR (4) FEET; 7: 435.5-FOOT NORMAL POOL ELEVATION; 8: 1.5-FOOT MAXIMUM OVERHANG; 9: 2:1 ROOF PITCH (HIP ROOF ONLY); 10: SEAWALL

(3) **Covered Patio.**

- (a) **Definition.** A covered patio is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) **Prerequisites.** A covered patio may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) **Elevation Zone.** A covered patio shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.



(d) Conditional Use Standards. A covered patio shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) Construction Standards.

(1) Building Materials. A covered patio must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

(2) Height. A covered patio shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.

(3) Size. A covered patio shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

(4) Roof. A covered patio will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All covered patios should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.

(5) Location. A covered patio located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Covered patios shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A covered patio must adhere to the following setbacks:

- (1) Takeline Setback: 6-Feet (from the Concrete Cap of the Seawall)
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

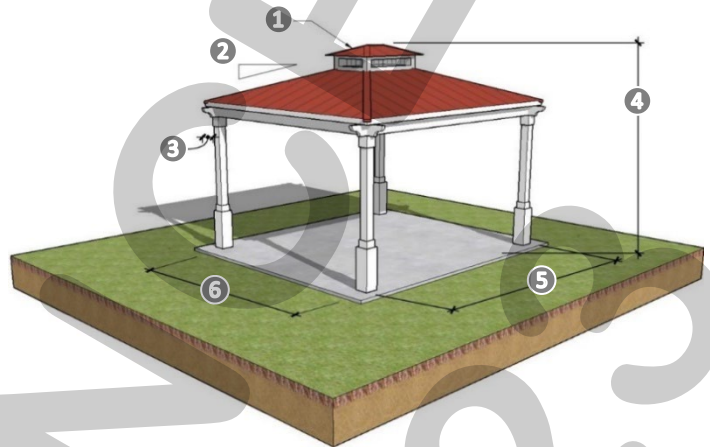
(1) Earth Work. Earth work required for the construction of a covered patio must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A covered patio must comply with all other applicable City of Rockwall codes.

(3) Emergency Response. The covered patio shall not be located in an area where it would block public safety personnel and their vehicles from accessing

or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 4:1 MINIMUM ROOF PITCH; 3: 18-INCHES MAXIMUM OVERHANG; 4: 15-FEET MAXIMUM HEIGHT; 5: 20-FEET MAXIMUM; 6: 12-FEET MAXIMUM;

(4) Deck.

(a) Definition. A deck is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.

(b) Prerequisites. A deck may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A deck shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Not Permitted (see Dock Deck in [Subsection 06.15\(JK\)\(5\)](#)).

(d) Conditional Use Standards. A deck shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

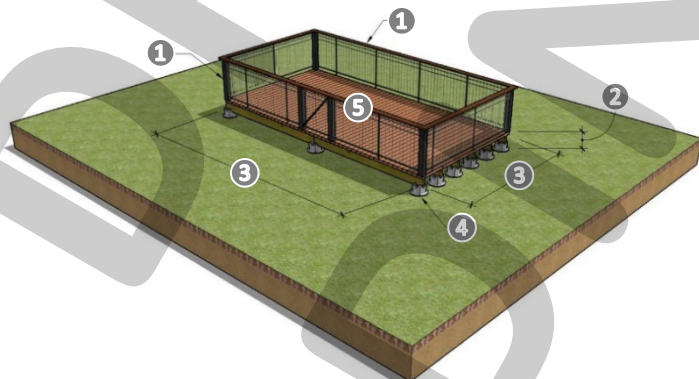
(1) Building Materials. A deck must be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Handrails incorporated into a deck in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.

(2) Height. A deck shall not exceed a maximum height of 24-inches above grade.

(3) Size. A deck shall not exceed a maximum area of 1,000 SF.



- (4) Location. A deck located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Decks shall not be placed in the view clear zone of a neighbor's view corridor.
- (5) Foundation. A deck shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed deck.
- (f) Setback Requirements. A deck must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a deck must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A deck must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The deck shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



①: WROUGHT IRON OR DECORATIVE METAL; ②: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; ③: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; ④: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; ⑤: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A dock deck is a flat floor surface area built over the water adjoining the end of a fixed pier.
- (b) Prerequisites. A dock deck may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a seawall along the entire length of the shoreline within the leased area, and has constructed fixed pier.
- (c) Elevation Zone. A dock deck shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a dock deck include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a dock deck. A watercraft is only allowed to moor at any portion of a dock deck for no more than 156-consecutive hours during any given week. All dock decks shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a dock deck shall not be designed to prevent public access to an area of water. Dock decks shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the Lake. Accessories placed on the flat surface of a dock deck or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.
- (1) Building Materials. The catwalk and/or dock deck and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a dock deck shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. Dock decks above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. Dock decks constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all dock decks shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall *not* be used.
 - (2) Height. No pole structures incorporated into a dock deck shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.
 - (3) Size. The footprint of the exterior sides of a dock deck adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (i.e. 80 SF) and a maximum of 12-feet by 30-feet (i.e. 360 SF). Dock



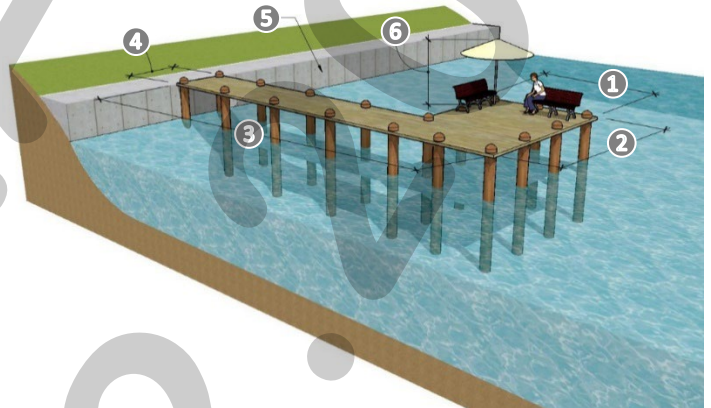
decks shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).

- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a dock deck at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a dock deck.
- (5) Additional Construction Standards.
- (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to dock decks. Dock decks shall not be allowed on land.
- (f) Setback Requirements. A dock deck must adhere to the following setbacks:
- (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a dock deck provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area

allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A dock deck must comply with all other applicable City of Rockwall codes.
- (3) Address. All dock decks shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No dock deck shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



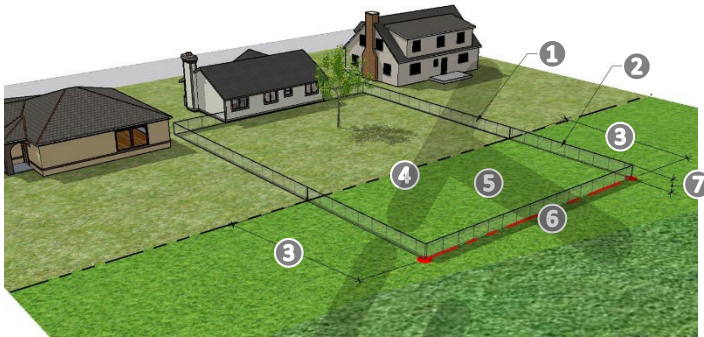
1: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30- FEET; 2: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12- FEET; 3: 40- FOOT MAXIMUM; 4: SIX (6) FOOT MAXIMUM; 5: SEAWALL; 6: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A fence is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the Takeline corners (i.e. the rear property line corners of the property leasing the



take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).



①: EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; ②: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; ③: MAXIMUM OF 45- FEET ALONG THE LEASE LINE OF THE TAKELINE; ④: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; ⑤: 438.0 ELEVATION ZONE; ⑥: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; ⑦: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A fence shall *only* be constructed of wrought iron or black tubular steel.
- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.

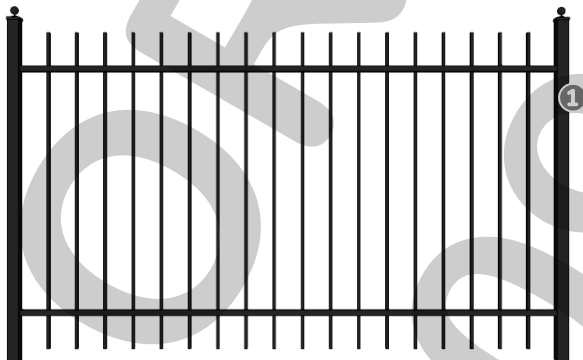
(f) Setback Requirements. A fence must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



①: FOUR (4) FOOT WROUGHT IRON FENCE

(7) Flagpole.

(a) Definition. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.

(b) Prerequisites. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A *flagpole* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.

(e) Construction Standards.

- (1) Building Materials. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.
- (2) Height. A *flagpole* shall not exceed a maximum height of 20-feet from grade.
- (3) Size. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
- (4) Location. A *flagpole* located within the 435.5 *Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A *flagpole* must adhere to the following setbacks:

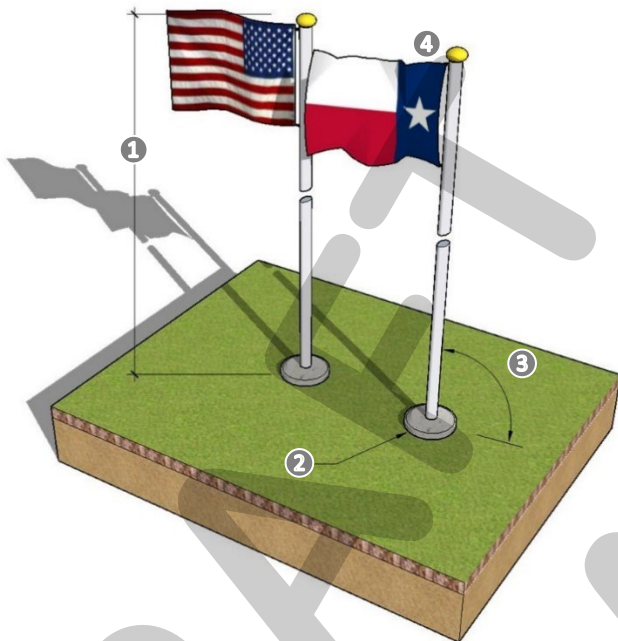
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *flagpole* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety

personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



① : MAXIMUM OF 20- FEET FROM GRADE; ② : AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③ : MAINTAINED TO BE 90- DEGREES FROM GRADE; ④ : FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see [Subsection 06.15\(JK\)\(8\)\(h\)](#)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more than 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers

placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the Lake. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.

(e) Construction Standards.

- (1) Building Materials. The catwalk and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
- (2) Height. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) Size. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a



maximum height of eight (8) feet can be placed at the end of a *fixed pier*.

(5) Additional Construction Standards.

- (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
- (b) Catwalks. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-foot mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
- (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) Location. View corridor restrictions do not apply to *fixed piers*.

(f) Setback Requirements. A *fixed pier* must adhere to the following setbacks:

- (1) Takeline Setback: 0-feet
- (2) Leased Side Yard Setback: 10-feet
- (3) Maximum Distance from Seawall: 40-feet

(g) Additional Requirements.

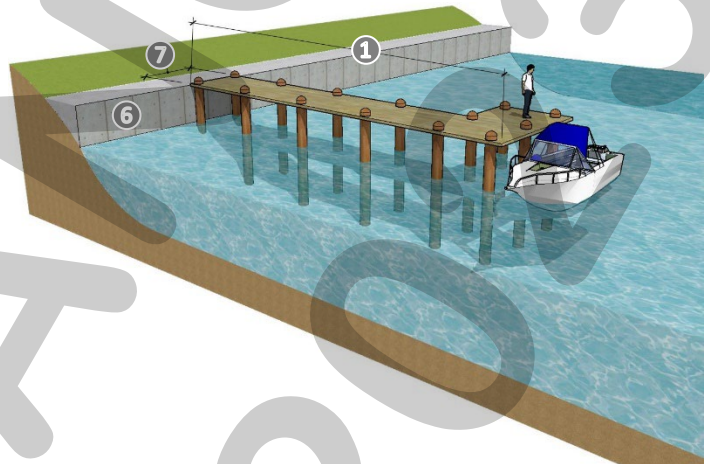
- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A *fixed pier* must comply with all other applicable City of Rockwall codes.

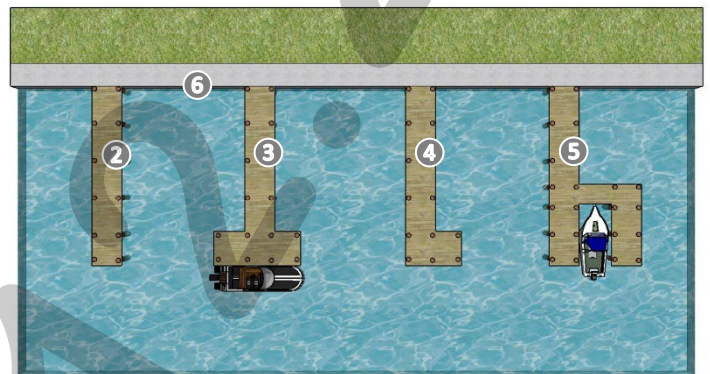
- (3) Address. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

- (4) Easement Protection. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



1 : 40-FOOT MAXIMUM; 2 : PIER IN AN 'I' SHAPE; 3 : PIER IN 'T' SHAPE; 4 : PIER IN AN 'L' SHAPE; 5 : PIER IN A 'U' SHAPE; 6 : SEAWALL; 7 : SIX (6) FOOT MAXIMUM



(9) Fire Pit.

- (a) Definition. A *fire pit* is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.

- (b) Prerequisites. A *fire pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

- (c) Elevation Zone. A *fire pit* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a *Seawall* has been constructed).
- (3) 425.5: Not Permitted.



- (d) Conditional Use Standards. A fire pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).
- (e) Construction Standards.
- (1) Building Materials. The surround (i.e. the area used to contain the fire) for a fire pit must be constructed utilizing a combination of natural stone, brick, and/or concrete.
 - (2) Height. A fire pit shall not exceed a maximum of 36-inches in height.
 - (3) Size. A fire pit shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a fire pit should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A fire pit must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a fire pit must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A fire pit must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



① : NATURAL STONE, BRICK, AND/OR CONCRETE; ② : MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ③ : MAXIMUM HIEGHT OF 36-INCHES OR THREE (3) FEET.

(10) Gazebo.

- (a) Definition. A gazebo is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.

- (b) Prerequisites. A gazebo may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A gazebo shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A gazebo shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (1) Building Materials. A gazebo built in the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. The side trellis of the gazebo may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A gazebo built in the 435.5 Elevation Zone shall only be built out of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A gazebo will be constructed using steel reinforced concrete piers.
 - (2) Height. A gazebo shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the gazebo shall be measured from grade to the vertex of the gazebo's main roof or clerestory/cupola roof. In either case a gazebo shall not be larger than one (1) story or incorporate a balcony.
 - (3) Size. A gazebo shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.
 - (4) Roof. The roof of the gazebo shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the gazebo can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.
 - (5) Location. A gazebo located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Gazebos shall not be placed in the view clear zone of a neighbor's view corridor.



(f) Setback Requirements. A gazebo must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a gazebo must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A gazebo must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The gazebo shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 2:1 MINIMUM ROOF PITCH; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 18-FOET MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FOET WITHOUT A CUPOLA OR CLERESTORY; 5: 12-FOET MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) Landing and Stairs.

- (a) Definition. A *landing* is the area of a floor near the top or bottom step of a stair. A *stair* is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A *landing and stairs* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 or 425.5 Elevation Zones -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *landing and stairs* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Permitted (if a Seawall has been constructed).

NOTE: A landing and stairs located in the 425.5 Elevation Zone is permitted beside the lake but not upon or over the lake.

(d) Conditional Use Standards. A *landing and stairs* shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.

(e) Construction Standards.

- (1) Building Materials. A *landing and stairs* shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
- (2) Height. A *landing and stairs* shall not exceed the height of the adjacent retaining wall.
- (3) Size. A *landing and stairs* shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
- (4) Location. A *landing and stairs* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A *landing and stairs* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 5-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *landing and stairs* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *landing and stairs* must comply with all other applicable City of Rockwall codes.

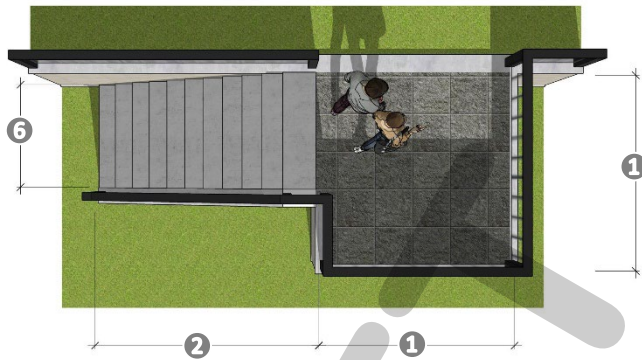
(h) Visual Representation.

PERSPECTIVE VIEW.





TOP VIEW.



①: MINIMUM OF EIGHT (8) FOOT BY EIGHT (8) FOOT LANDING; ②: VARIABLE LENGTH STAIRCASE; ③: WROUGHT IRON OR BLACK TUBULAR STEEL; ④: NATURAL STONE, BRICK, OR CONCRETE MATCHING THE RETAINING WALL; ⑤: VARIABLE HEIGHT BUT A MINIMUM OF THREE (3) FEET; ⑥: MAXIMUM OF SIX (6) FEET.

(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Remedial landscaping in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of [Article 08, Landscaping and Fence Standards, of the Unified Development Code \(UDC\)](#). For information regarding planting or removing trees see [Subsection \(F\)\(4\)](#) above.
- (e) Construction Standards.
- (1) Building Materials. *Retaining walls* shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception of the 438.0 Elevation Zone. The use of

railroad ties, treated wood, pea gravel -- with the exception of using it as a base --, and brick shall be prohibited.

- (2) Height. *Retaining walls* as part of landscaping will be limited to less than three (3) feet.
 - (3) Location. *Landscaping and retaining walls* shall not hinder the view clear zone of an adjacent neighbor's view corridor. *Landscaping* shall not exceed six (6) feet in height in the view clear zone.
- (f) Setback Requirements. *Retaining walls* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *landscaping and retaining walls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. *Landscaping and retaining walls* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. *Landscaping and retaining walls* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

- (a) Definition. *Municipal utilities* represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.
- (b) Elevation Zone. *Municipal utilities* shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Permitted.
- (c) Conditional Use Standards. All *municipal utilities'* infrastructure is permitted within the take area. *Municipal utilities* shall be placed underground.
- (d) Setback Requirements. *Municipal utilities* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (e) Additional Requirements.
- (1) Compliance with Applicable Codes. *Municipal utilities* must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

- (a) Definition. Outdoor lighting is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.
- (b) Prerequisites. Outdoor lighting may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. Outdoor lighting shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted outdoor lighting allowed below the 438.0 Elevation Zone.

- (d) Conditional Use Standards. Systems and structures associated with outdoor lighting include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are not allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
- (e) Photometric Plan. A photometric plan describing compliance with the provisions of [Article 07, Performance Standards, of the Unified Development Code \(UDC\)](#) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for outdoor lighting. This plan shall be prepared by an appropriate lighting professional (e.g. lighting engineer, architect, or other qualified lighting designer). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in [Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code \(UDC\)](#).
- (f) Construction Standards.

- (1) Building Materials. Outdoor lighting poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
- (2) Height. The height of outdoor lighting shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the 438.0 Elevation Zone should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
- (3) Location. Outdoor lighting fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for outdoor lighting associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
- (g) Setback Requirements. Outdoor lighting must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (h) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of outdoor lighting must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. Outdoor lighting must comply with all other applicable City of Rockwall codes.
 - (3) Municipal or Government Installed Lighting. Outdoor lighting installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. rights-of-way, ball fields, airports, and/or parks) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) Patio.

- (a) Definition. A patio is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
- (b) Prerequisites. A patio may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A patio shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A patio shall not incorporate walls or other none transparent structures to function as handrails or counter space.



(e) Construction Standards.

- (1) Building Materials. A patio must be constructed with natural stone. Handrails incorporated into a patio in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
- (2) Height. A patio shall not exceed a maximum height of 12-inches above grade.
- (3) Size. A patio shall not exceed a maximum area of 1,000 SF.
- (4) Location. Patios shall not be placed in the view clear zone of a neighbor's view corridor.

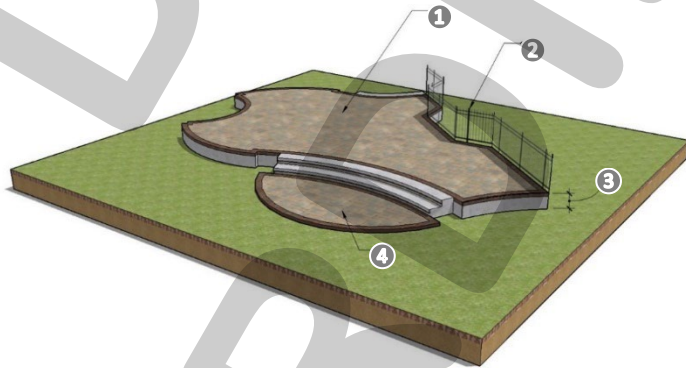
(f) Setback Requirements. A patio must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a patio must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A patio must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The patio shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: NATURAL STONE; 2: WROUGHT IRON OR BLACK TUBULAR STEEL; 3: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; 4: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A pergola is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.
- (b) Prerequisites. A pergola may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the*

435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A pergola shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A pergola shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) Construction Standards.

(1) Building Materials. A pergola constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A pergola constructed within the 435.5 Elevation Zone must be constructed using composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

(2) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.

(3) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

(4) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.

(5) Location. A pergola located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A pergola must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

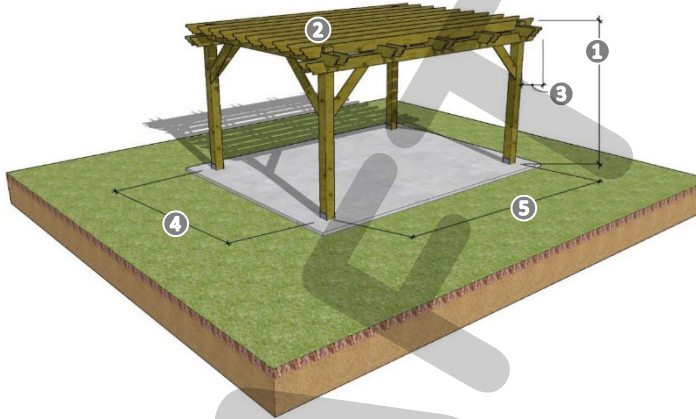
(1) Earth Work. Earth work required for the construction of a pergola must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A pergola must comply with all other applicable City of Rockwall codes.



- (3) Emergency Response. The *pergola* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: 12-FOOT MAXIMUM HEIGHT; 2: OPEN ROOF OF GIRDERS OR RAFTERS; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 12-FOOT MAXIMUM; 5: 20-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(17) Picnic Table.

- (a) Definition. A *picnic table* is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *picnic table* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (i.e. no roof covering) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.
- (e) Construction Standards.
 - (1) Building Materials. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.
 - (2) Height. A *picnic table* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.
 - (4) Location. A *picnic table* located within the 435.5 *Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic*

tables shall not be placed in the view clear zone of a neighbor's view corridor.

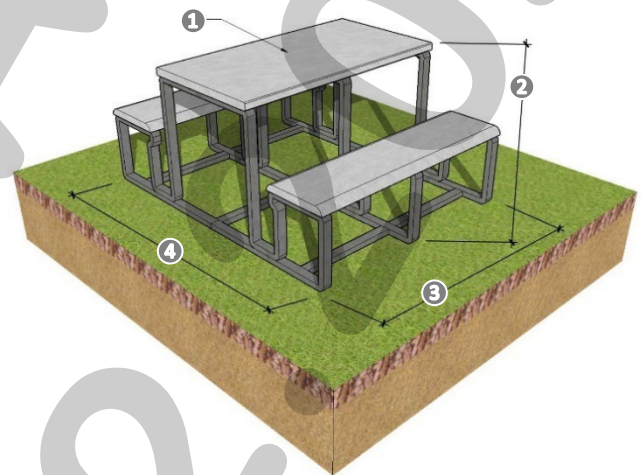
- (f) Setback Requirements. A *picnic table* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

- (g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *picnic table* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; 2: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; 3: EIGHT (8) FOOT MAXIMUM; 4: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

- (a) Definition. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *private play structure* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *private play structure* can consist of arched ladders, vertical ladders, horizontal



ladders, clutter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.

(e) Construction Standards.

- (1) Building Materials. A private play structure shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a private play structure should blend and incorporate the same hues and tones of the surrounding landscaping.
- (2) Height. A private play structure shall not exceed a maximum of eight (8) feet in height.
- (3) Size. All private play structures will be situated in a collected area that is a maximum of 1,000 SF in area.
- (4) Location. Private play structures shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A private play structures must adhere to the following setbacks:

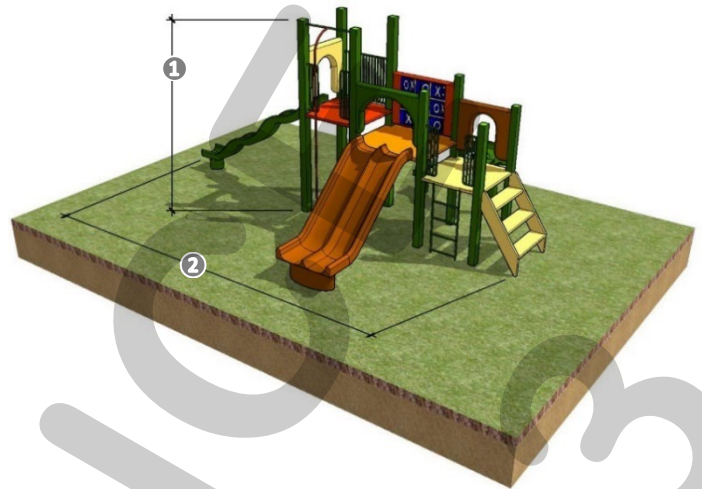
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a private play structures must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A private play structure must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The private play structure shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.

Continued on Next Page ...



1: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; 2: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; 3: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. Private utilities are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. Private utilities may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. Private utilities shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. Private utilities are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. Private utilities containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
 - (1) Building Materials. Private utilities shall only be constructed out of materials permitted by the City's Engineering Department.
 - (2) Location. Private utilities within 20-feet of the normal pool elevation shoreline (*i.e.* 435.5) shall be built to handle load factors associated with emergency and service vehicles. Private utilities containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.



(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) Private Walkways.

(a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.

(b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. *Private walkways* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. *Private walkways* with steps are permitted (see *Landing and Stairs* in [Subsection 06.15\(J\)\(11\)](#)).

(e) Construction Standards.

- (1) Building Materials. *Private walkways* shall be constructed using native stone, brick, concrete and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, or asphalt.
- (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
- (3) Size. *Private walkways* shall be no greater than 48-inches in width.
- (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is

responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. *Private walkways* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.

(3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

(a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.

(b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *seawall* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

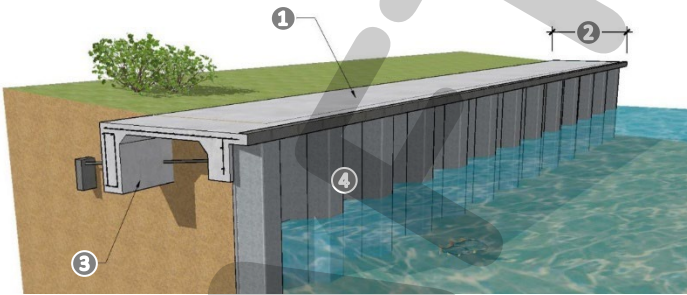
NOTE: Seawalls are only permitted along the shoreline.

(d) Construction Standards.

(1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a seawalls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A seawall must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.

1: CONCRETE WALKWAY; 2: SIX (6) FOOT MINIMUM; 3: 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; 4: RETAINING WALL.

(22) Sprinkler/Irrigation System.

- (a) Definition. A *sprinkler/irrigation system* is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (b) Prerequisites. A *sprinkler/irrigation system* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *sprinkler/irrigation system* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (d) Conditional Use Standards. A *sprinkler/irrigation system* must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.
- (e) Construction Standards.
 - (1) Building Materials. A *sprinkler/irrigation system* shall only be constructed utilizing *Schedule 40 PVC pipe*.
 - (2) Height. The heads of a *sprinkler/irrigation system* used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
 - (3) Location. A *sprinkler/irrigation system* shall be allowed up to one (1) foot of the normal pool elevation shoreline (i.e. 435.5) provided no part of

the system could potentially result in lake siltation erosion.

- (f) Setback Requirements. A *sprinkler/irrigation system* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

SUBSECTION 06.16: VARIANCES TO THE GENERAL OVERLAY DISTRICT STANDARDS

See [Subsection 09.02, Variances to the General Overlay Districts Standards, of Article 11, Development Applications and Review Procedures.](#)

SECTION 07 | DISTRICT DEVELOPMENT STANDARDS

See next page.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 12, 2023

APPLICANT: Kaylee and Taylor Henson

CASE NUMBER: Z2023-040; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision at 1325 Breezy Hill Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on February 4, 2008 by *Ordinance No. 08-12 [Case No. A2004-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District and was a portion of a larger 90.00-acre tract of land (*i.e. Tract 33 of the J. Strickland Survey, Abstract No. 187*). On May 5, 2020, the subject property was established as Lot 1, Block A, Breezy Hill Lane Addition by *Case No. P2020-007*. The subject property has remained vacant since its annexation.

PURPOSE

The applicants -- *Kaylee and Taylor Henson* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 1325 Breezy Hill Lane. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property are the corporate limits of the City of Rockwall and the County Line between Rockwall and Collin Counties.
- South: Directly south of the subject property is a 10.00-acre parcel of land (*i.e. Lot 2, Block A, Breezy Hill Lane Addition*) zoned Agricultural (AG) District. Beyond this is Phase 11 of the Breezy Hill Subdivision, which consists of 78 residential lots and is zoned Planned Development District 74 (PD-74). South of this is Phase 5 of the Breezy Hill Subdivision, which consists of 81 residential lots zoned Planned Development District 74 (PD-74).
- East: Directly east of the subject property is a 50.29-acre tract of land (*i.e. Tract 33-02, of the J Strickland Survey, Abstract No. 187*) zoned Agricultural (AG) District. East of this is a 20.00-acre tract of land (*i.e. Tract 33-03, of the J. Strickland Survey, Abstract No. 187*) zoned Agricultural (AG) District. Beyond this is are the corporate limits of the City of Rockwall followed by several properties with single-family homes situated on them.
- West: Directly west of the subject property is Breezy Hill Lane, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is Phase 8 of the Breezy Hill Subdivision, which was established in 2019 and contains 61 residential lots on 27.840-acres.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The code goes on to say “(a)ll proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located within 500-feet of an Established Subdivision shall be required to apply for a Specific Use Permit.” In this case, the subject property shares a common boundary (*i.e. the western property line*) with the Breezy Hill Subdivision, which has been in existence since 2008, consists of more than five (5) lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. The Agricultural (AG) District is considered to be a single-family zoning district per Article 05, *District Development Standards*, of the Unified Development Code (UDC). This property, being adjacent to an *Established Subdivision*, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” With this being said, there are three (3) vacant parcels of land that are in close proximity to the home. These lots are estate style lots (*i.e. larger lots*) as opposed to the more traditional style lots with single-family homes in Phase 8 of the Breezy Hill Subdivision. Based on this, staff has only provided the following summary of observations concerning the house on Breezy Hill Lane as proposed by the applicant:

| <i>HOUSING DESIGN AND CHARACTERISTICS</i> | <i>PROPOSED HOUSING</i> |
|---|--|
| <i>BUILDING HEIGHT</i> | TWO (2) STORY |
| <i>BUILDING ORIENTATION</i> | THE FRONT ELEVATION OF THE HOME WILL FACE ONTO BREEZY HILL LANE. |
| <i>YEAR BUILT</i> | N/A |
| <i>BUILDING SF ON PROPERTY</i> | 3,877 SF |
| <i>BUILDING ARCHITECTURE</i> | COMPARABLE ARCHITECTURE TO THE EXISTING HOMES |
| <i>BUILDING SETBACKS</i> | |
| <i>FRONT</i> | X> 40-FEET |
| <i>SIDE</i> | X> 10-FEET |
| <i>REAR</i> | X> 6-FEET |
| <i>BUILDING MATERIALS</i> | COMBINATION OF STONE AND PAINTED SHAKE |
| <i>PAINT AND COLOR</i> | WHITE |
| <i>ROOFS</i> | BLACK ASPHALT SHINGLES |
| <i>DRIVEWAYS</i> | THE GARAGE WILL BE A J-SWING GARAGE. |

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for a home in an Agricultural (AG) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Sky Harbor Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the adjacent subdivision. If the applicant’s Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed structures.

NOTIFICATIONS

On August 22, 2023, staff mailed 57 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowners Associations (HOA’s) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised

the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a *single-family home* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance;
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1325 Breezy Hill Ln, Rockwall, TX 75087
 SUBDIVISION: Breezy Hill Addition LOT 1 BLOCK -
 GENERAL LOCATION: end of Breezy Hill Ln

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Ag. CURRENT USE: Ag.
 PROPOSED ZONING: Ag./Residential PROPOSED USE: Ag./Residential
 ACREAGE: 10 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | | | |
|---|-------------------------------|------------------------------------|--|
| <input checked="" type="checkbox"/> OWNER | <u>Kaylee + Taylor Henson</u> | <input type="checkbox"/> APPLICANT | |
| CONTACT PERSON | <u>Taylor Henson</u> | CONTACT PERSON | |
| ADDRESS | <u>2710 Morning Mist Lane</u> | ADDRESS | |
| CITY, STATE & ZIP | <u>Nevada, TX 75173</u> | CITY, STATE & ZIP | |
| PHONE | <u>9034077848</u> | PHONE | |
| E-MAIL | <u>hensontaylor@gmail.com</u> | E-MAIL | |

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

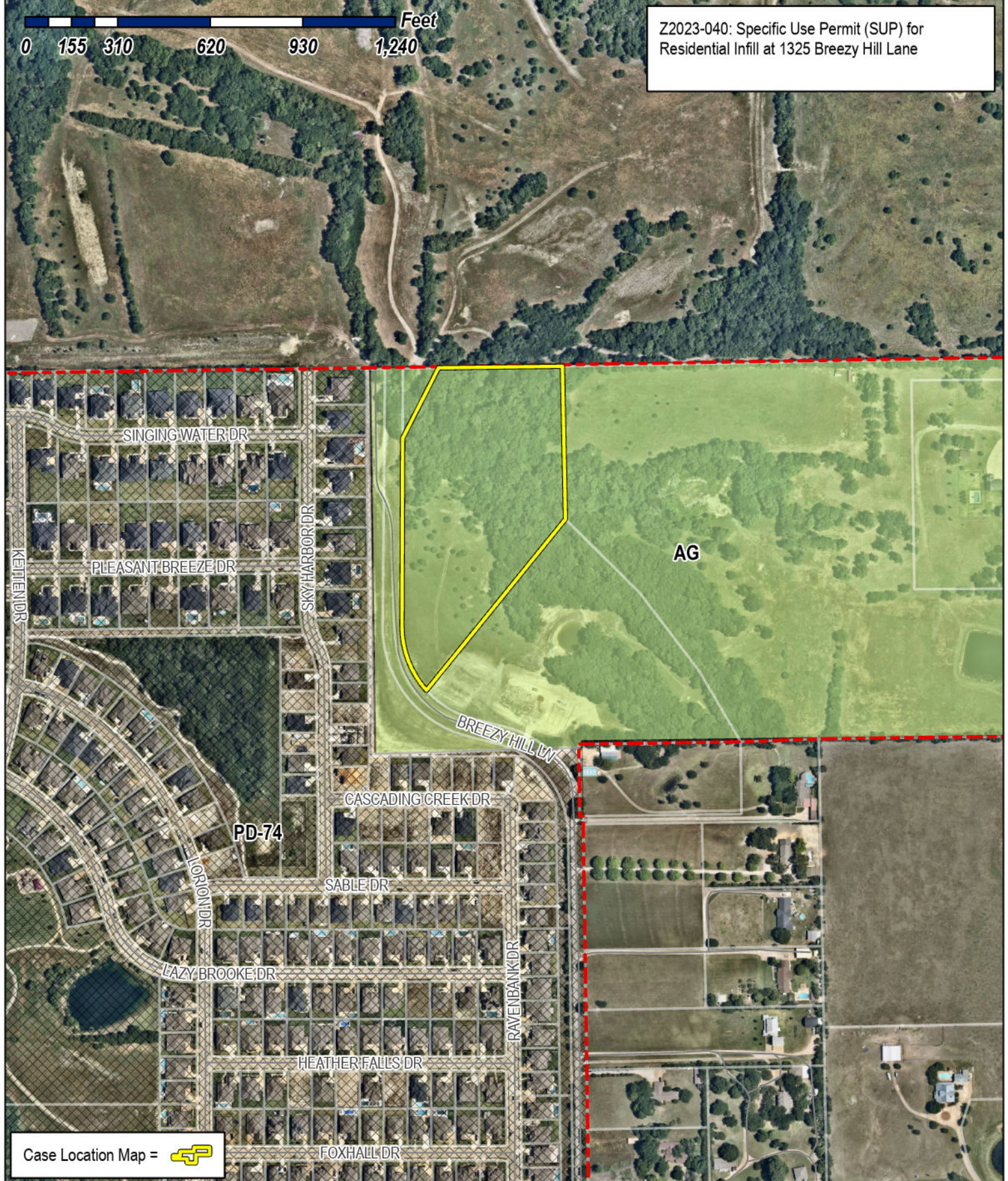
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023
 OWNER'S SIGNATURE: Kaylee Henson
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Trena L. Jackson

Trena L. Jackson
 Notary Public, State of Texas
 Comm. Expires 04/05/2024
 Notary ID 1193003-0
 MY COMMISSION EXPIRES 4/5/2024



Z2023-040: Specific Use Permit (SUP) for Residential Infill at 1325 Breezy Hill Lane



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

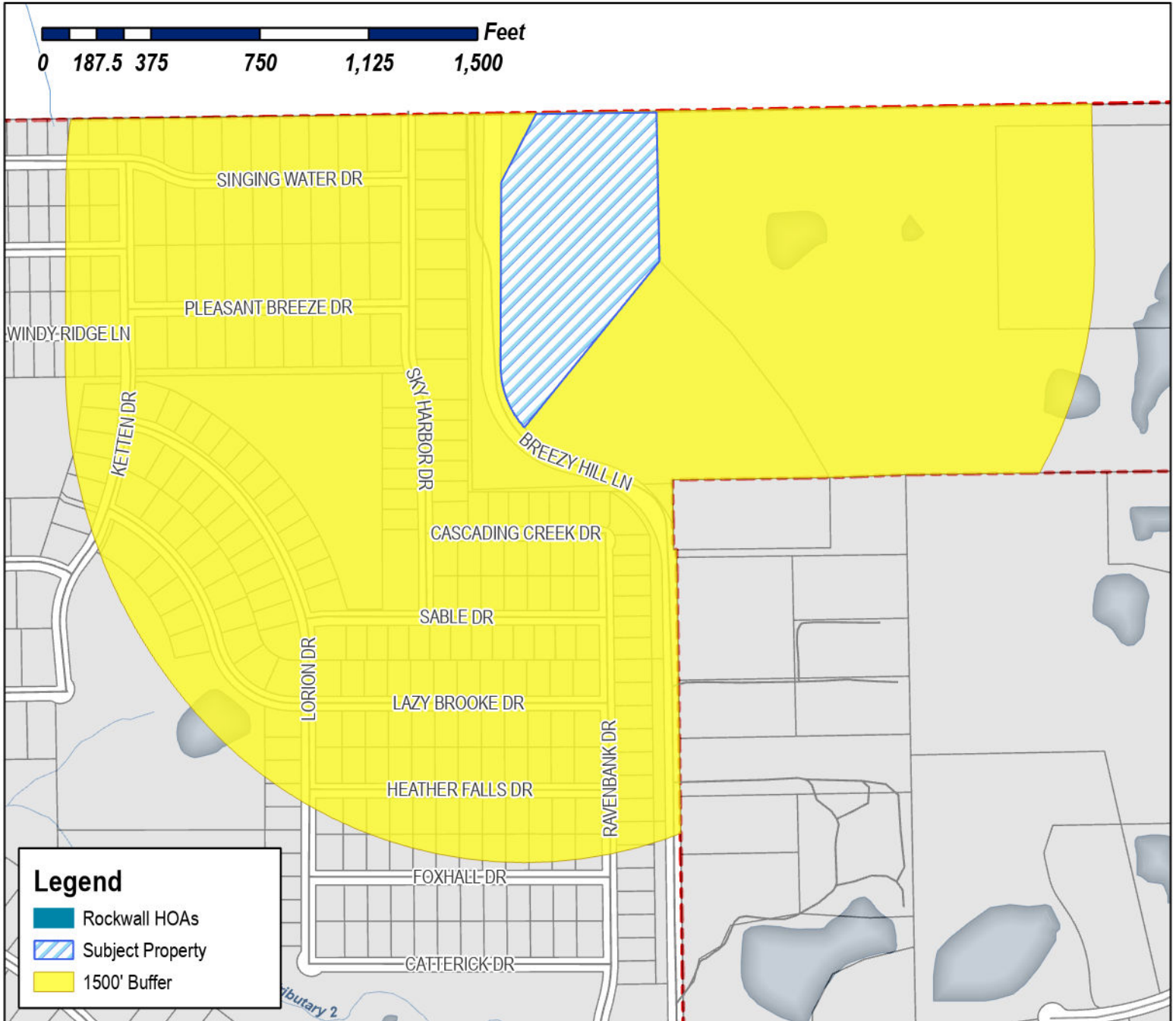




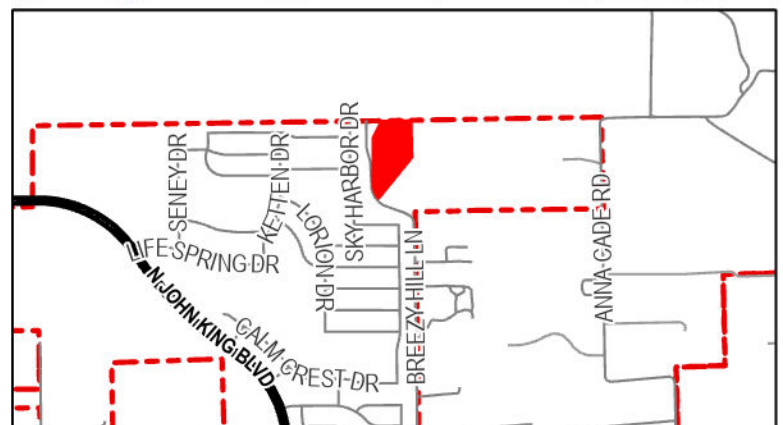
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2023-040
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1325 Breezy Hill Lane



Date Saved: 8/14/2023

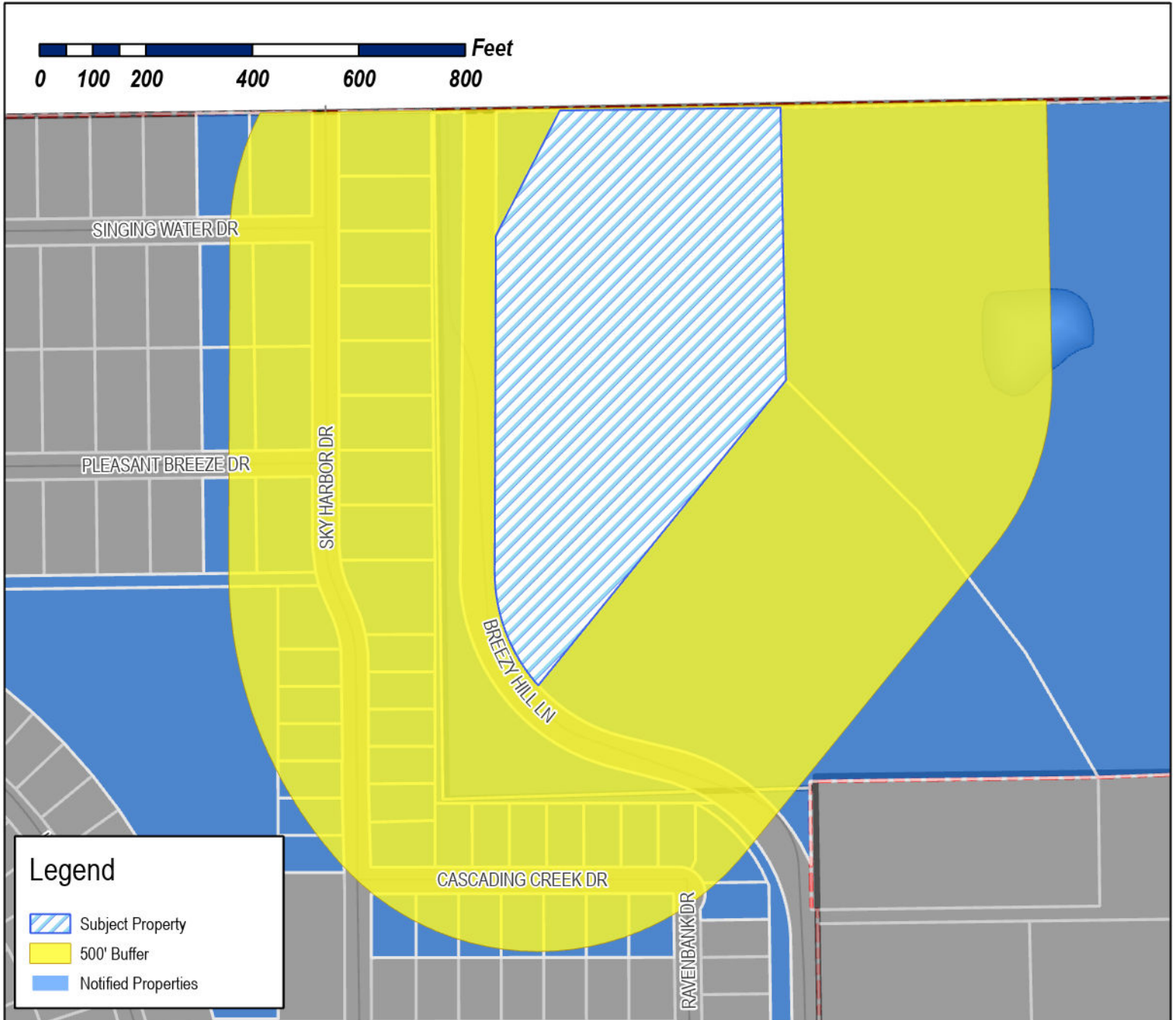
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-040
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1325 Breezy Hill Lane

Date Saved: 8/14/2023
 For Questions on this Case Call: (972) 771-7746



RESIDENT
1001 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1005 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1006 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1009 CASCADING CREEK DR
ROCKWALL, TX 75032

YOUSEF RITA A & OSAMA S SHENOUDA
1010 CASCADING CREEK DR
ROCKWALL, TX 75087

RESIDENT
1013 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1014 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1017 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1018 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1020 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1021 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1024 CASCADING CREEK DR
ROCKWALL, TX 75032

BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
1025 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1028 CASCADING CREEK DR
ROCKWALL, TX 75032

KNOWLTON COREY D
1460 ANNA CADE ROAD
ROCKWALL, TX 75087

FISCHER DAVID SCOTT AND CHRISTINE
1608 LAKE CREST LANE
PLANO, TX 75023

RESIDENT
205 BREEZY HILL DR
ROCKWALL, TX 75032

RESIDENT
205 ROCKHOUSE LN
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
4505 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4506 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4511 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4514 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4516 RAVENBANK DR
ROCKWALL, TX 75032

RESIDENT
4521 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4525 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4528 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4529 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4532 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4533 SKY HARBOR DR
ROCKWALL, TX 75032

VALLABINENI RAJESH AND THRIVIDYA
MADAPATI
THRIVIDYA MADAPATI
4536 SKY HARBOR DR
ROCKWALL, TX 75087

RESIDENT
4537 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4538 SKY HARBOR DR
ROCKWALL, TX 75032

SANCHEZ ELENA
4546 SKY HARBOR DRIVE
ROCKWALL, TX 75087

WALLER DAVID AND SORAYA
4550 SKY HARBOR DRIVE
ROCKWALL, TX 75087

RESIDENT
4602 RAVENBANK DR
ROCKWALL, TX 75032

RESIDENT
4602 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4606 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4610 SKY HARBOR DR
ROCKWALL, TX 75032

ECHOLS BRITTNEY
4614 SKY HARBOR DRIVE
ROCKWALL, TX 75087

RESIDENT
4618 SKY HARBOR DR
ROCKWALL, TX 75032

BRATBERG NEIL
4622 SKY HARBOR DRIVE
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC
5310 HARVEST HILL RD SUITE 162
DALLAS, TX 75230

HENSON TAYLOR RAY AND KAYLEE RAYE
7138 LAUREL RIDGE
DALLAS, TX 75231

MCCORMACK JAMES ROSSI AND ELENA LOUISE
731 PLEASANT BREEZE DRIVE
ROCKWALL, TX 75087

GNANAYUTHAM JEREMY AND JESSIE
732 PLEASANT BREEZE DRIVE
ROCKWALL, TX 75087

GILLIGAN DEBORAH ANN AND TRAVIS EGUENE
733 SINGING WATER DRIVE
ROCKWALL, TX 75087

JACKS DALLAS CLAYTON AND MAGEN NICOLE
734 SINGING WATER DRIVE
ROCKWALL, TX 75087

RESIDENT
735 PLEASANT BREEZE DR
ROCKWALL, TX 75032

SIEVERT SHANNON AND CHRISTY
736 PLEASANT BREEZE DR
ROCKWALL, TX 75087

GARCIA KRIS A AND ANGELA M
737 SINGING WATER DRIVE
ROCKWALL, TX 75087

BAKER CHRISTOPHER AND RHYANA
738 SINGING WATER DRIVE
ROCKWALL, TX 75087

BH PHASE XI LTD
8214 WESTCHESTER DRIVE SUITE 900
DALLAS, TX 75225

SINKS CHARLES W
8854 CR 2472
ROYSE CITY, TX 75189

HEFNER SCOTT & CHERYL
897 ANACONDA COURT
CASTLE ROCKWA, CO 80108

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-040: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-040: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar for name]

Address: [Grey bar for address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

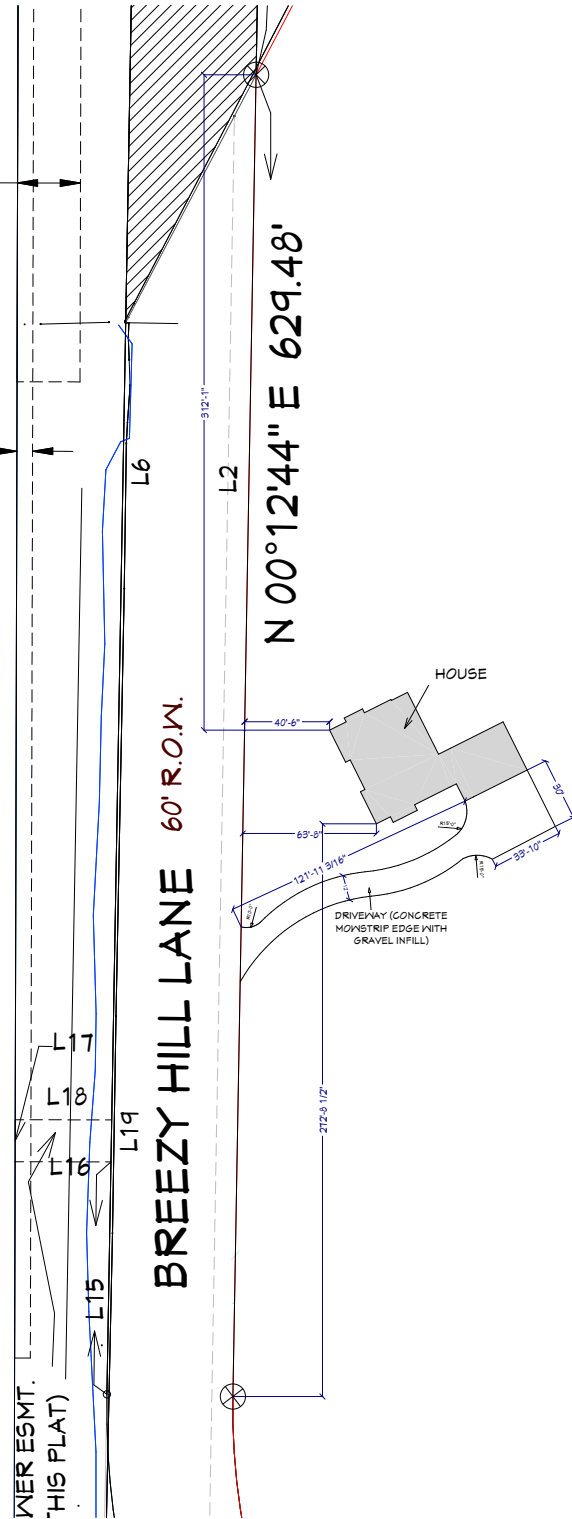
DRAINAGE & GRADING ESMT.
CLERK NO.
2020000014139

ONCOR ELECTRIC
DELIVERY COMPANY ESMT.
CLERK NO.
20210000021943

BREEZY HILL 405 LTD.
INST. NO. 2007-00375942
O.P.R.C.T.

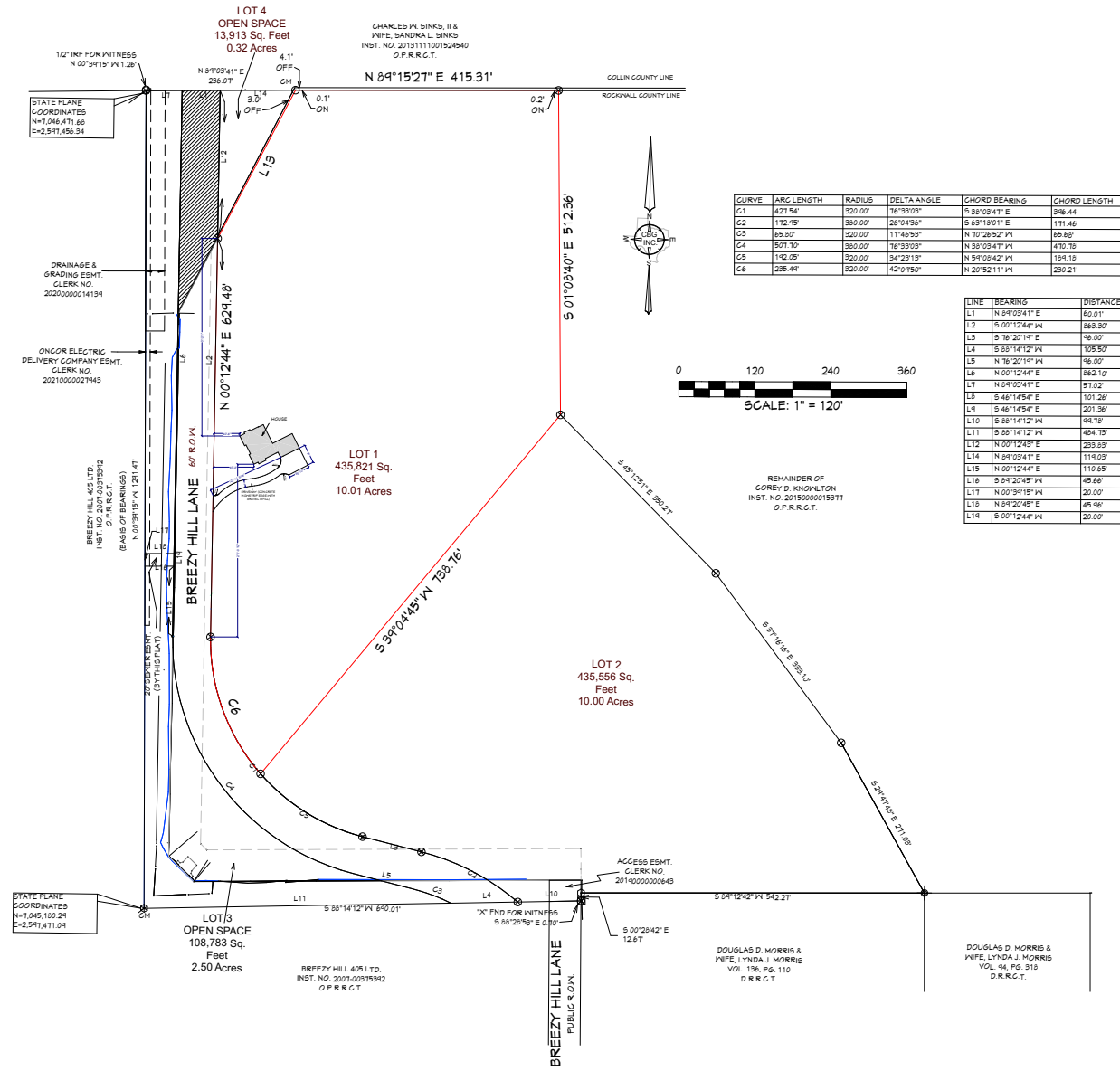
(BASIS OF BEARINGS)

N 00°39'15" W 12911.47'



SITE PLAN

SCALE: 1"=40'-0"

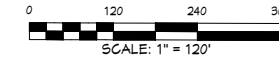


SITE PLAN

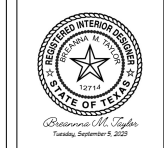
SCALE: 1"=120'-0"

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|---------|-------------|---------------|--------------|
| C1 | 421.54' | 320.00' | 76°39'03" | S 53°03'41" E | 396.44' |
| C2 | 112.48' | 360.00' | 26°04'36" | S 63°18'01" E | 171.46' |
| C3 | 69.60' | 320.00' | 17°46'53" | N 10°26'52" W | 69.60' |
| C4 | 301.70' | 360.00' | 76°33'03" | N 31°02'47" W | 473.70' |
| C5 | 142.09' | 320.00' | 34°23'13" | N 51°02'42" W | 134.12' |
| C6 | 238.44' | 320.00' | 42°04'50" | N 20°32'11" W | 230.21' |

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 24°05'41" E | 60.01' |
| L2 | S 01°12'44" W | 363.30' |
| L3 | S 76°20'16" E | 96.00' |
| L4 | S 53°14'12" W | 108.50' |
| L5 | N 76°20'16" W | 96.00' |
| L6 | N 00°12'44" E | 362.10' |
| L7 | N 31°02'47" E | 571.02' |
| L8 | S 46°14'54" E | 101.26' |
| L9 | S 46°14'54" E | 201.36' |
| L10 | S 53°14'12" W | 98.75' |
| L11 | S 53°14'12" W | 464.75' |
| L12 | N 00°12'44" E | 233.53' |
| L13 | N 00°12'44" E | 114.03' |
| L14 | N 00°12'44" E | 110.68' |
| L15 | S 24°20'45" W | 45.66' |
| L16 | N 00°12'44" E | 45.66' |
| L17 | N 00°12'44" E | 20.00' |
| L18 | N 00°12'44" E | 45.66' |
| L19 | S 00°12'44" W | 20.00' |



REMANUER OF
COREY D. KNOX/TON
INST. NO. 20150000015311
O.P.R.C.T.



| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |


























SHEET TITLE:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON








PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

DATE:
9/5/2023

SCALE:
VARIES

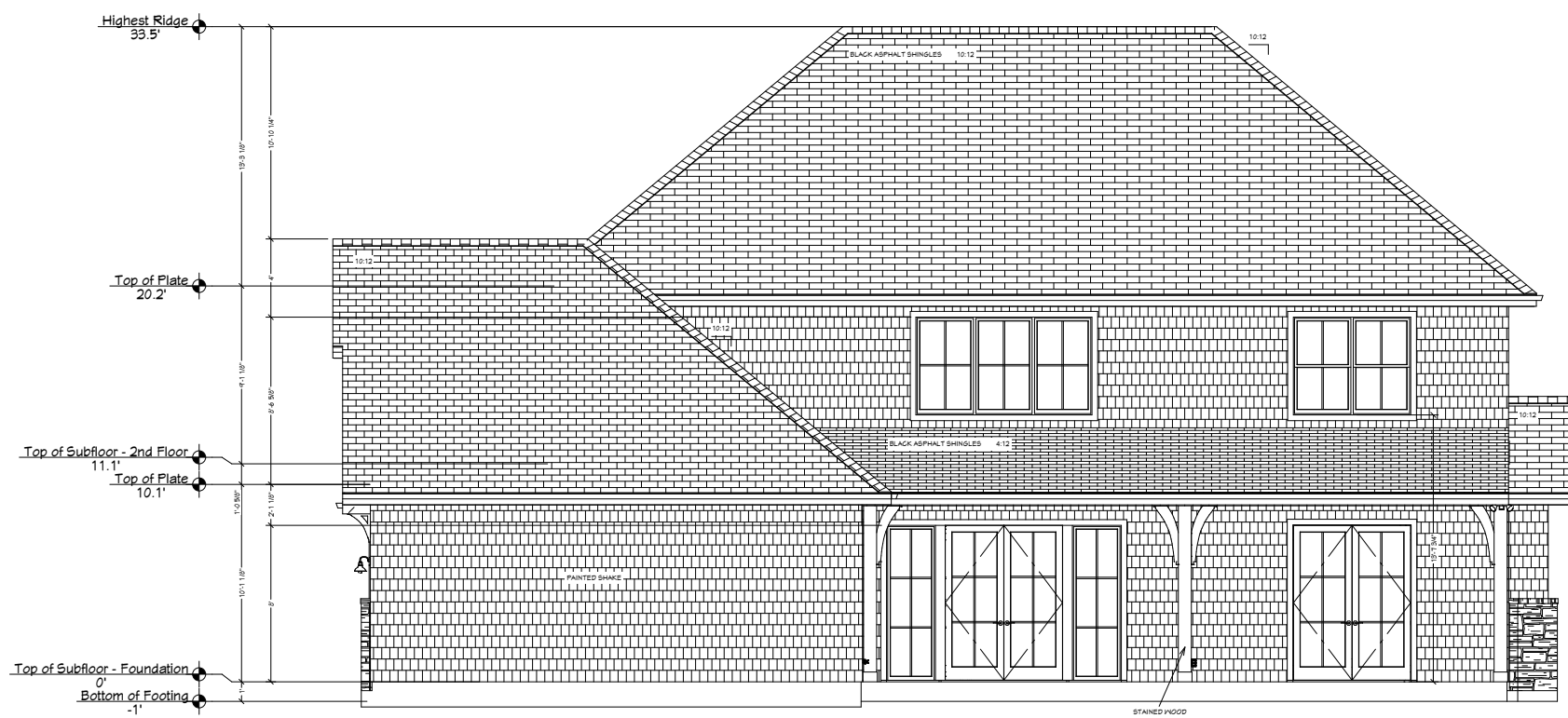
SHEET:
A-2

| DOOR SCHEDULE | DOOR SCHEDULE |
|--|---|
| NO. EXTENSIVE ELEVATION NUMBER LABEL QTY FLOOR FINISH REV. DESCRIPTION QUANTITY | NO. EXTENSIVE ELEVATION NUMBER LABEL QTY FLOOR FINISH REV. DESCRIPTION QUANTITY |
|  D01 4000 2 1 4000 117X94" GARAGE-GARAGE DOOR (WOOD) 2X12X16" (2) |  W01 2040FX 3 1 2040FX 297X44" FIXED GLASS 2X8X20" (2) |
|  D02 6000 3 1 6000 L/R EX 747X94" EXT. DOUBLE HINGED-GLASS PANEL 2X10X11" (2) |  W02 2050FX 2 1 2050FX 297X44" FIXED GLASS 2X8X20" (2) |
|  D03 3000 1 1 3000 L EX 377X94" EXT. HINGED-DOOR E02 2X8X41" (2) |  W03 2630FX 2 1 2630FX 377X44" FIXED GLASS 2X8X34" (2) |
|  D04 3000 1 1 3000 R EX 377X94" EXT. HINGED-DOOR E02 2X8X41" (2) |  W04 3050FX 4 1 3050FX 377X41" FIXED GLASS 2X8X47" (2) |
|  D05 2000 1 1 2000 L IN 25 131/8"X93 1/2" HINGED-DOOR P04 2X8X23 13/16" (2) |  W05 3050FX 2 1 3050FX 377X39" FIXED GLASS 2X8X47" (2) |
|  D06 2400 1 1 2400 R IN 377X93 1/2" HINGED-DOOR P04 2X8X37" (2) |  W06 3050DH 2 2 3050DH 377X41" DOUBLE HUNG 2X8X47" (2) |
|  D07 2600 1 1 2600 L IN 327X93 1/2" HINGED-DOOR P04 2X8X37" (2) |  W07 3050FX 3 2 3050FX 377X41" FIXED GLASS 2X8X47" (2) |
|  D08 2600 1 1 2600 R 61 147X93 1/2" POCKET-DOOR P04 2X8X64 1/4" (2) | |
|  D09 2600 1 1 2600 R IN 327X93 1/2" HINGED-DOOR P04 2X8X37" (2) | |
|  D10 3000 1 1 3000 L IN 377X93 1/2" HINGED-DOOR P04 2X8X41" (2) | |
|  D11 2600 1 1 2600 R IN 347X93 1/2" HINGED-DOOR P04 2X8X37" (2) | |
|  D12 2600 2 1 2600 L 61 147X93 1/2" POCKET-DOOR P04 2X8X64 1/4" (2) | |
|  D13 2600 1 1 2600 L 377X94" SHOWER-GLASS SLAB | |
|  D14 2360 1 2 2360 R 55 397X92 1/2" POCKET-DOOR P04 2X8X50 3/8" (2) | |
|  D15 2660 2 2 2660 L IN 327X92 1/2" HINGED-DOOR P04 2X8X37" (2) | |
|  D16 2660 1 2 2660 R 61 147X92 1/2" POCKET-DOOR P04 2X8X64 1/4" (2) | |
|  D17 2660 6 2 2660 R IN 327X92 1/2" HINGED-DOOR P04 2X8X37" (2) | |
|  D18 4060 3 2 4060 L/R IN 307X92 1/2" DOUBLE HINGED-DOOR P04 2X8X37" (2) | |

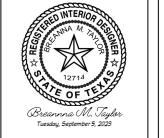
| DOOR SCHEDULE | DOOR SCHEDULE |
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|  W02 2050FX 2 1 2050FX 297X44" FIXED GLASS 2X8X20" (2) | |
|  W03 2630FX 2 1 2630FX 377X44" FIXED GLASS 2X8X34" (2) | |
|  W04 3050FX 4 1 3050FX 377X41" FIXED GLASS 2X8X47" (2) | |
|  W05 3050FX 2 1 3050FX 377X39" FIXED GLASS 2X8X47" (2) | |
|  W06 3050DH 2 2 3050DH 377X41" DOUBLE HUNG 2X8X47" (2) | |
|  W07 3050FX 3 2 3050FX 377X41" FIXED GLASS 2X8X47" (2) | |



E1 FRONT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



E2 REAR EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

SHEET TITLE:
FRONT & REAR EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
**BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON**

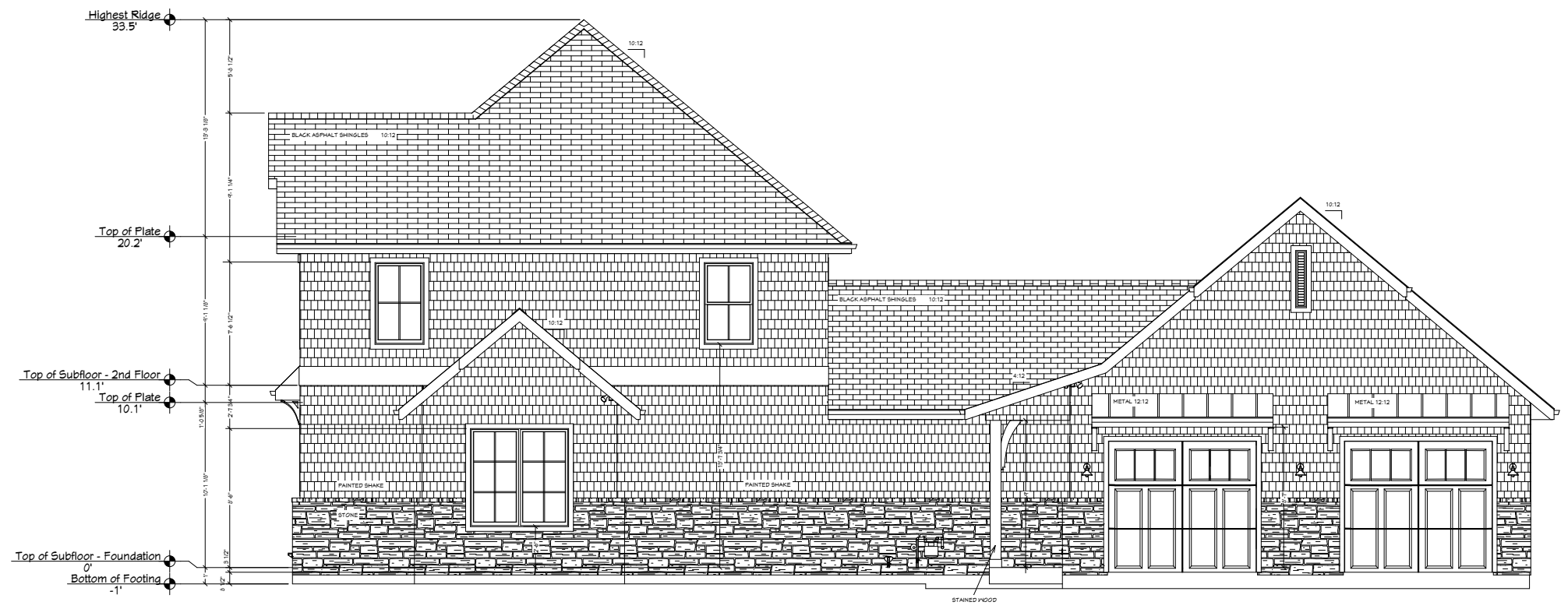
DATE:
9/5/2023

SCALE:
1/4"=1'-0"

SHEET:
A-5



E3 LEFT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



E4 RIGHT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

SHEET TITLE:
SIDE EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
**BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON**

DATE:
9/5/2023

SCALE:
1/4"=1'-0"

SHEET:
A-6

INDEX OF DRAWINGS:

| | |
|----------------------------------|-----|
| PROJECT OVERVIEW | A-1 |
| PHASE ONE SITE PLAN | A-2 |
| FIRST FLOOR PLAN | A-3 |
| SECOND FLOOR PLAN | A-4 |
| FRONT & REAR EXTERIOR ELEVATIONS | A-5 |
| SIDE EXTERIOR ELEVATIONS | A-6 |
| ELECTRICAL PLANS | A-7 |
| ROOF PLAN | A-8 |
| FOUNDATION PLAN | A-9 |

AREA CALCULATIONS:

| | |
|-----------------------------|------------------------|
| 1ST FLOOR HVAC | 1,655 SQ. FT. |
| 2ND FLOOR HVAC | 1,045 SQ. FT. |
| TOTAL HVAC | 2,750 SQ. FT. |
| FRONT COVERED PORCH | 79 SQ. FT. |
| BACK COVERED PATIO | 280 SQ. FT. |
| GARAGE & STORAGE | 722 SQ. FT. |
| GARAGE COVERED PORCH | 46 SQ. FT. |
| TOTAL UNDER ROOF | 3,877 SQ. FT.* |
| FOUNDATION FOOTPRINT | 2,432 SQ. FT.** |

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

**FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



FRONT EXTERIOR PERSPECTIVE RENDERING
FOR ILLUSTRATION ONLY

GENERAL NOTES

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.



NO. DATE DESCRIPTION

SHEET TITLE:
PROJECT OVERVIEW

PROJECT DESCRIPTION:
**BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON**

DATE:
9/5/2023

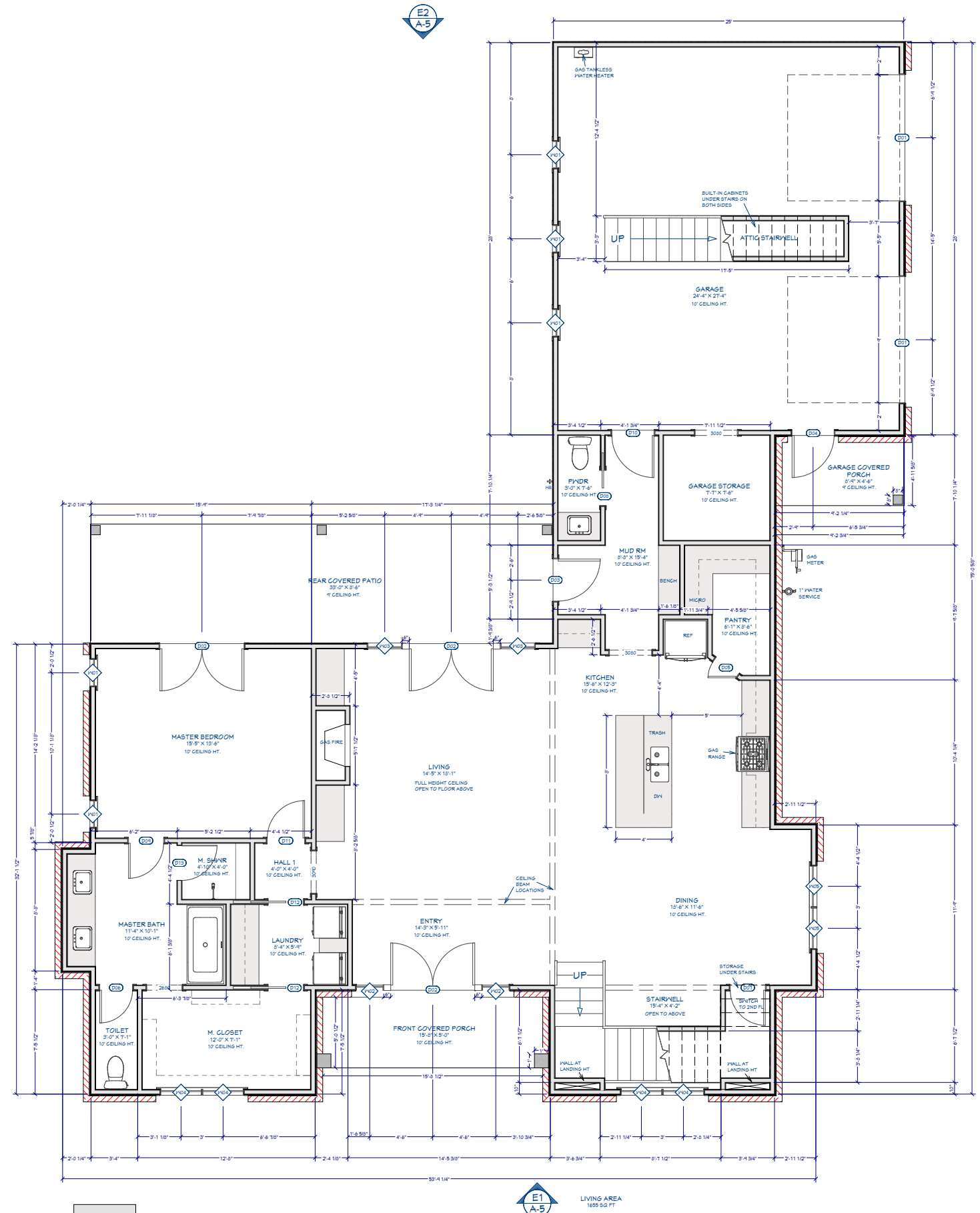
SCALE:
NO SCALE

SHEET:
A-1

3122 N. Hwy #1126
Longview, TX 75605
936.213.3545
BreMarieDesigns.com

| DOOR SCHEDULE | NO. | SYMBOL | DESCRIPTION | QTY |
|---------------|-----|----------|--------------------------------|-----|
| D01 | 1 | [Symbol] | SARAGE-GARAGE DOOR (WOOD) | 1 |
| D02 | 1 | [Symbol] | EXT. DOUBLE HINGED-GLASS PANEL | 1 |
| D03 | 1 | [Symbol] | EXT. HINGED-DOOR E02 | 1 |
| D04 | 1 | [Symbol] | EXT. HINGED-DOOR E02 | 1 |
| D05 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D06 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D07 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D08 | 1 | [Symbol] | POCKET DOOR P04 | 1 |
| D09 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D10 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D11 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D12 | 1 | [Symbol] | POCKET DOOR P04 | 1 |
| D13 | 1 | [Symbol] | SHOWER-GLASS SLAB | 1 |
| D14 | 1 | [Symbol] | POCKET DOOR P04 | 1 |
| D15 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D16 | 1 | [Symbol] | POCKET DOOR P04 | 1 |
| D17 | 1 | [Symbol] | HINGED DOOR P04 | 1 |
| D18 | 1 | [Symbol] | DOUBLE HINGED DOOR P04 | 1 |

| WINDOW SCHEDULE | NO. | SYMBOL | DESCRIPTION | QTY |
|-----------------|-----|----------|-------------|-----|
| W01 | 1 | [Symbol] | FIXED GLASS | 1 |
| W02 | 1 | [Symbol] | FIXED GLASS | 1 |
| W03 | 1 | [Symbol] | FIXED GLASS | 1 |
| W04 | 1 | [Symbol] | FIXED GLASS | 1 |
| W05 | 1 | [Symbol] | FIXED GLASS | 1 |
| W06 | 1 | [Symbol] | DOUBLE HUNG | 1 |
| W07 | 1 | [Symbol] | FIXED GLASS | 1 |



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

BREMARIE DESIGNS LLC
 DRAFTING • 3D RENDERING • INTERIOR DESIGN
 903.213.3545
 BreMarieDesigns.com
 3122 N. Hwy. 8105
 Longview, TX 75605

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

SHEET TITLE:
FIRST FLOOR PLAN

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

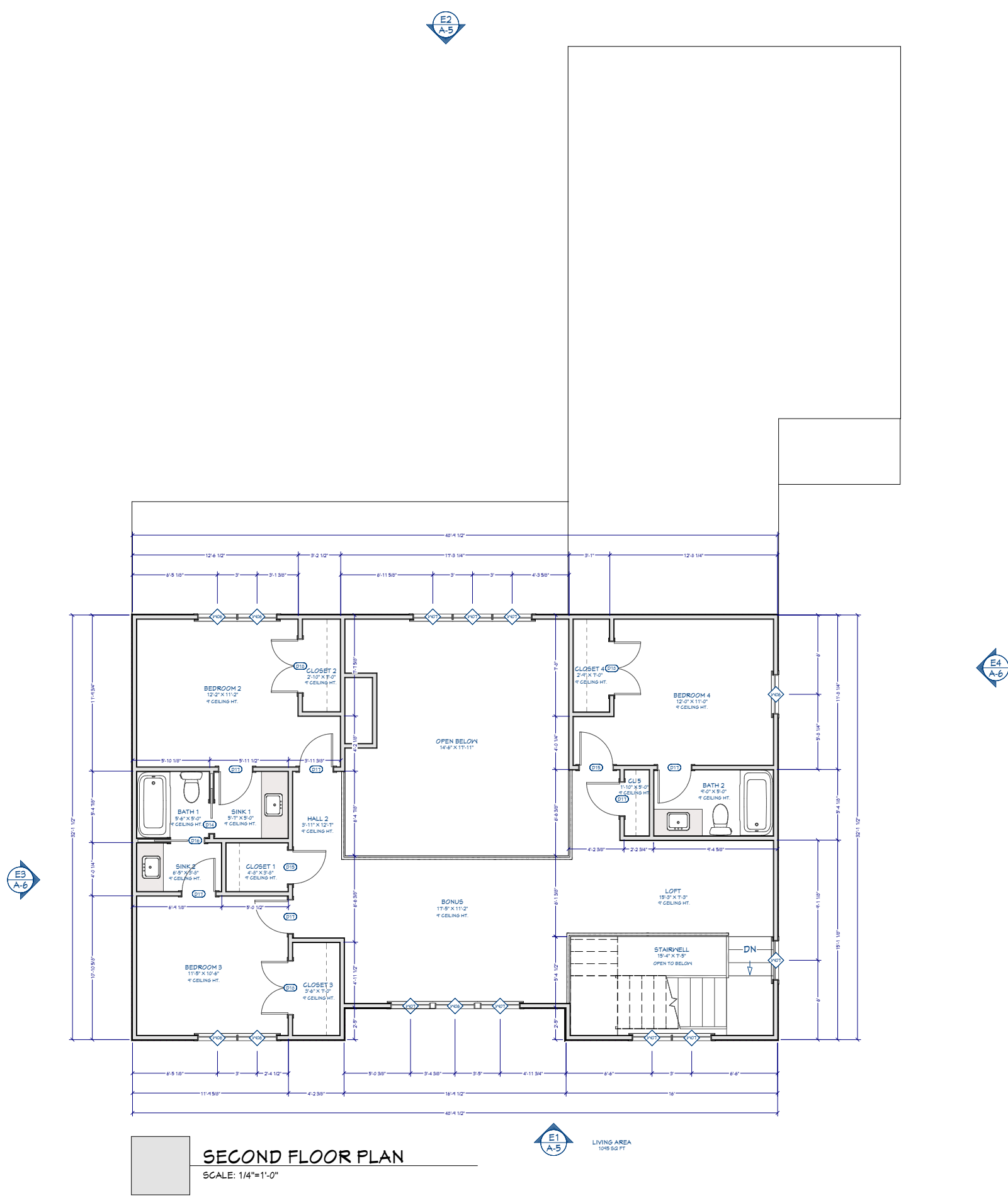
DATE:
 9/5/2023

SCALE:
 1/4"=1'-0"

SHEET:
A-3

| DOOR SCHEDULE | | | | | | |
|----------------|--------|------|------|--------------|----------|--------------------------------|
| DOOR ELEVATION | NUMBER | TYPE | SIZE | DESCRIPTION | QUANTITY | REMARKS |
| D01 | 4000 | 2 | 1 | 10'0" x 7'0" | 1 | GARAGE-GARAGE DOOR (WOOD) |
| D02 | 8000 | 3 | 1 | 8'0" L.R. EX | 1 | EXT. DOUBLE HINGED-GLASS PANEL |
| D03 | 3000 | 1 | 1 | 3'0" L. EX | 1 | EXT. HINGED-DOOR E02 |
| D04 | 3000 | 1 | 1 | 3'0" R. EX | 1 | EXT. HINGED-DOOR E02 |
| D05 | 2000 | 1 | 1 | 2'0" L. IN | 1 | HINGED-DOOR P04 |
| D06 | 2400 | 1 | 1 | 2'4" R. IN | 1 | HINGED-DOOR P04 |
| D07 | 2600 | 1 | 1 | 2'6" L. IN | 1 | HINGED-DOOR P04 |
| D08 | 2600 | 1 | 1 | 2'6" R. IN | 1 | HINGED-DOOR P04 |
| D09 | 2800 | 1 | 1 | 2'8" R. | 1 | POCKET-DOOR P04 |
| D10 | 2800 | 1 | 1 | 2'8" R. IN | 1 | HINGED-DOOR P04 |
| D11 | 2800 | 1 | 1 | 2'8" R. IN | 1 | HINGED-DOOR P04 |
| D12 | 2800 | 2 | 1 | 2'8" L. | 1 | POCKET-DOOR P04 |
| D13 | 2800 | 1 | 1 | 2'8" L. | 1 | SHOWER-GLASS SLAB |
| D14 | 2860 | 1 | 2 | 2'8" R. | 1 | POCKET-DOOR P04 |
| D15 | 2860 | 2 | 2 | 2'8" L. IN | 1 | HINGED-DOOR P04 |
| D16 | 2860 | 1 | 2 | 2'8" R. | 1 | POCKET-DOOR P04 |
| D17 | 2860 | 6 | 2 | 2'8" R. IN | 1 | HINGED-DOOR P04 |
| D18 | 4060 | 3 | 2 | 4'0" L.R. IN | 1 | DOUBLE HINGED-DOOR P04 |

| WINDOW SCHEDULE | | | | | | |
|------------------|--------|------|------|-------------|----------|-------------|
| WINDOW ELEVATION | NUMBER | TYPE | SIZE | DESCRIPTION | QUANTITY | REMARKS |
| W01 | 2040FX | 3 | 1 | 2040FX | 1 | FIXED GLASS |
| W02 | 2050FX | 2 | 1 | 2050FX | 1 | FIXED GLASS |
| W03 | 2630FX | 2 | 1 | 2630FX | 1 | FIXED GLASS |
| W04 | 3050FX | 4 | 1 | 3050FX | 1 | FIXED GLASS |
| W05 | 3060FX | 2 | 1 | 3060FX | 1 | FIXED GLASS |
| W06 | 3050DH | 6 | 2 | 3050DH | 1 | DOUBLE HUNG |
| W07 | 3050FX | 3 | 2 | 3050FX | 1 | FIXED GLASS |



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

E1
A-5
LIVING AREA
1095 SQ. FT.

BREMARIE DESIGNS LLC
DRAFTING - 3D MODELING - INTERIOR DESIGN
903.213.3545
BreMarieDesigns.com

3122 N. Hwy. 8105
Longview, TX 75605

REGISTERED INTERIOR DESIGNER
STATE OF TEXAS
12714
BreMarie M. Taylor
Issued: September 8, 2023

NO. DATE DESCRIPTION

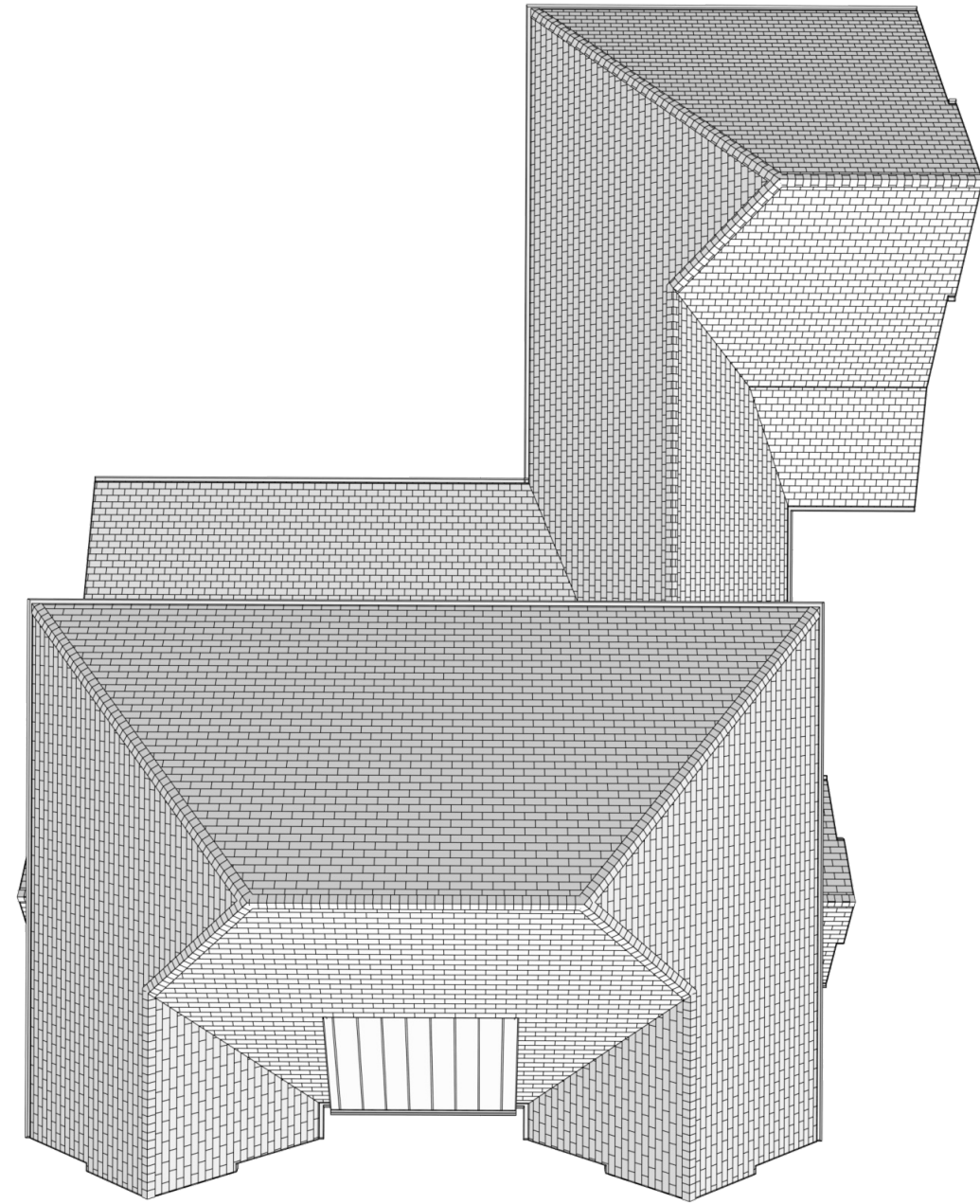
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SECOND FLOOR PLAN

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

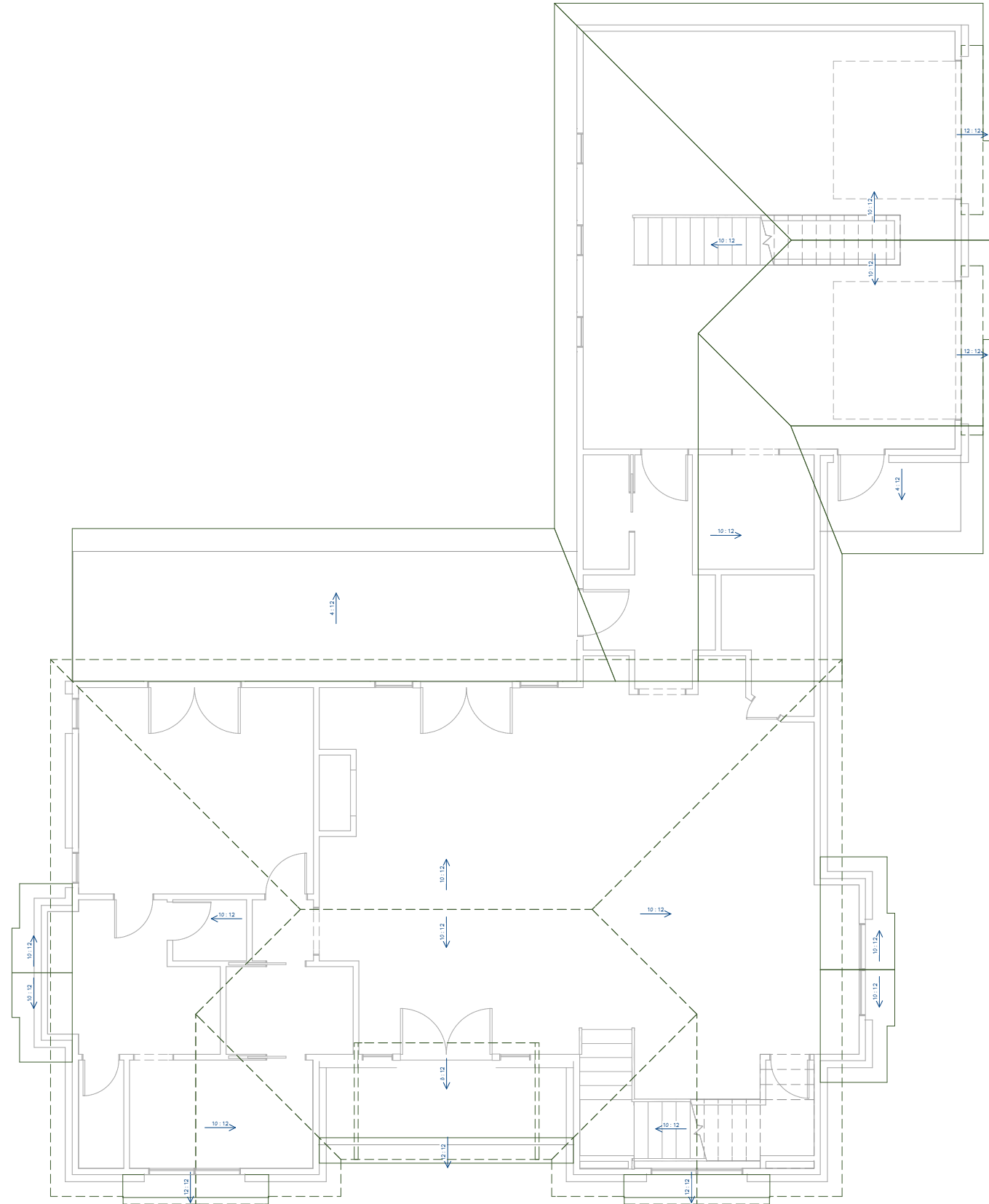
DATE:
9/5/2023

SCALE:
1/4"=1'-0"

SHEET:
A-4



ROOF OVERVIEW PERSPECTIVE



ROOF PLAN

SCALE: 1/4"=1'-0"

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

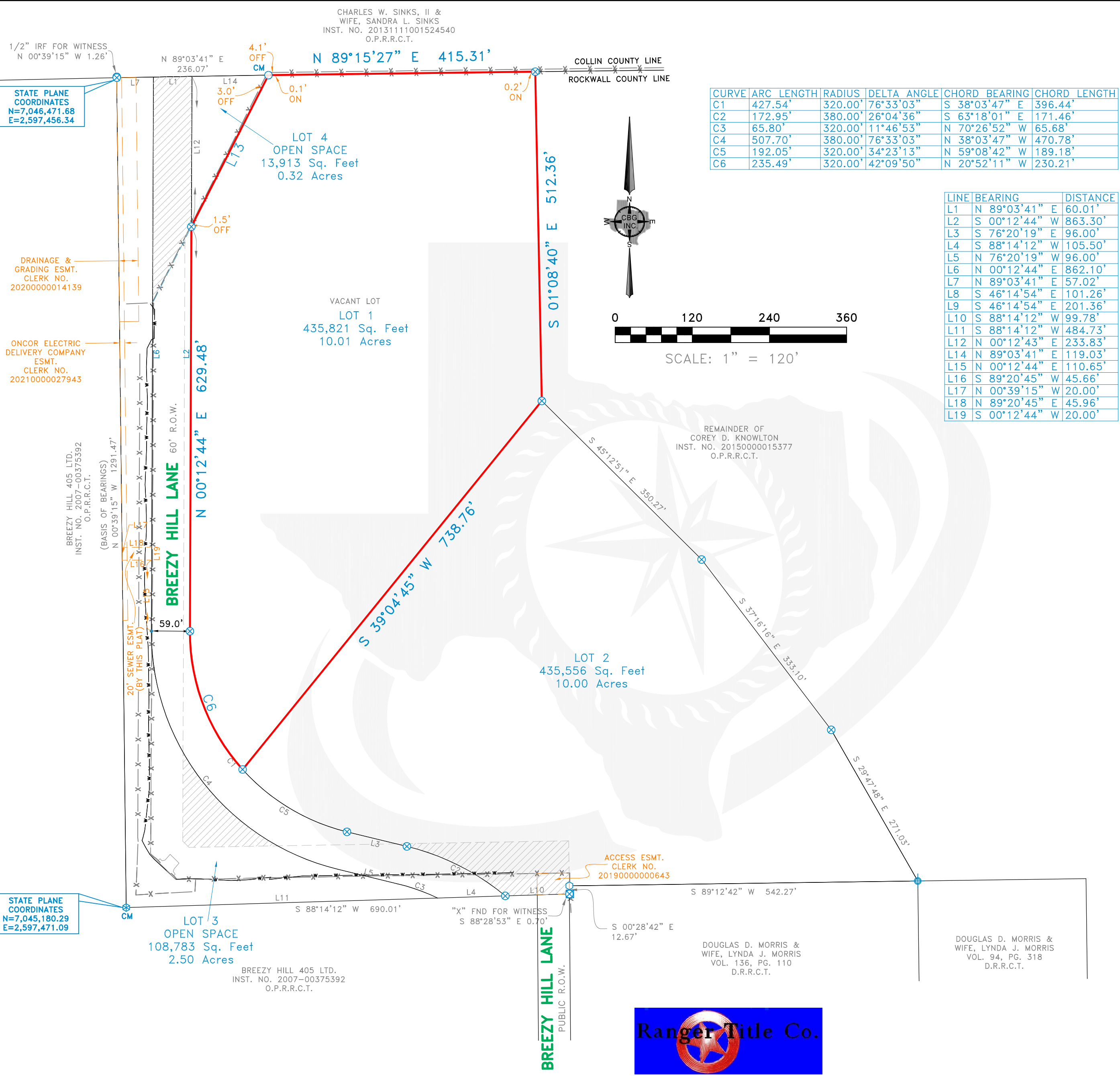
SHEET TITLE:
ROOF PLAN

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
 ROCKWALL, TEXAS
 TAYLOR HENSON

DATE:
 9/5/2023

SCALE:
 1/4"=1'-0"

SHEET:
A-8



| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|---------|-------------|---------------|--------------|
| C1 | 427.54' | 320.00' | 76°33'03" | S 38°03'47" E | 396.44' |
| C2 | 172.95' | 380.00' | 26°04'36" | S 63°18'01" E | 171.46' |
| C3 | 65.80' | 320.00' | 11°46'53" | N 70°26'52" W | 65.68' |
| C4 | 507.70' | 380.00' | 76°33'03" | N 38°03'47" W | 470.78' |
| C5 | 192.05' | 320.00' | 34°23'13" | N 59°08'42" W | 189.18' |
| C6 | 235.49' | 320.00' | 42°09'50" | N 20°52'11" W | 230.21' |

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 89°03'41" E | 60.01' |
| L2 | S 00°12'44" W | 863.30' |
| L3 | S 76°20'19" E | 96.00' |
| L4 | S 88°14'12" W | 105.50' |
| L5 | N 76°20'19" W | 96.00' |
| L6 | N 00°12'44" E | 862.10' |
| L7 | N 89°03'41" E | 57.02' |
| L8 | S 46°14'54" E | 101.26' |
| L9 | S 46°14'54" E | 201.36' |
| L10 | S 88°14'12" W | 99.78' |
| L11 | S 88°14'12" W | 484.73' |
| L12 | N 00°12'43" E | 233.83' |
| L14 | N 89°03'41" E | 119.03' |
| L15 | N 00°12'44" E | 110.65' |
| L16 | S 89°20'45" W | 45.66' |
| L17 | N 00°39'15" W | 20.00' |
| L18 | N 89°20'45" E | 45.96' |
| L19 | S 00°12'44" W | 20.00' |

Breezy Hill Lane (Lot 1)

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 2020000009078, Plat Records, Rockwall County, Texas.

SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

Michael Churchwell
Registered Professional Land Surveyor



NOTE: According to the F.I.R.M. in Map No. 48397C0030L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE _____

NOTES:
BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#S: 2020000009078, 2020000004363
3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

| REVISIONS | | |
|-----------|----|-------|
| DATE | BY | NOTES |
| | | |
| | | |

| LEGEND | |
|--------|--------------------------------|
| ○ | 1/2" IRON ROD FOUND |
| ⊗ | 1/2" IRON ROD SET |
| ○ | 1" IRON PIPE FOUND |
| □ | FENCE POST CORNER |
| ⊗ | "X" FOUND / SET |
| ⊗ | 5/8" ROD FOUND |
| ▲ | UNDERGROUND ELECTRIC |
| △ | OVERHEAD ELECTRIC |
| ● | POWER POLE |
| ⊕ | POINT FOR CORNER |
| ⊗ | GRAVEL/ROCK ROAD OR DRIVE |
| PE | POOL EQUIPMENT |
| ■ | COLUMN |
| AC | AIR CONDITIONING |
| ⊗ | FIRE HYDRANT |
| — | OES - OES |
| — | OHP - OHP |
| — | CONCRETE PAVING |
| — | DOUBLE SIDED WOOD FENCE |
| — | ASPHALT PAVING |
| — | CHAIN LINK FENCE |
| — | WOOD FENCE |
| — | 0.5" WIDE TYPICAL BARBED WIRE |
| — | IRON FENCE |
| — | PIPE FENCE |
| — | COVERED PORCH, DECK OR CARPORT |
| — | OVERHEAD ELECTRIC SERVICE |
| — | OVERHEAD POWER LINE |

CBG SURVEYING TEXAS LLC
1413 E. IH-30, Ste. 7
Garland, TX 75043
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxl.com

| | | | | |
|-----------|------------|------------|-----------|-------|
| SCALE | DATE | JOB NO. | G.F. NO. | DRAWN |
| 1" = 120' | 02/21/2022 | 1513780-13 | SEE CERT. | MARIA |

FINAL SURVEY

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BREEZY HILL LANE (LOT 1)



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

| ADDRESS | HOUSING TYPE | YEAR BUILT | HOUSE SF | ACCESSORY BUILDING | EXTERIOR MATERIALS |
|-----------------------|--------------------|------------|----------|--------------------|--------------------|
| 1325 Breezy Hill Lane | Vacant | N/A | N/A | N/A | N/A |
| 1460 Anna Cade Road | Single-Family Home | 2017 | 13,158 | N/A | Stone and Siding |
| 0000 Breezy Hill Lane | Vacant | N/A | N/A | N/A | N/A |
| 4618 Sky Harbor Drive | Single-Family Home | 2021 | 5,886 | N/A | Brick and Stone |
| 4614 Sky Harbor Drive | Single-Family Home | 2021 | 5,726 | N/A | Brick and Stone |
| 4610 Sky Harbor Drive | Single-Family Home | 2021 | 5,487 | N/A | Brick and Stone |
| 4606 Sky Harbor Drive | Single-Family Home | 2021 | 5,550 | N/A | Brick and Stone |
| 4602 Sky Harbor Drive | Single-Family Home | 2021 | 4,830 | N/A | Brick and Stone |
| 4550 Sky Harbor Drive | Single-Family Home | 2021 | 5,036 | N/A | Brick |
| 4546 Sky Harbor Drive | Single-Family Home | 2021 | 5,242 | N/A | Brick |
| 4538 Sky Harbor Drive | Single-Family Home | 2021 | 4,822 | N/A | Brick and Siding |
| AVERAGES: | | 2021 | 6,193 | #DIV/0! | |



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

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1325 Breezy Hill Lane



1460 Anna Cade



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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0000 Breezy Hill Lane



4618 Sky Harbor Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



4614 Sky Harbor Drive



4610 Sky Harbor Drive



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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4606 Sky Harbor Drive



4602 Sky Harbor Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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4550 Sky Harbor Drive



4546 Sky Harbor Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-040

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



4538 Sky Harbor Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 10.00-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, BREEZY HILL LANE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kaylee and Taylor Henson for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* on a 10.00-acre tract of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2nd DAY OF OCTOBER, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

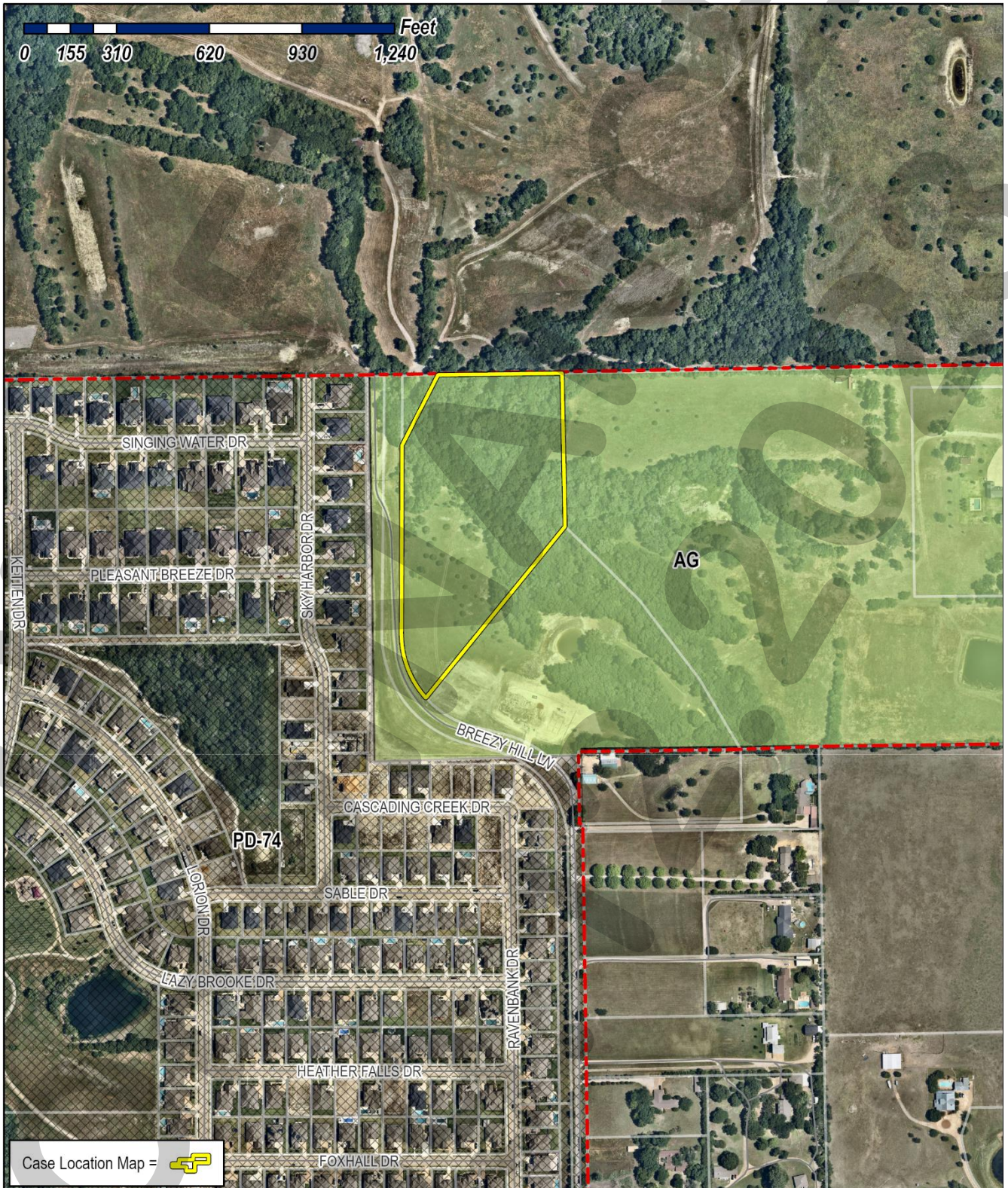
1st Reading: September 18, 2023

2nd Reading: October 2, 2023

**Exhibit 'A':
Location Map**

Address: 1325 Breezy Hill Lane

Legal Description: Lot 1, Block A, Breezy Hill Lane Addition



**Exhibit 'B':
Residential Plot Plan**

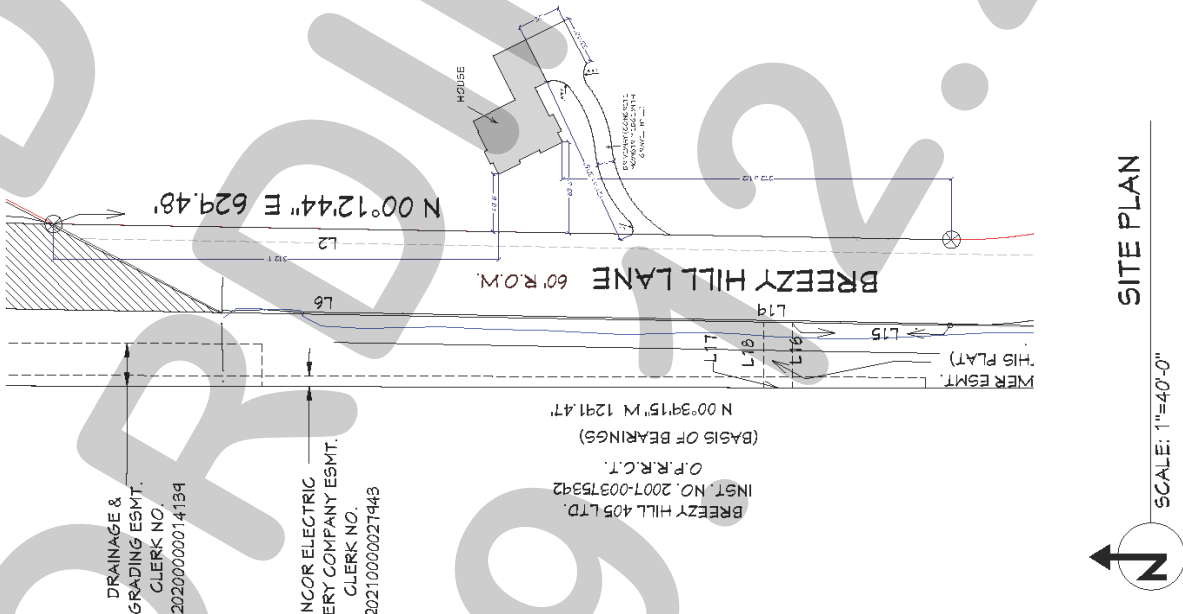
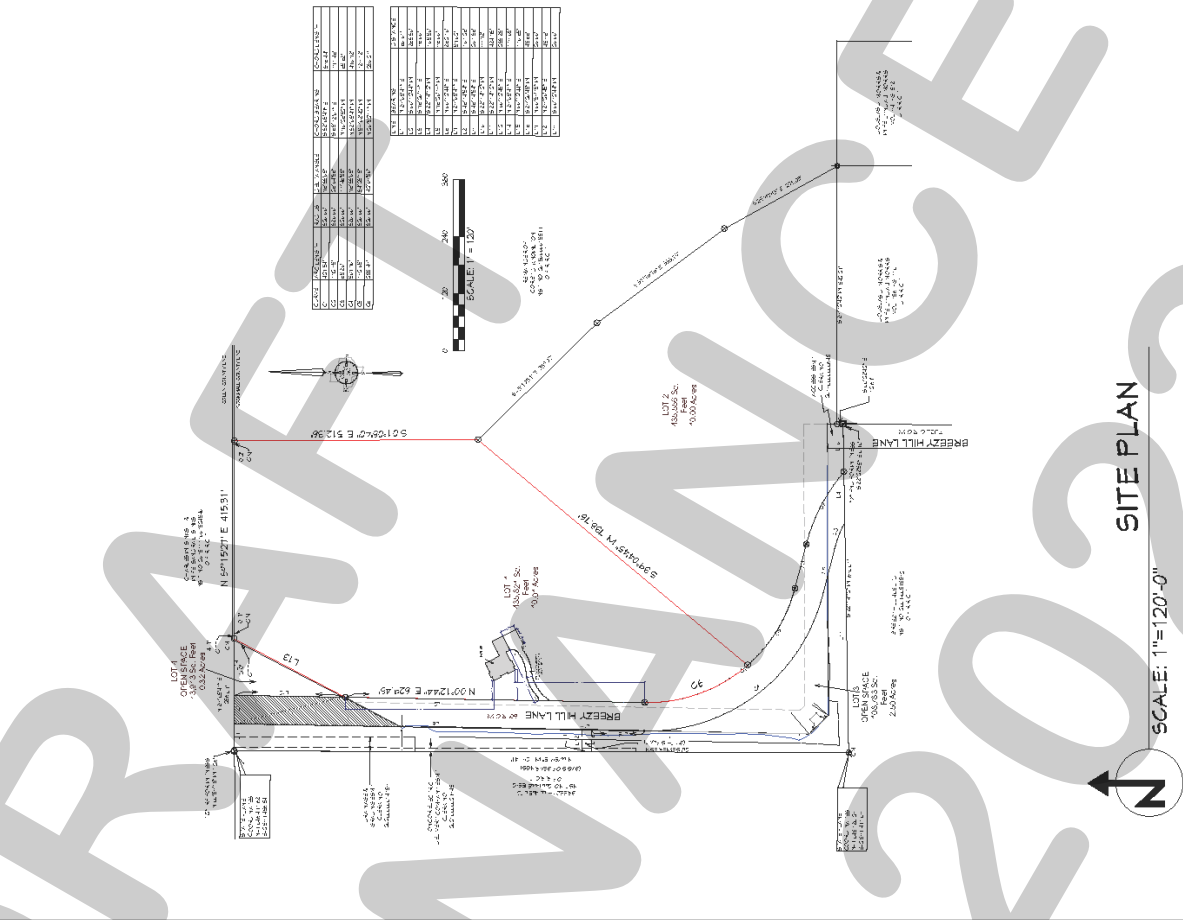
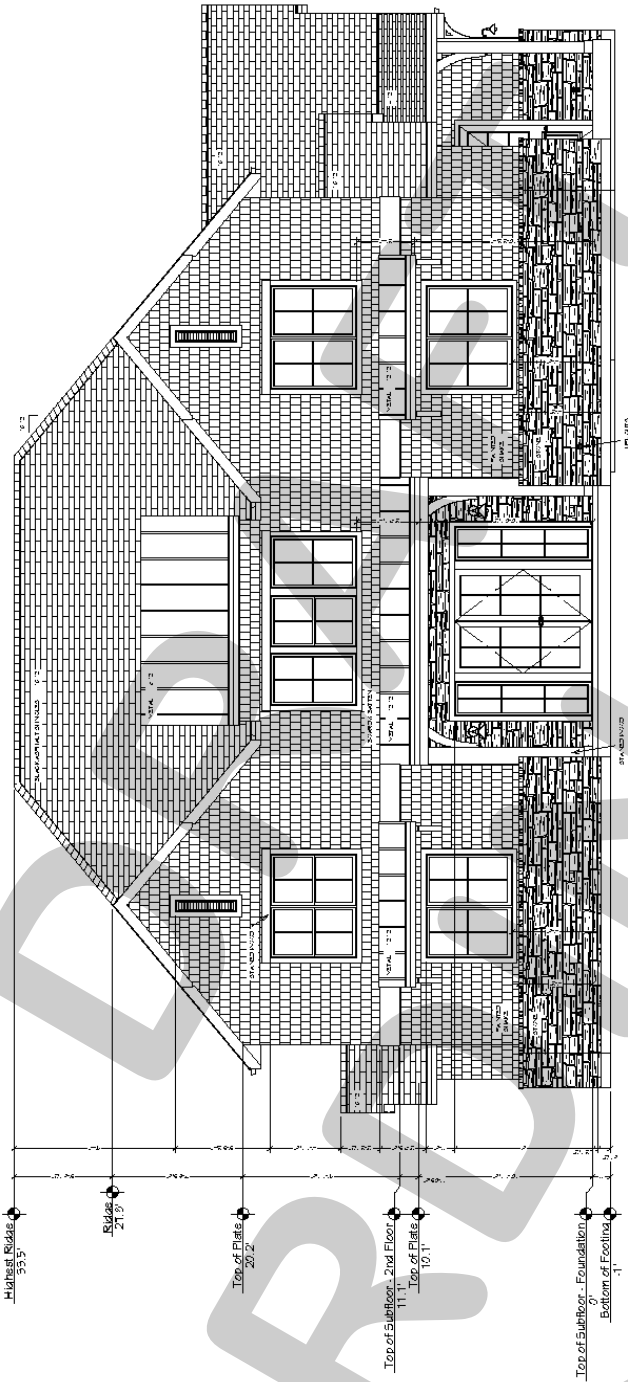
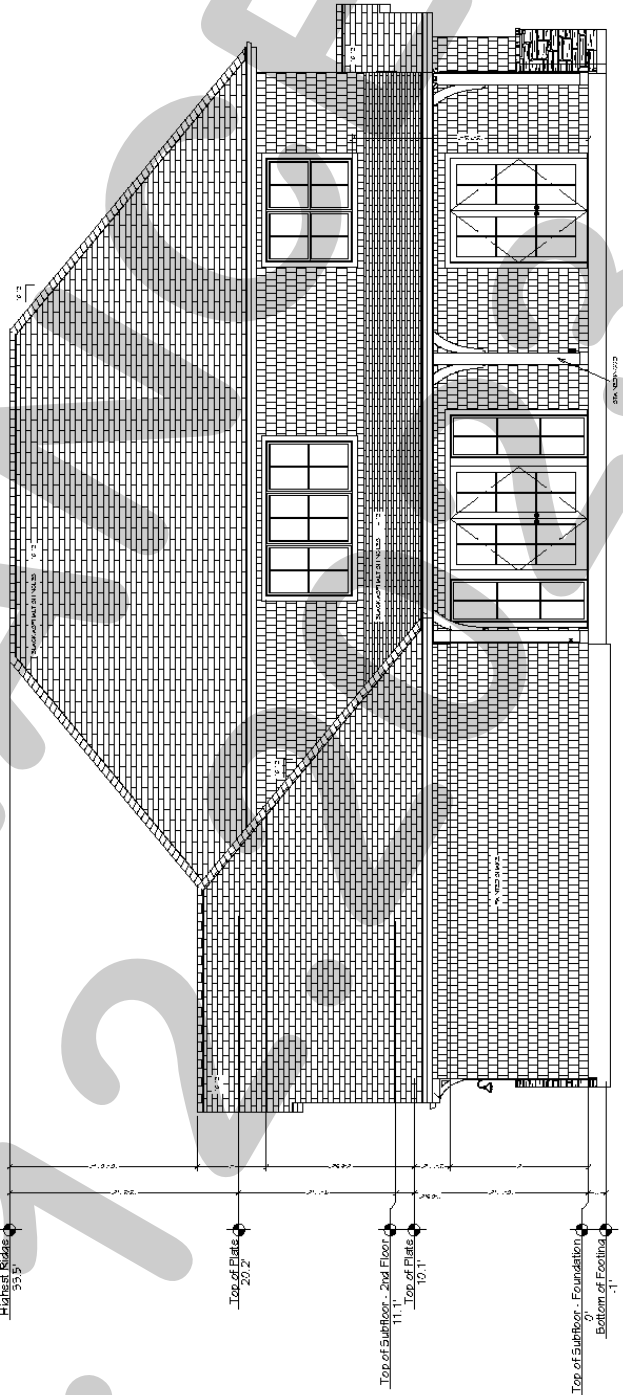


Exhibit 'C':
Building Elevations



FRONT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

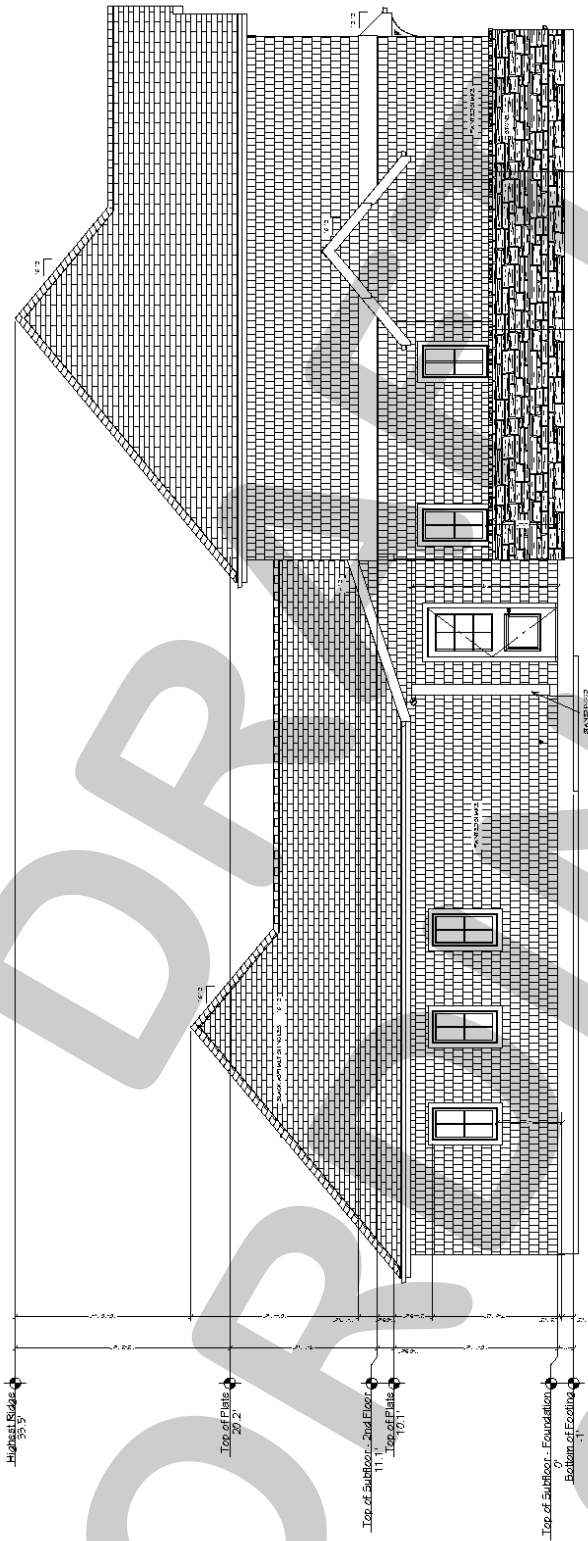
E1



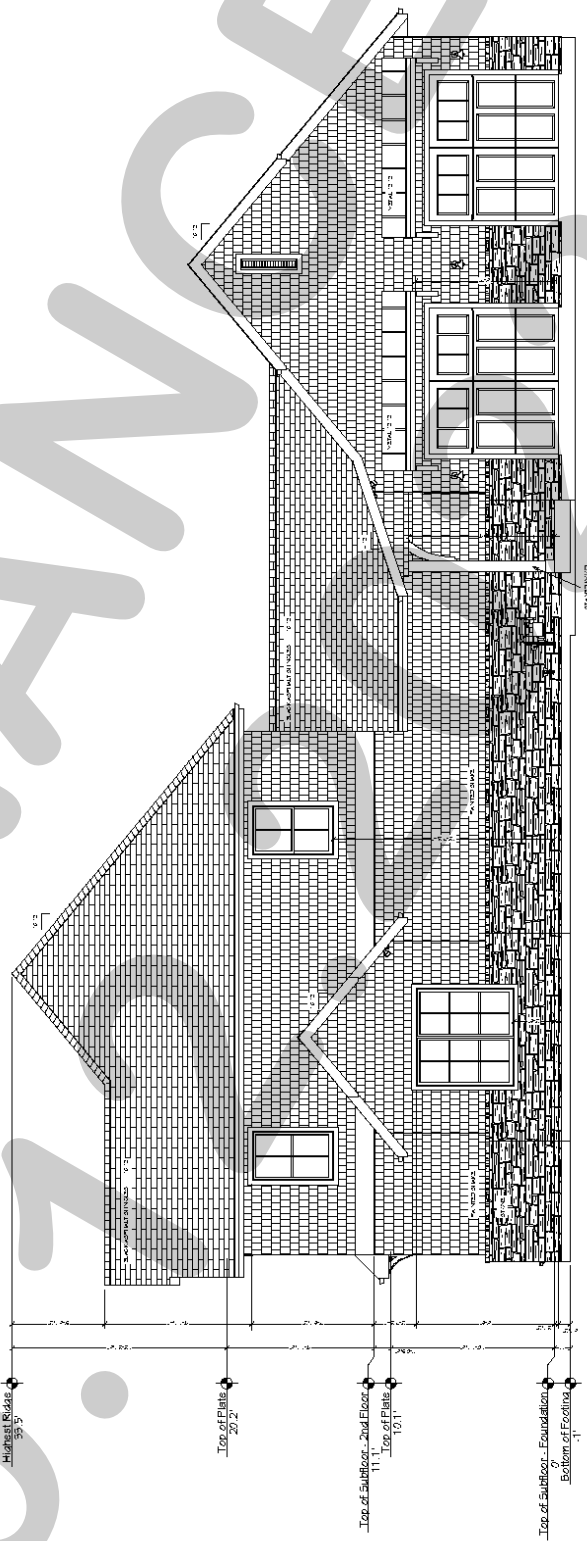
REAR EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

E2

Exhibit 'C':
Building Elevations



E3 LEFT EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



E4 RIGHT EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 12, 2023
APPLICANT: Anthony Loeffel; *Kimley-Horn*
CASE NUMBER: Z2023-041; *Zoning Change (AG & LI to C)*

SUMMARY

Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the December 7, 1993 *Zoning Map*, a portion of the subject property was zoned Highway Commercial (HC) District. This designation was changed to a Light Industrial (LI) District between December 7, 1993 and April 5, 2005 according to the City's *Historic Zoning Maps*. On January 6, 2020, the City Council approved *Case No. P2019-048 (filed on April 9, 2021)* establishing the subject property as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition. The subject property has remained vacant since annexation.

PURPOSE

On August 18, 2023, the applicant -- *Anthony Loeffel of Kimley-Horn* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District and a Light Industrial (LI) District to a Commercial (C) District to facilitate the future conveyance of the property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of Stodghill Road (*i.e. FM-3549*) and the IH-30 Westbound Frontage Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 36.56-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Commercial Addition*) zoned Agricultural (AG) District. North of this parcel is a 120-foot railroad right-of-way, which is owned by the *M. K. & T. Railroad*. Beyond this are 11 tracts of land (*i.e. Tracts 1, 11, 13, 15, 22, 24, 25, 25-01, 25-2, 30, & 31 of the E. M. Elliott Survey, Abstract No. 77*) that are zoned Agricultural (AG) District and Single-Family Estate 1.5 (SFE-1.5) District. Eight (8) of these properties have existing single-family homes situated on them. Beyond this is Airport Road, which is designated as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) tracts of land (*i.e. a portion of Lot 1, Block C, Rockwall Commercial Park Addition and Tract 5-1 of the J. Lockhart Survey, Abstract No. 134*) that are zoned Light Industrial (LI) District.

Both of these properties have existing industrial buildings situated on them. Beyond this is the westbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the eastbound lanes of the IH-30 Frontage Road.

East: Directly east of the subject property is Stodghill Road, which is identified as an A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant tracts of land (*i.e. Tracts 10 & 10-3 of the R. Irvine Survey, Abstract No. 120*) zoned Commercial (C) District. East of this are the City limits between the City of Rockwall and the City of Fate and the City of Mobile City.

West: Directly west of the subject property are multiple vacant parcels of land zoned Agricultural (AG) District, Light Industrial (LI) District, and Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CONFORMANCE TO THE CITY’S CODES

According to Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Commercial (C) District is the proper zoning classification for most types of commercial development (*e.g. larger shopping centers at major intersections, commercial strips along arterial roadways, etc.*). The land uses specified for the Commercial (C) District include most types of office and retail activity with some special provisions for wholesale land uses.” In addition, the Commercial (C) District is a general business zone, and is intended to service most commercial land uses with the exception of land uses that include outside storage. In this case, the applicant has stated that the property is being rezoned to facilitate the future potential sale of the property. According to Article 05, *District Development Standards*, of the Unified Development Code (UDC), the following is a summary of the density and dimensional requirements of the Commercial (C) District:

TABLE 1: COMMERCIAL (C) DISTRICT STANDARDS

| | |
|---|-----------|
| MINIMUM LOT AREA | 10,000 SF |
| MINIMUM LOT WIDTH | 60’ |
| MINIMUM LOT DEPTH | 100’ |
| MINIMUM FRONT YARD SETBACK ^{(1) & (2)} | 15’ |
| MINIMUM SIDE YARD SETBACK ⁽³⁾ | 10’ |
| MINIMUM REAR YARD SETBACK ⁽³⁾ | 10’ |
| MINIMUM BETWEEN BUILDINGS ⁽³⁾ | 15’ |
| MAXIMUM BUILDING HEIGHT ⁽⁴⁾ | 60’ |
| MAXIMUM LOT COVERAGE | 60% |
| MINIMUM LANDSCAPING | 20% |

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE.
- 3: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 4: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

If this zoning change is approved and when the subject property is developed, the development will be required to conform to all the requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and any other applicable local, state or federal requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the IH-30 Corridor District and is designated for Special Commercial (SC) Corridor land uses. According to the Comprehensive Plan, the IH-30

Corridor District is "...the primary retail corridor for the City of Rockwall ... (t)he Corridor ... has land uses that include retail, personal services, medical, and industrial. In the future, the health of the IH-30 Corridor is vital to maintaining a high per capita sales tax for the City of Rockwall." In addition, the Special Commercial (SC) Corridor is defined as an area that is "...intended to provide commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region." This section goes on to state that the appropriate zoning classifications for this land use designation are the Commercial (C) District and Planned Development (PD) District. The applicant's request to change the zoning of the subject property from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District, is in conformance with the Special Commercial (SC) Corridor land use designation, and appears to conform to the *District Strategies* contained in the IH-30 Corridor District; however, this will need to be reevaluated for conformance at the time a specific land use is identified for the property.

Staff should point out that the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1], and that the *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Since the proposed zoning change is in conformance to the Future Land Use Plan, the proposed zoning change does not change the mix of residential to non-residential land uses. With this being said, zoning is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the proposed request, the applicant is not proposing to develop the subject property; however, when the property is developed the following infrastructure is required to be constructed to provide adequate public services for the subject property:

- (1) Water Improvements. The development of the subject property will require the construction of a 12-inch waterline per the Master Water Distribution Plan.
- (2) Sewer Improvements. The development of the subject property will require the extension of the existing 12-inch wastewater line in Justin Road to Stodghill Road [FM-3549].
- (3) Roadways. Justin Road is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway), which requires a minimum of an 85-foot right-of-way and two (2), 25-foot back-to-back concrete streets with a 14-foot median. Currently, half of this roadway has been constructed. When developed the remaining portion of this roadway and any lights or appurtenances will need to be provided. In addition, the applicant will need to construct a five (5) foot sidewalk along Justin Road and/or any other public rights-of-way.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual*.

STAFF ANALYSIS

The proposed zoning change is consistent with the Unified Development Code (UDC), and conforms to the OURHometown Vision 2040 Comprehensive Plan.

NOTIFICATIONS

On August 22, 2023, staff mailed 30 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District and a Light Industrial (LI) District to a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

| | | | | | |
|------------------|--|-----|------------|-------|------------|
| ADDRESS | NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30 | | | | |
| SUBDIVISION | ROCKWALL COMMERCIAL | LOT | SEE SURVEY | BLOCK | SEE SURVEY |
| GENERAL LOCATION | NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30 | | | | |

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

| | | | | | |
|-----------------|--------------------------------|----------------|-------------------|-----------------|---|
| CURRENT ZONING | AG & LI | CURRENT USE | NONE | | |
| PROPOSED ZONING | COMMERCIAL (C) Zoning District | PROPOSED USE | COMMERCIAL/RETAIL | | |
| ACREAGE | 65.147 | LOTS [CURRENT] | 1 | LOTS [PROPOSED] | 1 |

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | | | |
|--------------------------------|---------------------------------------|---|---------------------------------|
| <input type="checkbox"/> OWNER | ROCKWALL 549/I-30 PARTNERS, L.P. | <input checked="" type="checkbox"/> APPLICANT | KIMLEY-HORN |
| CONTACT PERSON | JAMES MELINO | CONTACT PERSON | ANTHONY LOEFFEL |
| ADDRESS | 8750 CENTRAL EXPRESSWAY SUITE 1735 | ADDRESS | 400 N. OKLAHOMA DR, SUITE 105 |
| CITY, STATE & ZIP | DALLAS, TEXAS, 75231 | CITY, STATE & ZIP | CELINA, TEXAS, 75009 |
| PHONE | 214-691-2556 | PHONE | 469-301-2581 |
| E-MAIL | jim@cambridgecos.com | E-MAIL | ANTHONY.LOEFFEL@KIMLEY-HORN.COM |

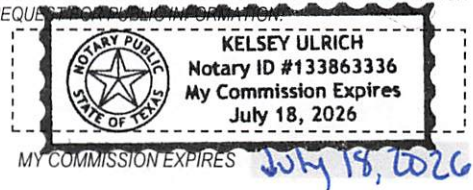
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES MELINO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$1,177.21 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF August, 2023
OWNER'S SIGNATURE By: James Melino, Auth. Rep.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kelsey Ulrich





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
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- AMENDING OR MINOR PLAT (\$150.00)
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NOTES:

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PROPERTY INFORMATION [PLEASE PRINT]

| | | | | | |
|------------------|--|-----|------------|-------|------------|
| ADDRESS | NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30 | | | | |
| SUBDIVISION | ROCKWALL COMMERCIAL | LOT | SEE SURVEY | BLOCK | SEE SURVEY |
| GENERAL LOCATION | NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30 | | | | |

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

| | | | | | |
|-----------------|--------------------------------|----------------|-------------------|-----------------|---|
| CURRENT ZONING | Light Industrial | CURRENT USE | NONE | | |
| PROPOSED ZONING | COMMERCIAL (C) Zoning District | PROPOSED USE | COMMERCIAL/RETAIL | | |
| ACREAGE | 0.91 | LOTS [CURRENT] | 1 | LOTS [PROPOSED] | 1 |

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | | | |
|--------------------------------|---------------------------------------|---|---------------------------------|
| <input type="checkbox"/> OWNER | CONVEYOR I30 PARTNERS LP | <input checked="" type="checkbox"/> APPLICANT | KIMLEY-HORN |
| CONTACT PERSON | JAMES MELINO | CONTACT PERSON | ANTHONY LOEFFEL |
| ADDRESS | 8750 CENTRAL EXPRESSWAY SUITE 1735 | ADDRESS | 400 N. OKLAHOMA DR, SUITE 105 |
| CITY, STATE & ZIP | DALLAS, TEXAS, 75231 | CITY, STATE & ZIP | CELINA, TEXAS, 75009 |
| PHONE | 214-691-2556 | PHONE | 469-301-2581 |
| E-MAIL | jim@cambridgecos.com | E-MAIL | ANTHONY.LOEFFEL@KIMLEY-HORN.COM |

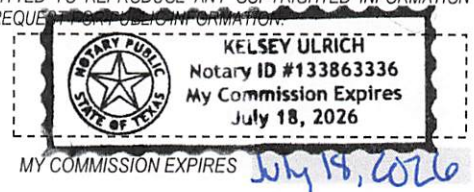
NOTARY VERIFICATION [REQUIRED]

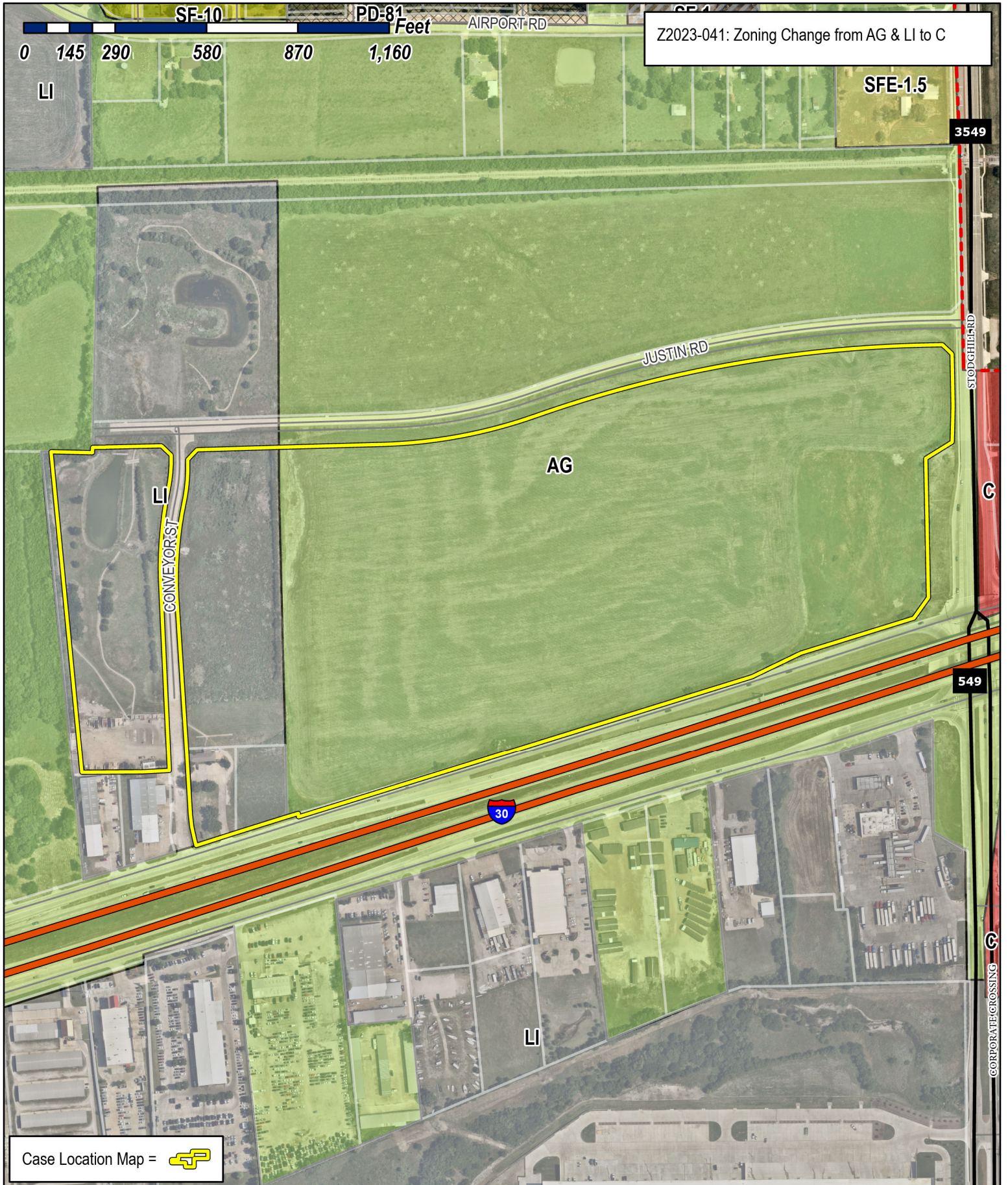
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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF August, 2023
OWNER'S SIGNATURE By: James Melino, Auth. Rep.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kelsey Ulrich





Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

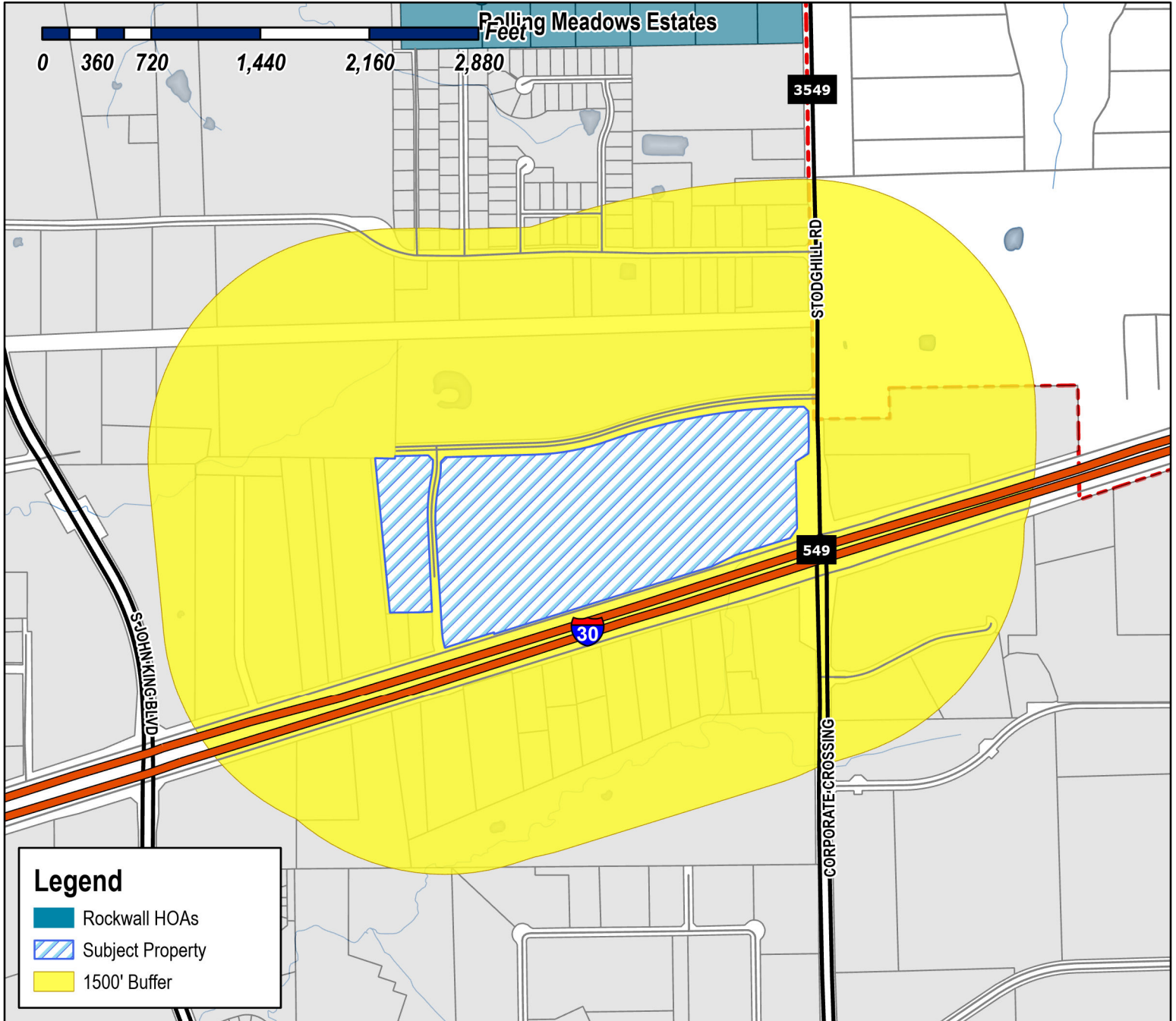




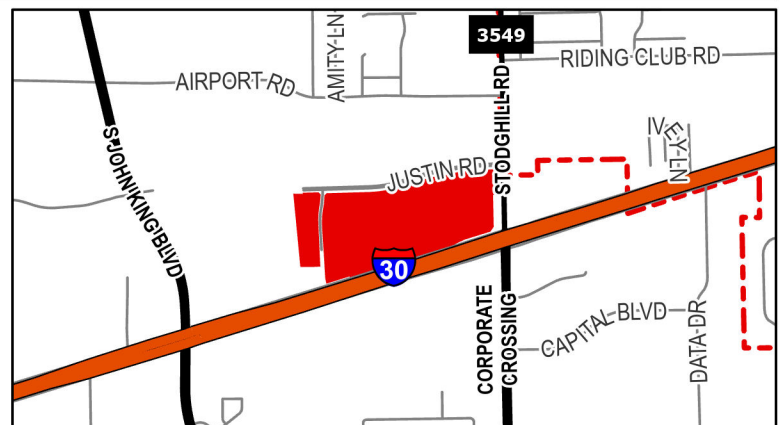
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Case Number: Z2023-041
Case Name: Zoning Change from AG & LI to C
Case Type: Zoning
Zoning: Commercial
Case Address: NE Corner of FM 3549 and E I-30



Date Saved: 8/18/2023

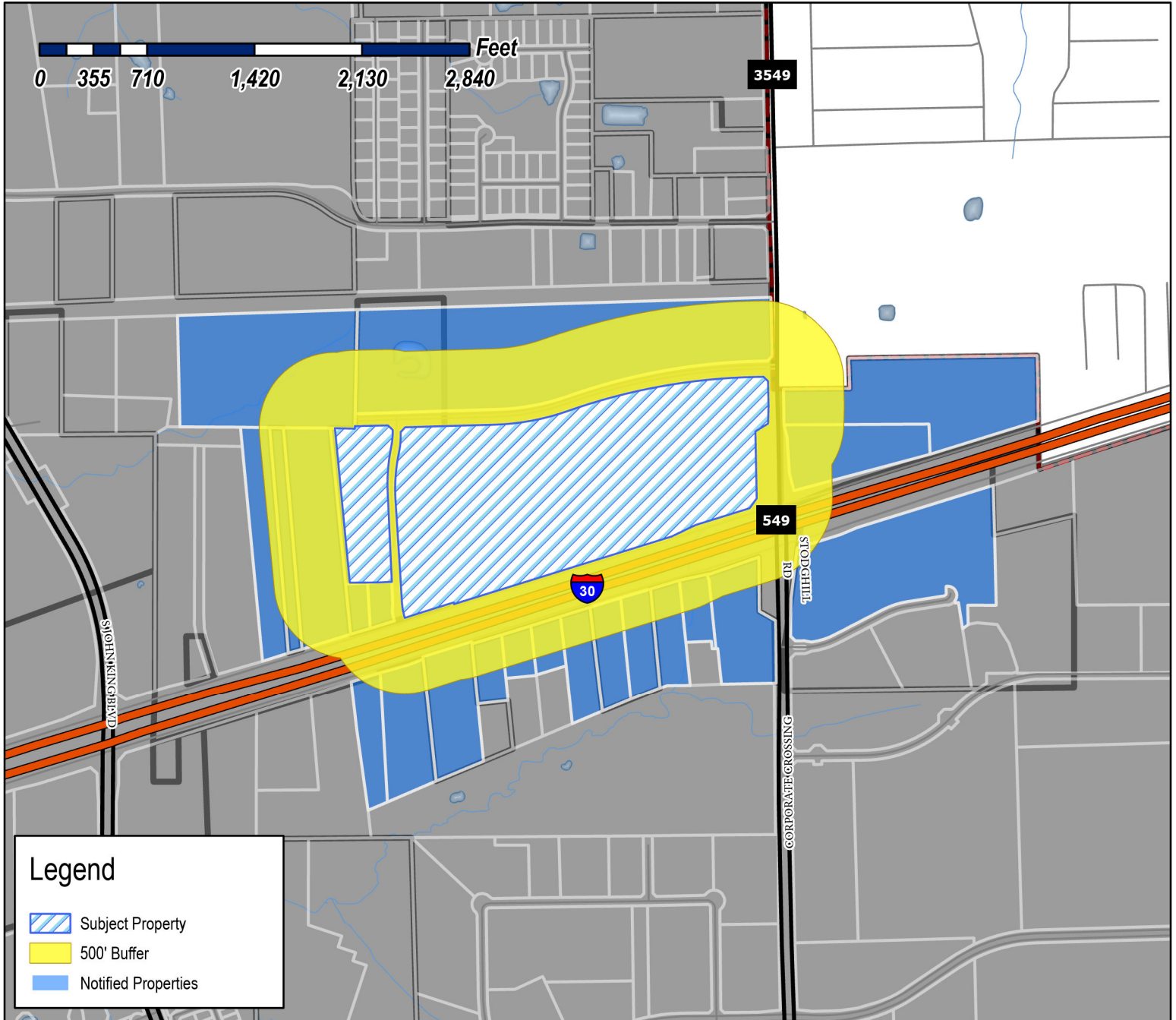
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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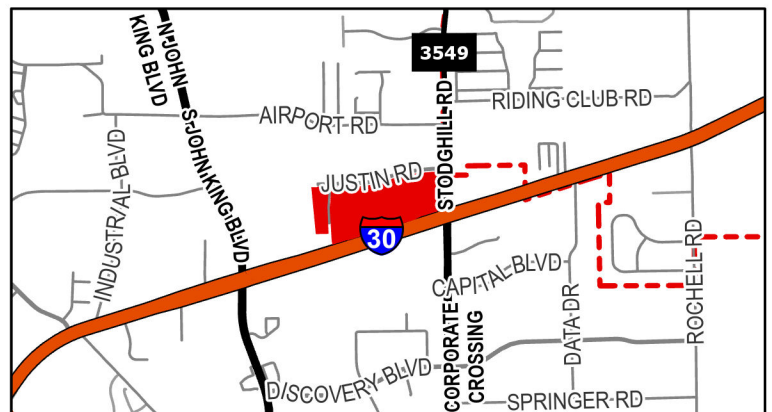
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Case Number: Z2023-041
Case Name: Zoning Change from AG & LI to C
Case Type: Zoning
Zoning: Commercial
Case Address: NE Corner of FM 3549 and E I-30

Date Saved: 8/18/2023

For Questions on this Case Call: (972) 771-7746



MYASIN INVESTMENTS LLC
11243 SHADY TRL
DALLAS, TX 75229

MHC I30 LP
12001 N CENTRAL EXPRESSWAY SUITE 875
DALLAS, TX 75243

LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

THE STATE OF TEXAS, BY AND THROUGH THE
TEXAS TRANSPORTATION COMMISSION
125 E 11TH STREET
AUSTIN, TX 78701

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

GENESTA PARTNERSHIP
1850 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1860 E I30
ROCKWALL, TX 75087

RESIDENT
1880 I30 RD
ROCKWALL, TX 75087

RESIDENT
1900 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1960 E I30
ROCKWALL, TX 75087

RESIDENT
1970 I30 SOUTH SERVICE RD
ROCKWALL, TX 75087

RESIDENT
1990 E I30
ROCKWALL, TX 75087

STRUCTURED REA- ROCKWALL LAND LLC
2801 E. CAMELBACK ROAD SUITE 200
PHOENIX, AZ 85016

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

MOORE MICHAEL F
557 MARIAH BAY DR
HEATH, TX 75032

CAVENDER INVESTMENT PROPERTIES E LTD
7820 SOUTH BROADWAY
TYLER, TX 75703

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75088

GREG OLLOM MANAGEMENT LLC
941 CORNELIUS RD
ROCKWALL, TX 75087

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-041: Zoning Change from AG & LI to C

Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-041: Zoning Change from AG & LI to C

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-041: Zoning Change from AG & LI to C

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

NO OBJECTION TO THE CHANGE IN ZONING

Name:

DONNA PRITCHARD

Address:

1610 SHORES BLVD. - ROCKWALL 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



August 18, 2023

Mr. Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

**RE: Proposed Zoning Change at NWC of FM 3549 and IH-30
Letter of Explanation
Rockwall, Texas**

Mr. Miller:

At the request of the Owner parcel 114981, 114982, 26819 and 26818 per Rockwall CAD, we are requesting a zoning change of the approximately 66 acres of land at the northwest corner of FM 3549 and Interstate 30. We are requesting a straight zoning change from Agricultural and Light Industrial to Commercial (C) Zoning District.

Sincerely,

A handwritten signature in blue ink, appearing to read "Anthony Loeffel".

Anthony Loeffel, P.E.

TRACT 1

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77 and John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1R, Block C of Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Instrument No. 20210000008470 of the Plat Records of Rockwall County, Texas.

TRACT 2

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 2021000008470, Plat Records of Rockwall County, Texas, and being a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a cap stamped "TXDOT" found for the southwest corner of said Lot 1, Block D and the northeast corner of the intersection of northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way) with the easterly right-of-way line of Conveyors Street (a 60-foot right-of-way), same being at the beginning of a non-tangent curve to the right with a radius of 397.84 feet, a central angle of 13°52'57", and a chord bearing and distance of North 10°51'16" West, 96.16 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, and with said non-tangent curve to the right, an arc distance of 96.40 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE North 03°13'23" West, continuing along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, passing at a distance of 228.03 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the northernmost southwest corner of said Lot 1, Block B, continuing along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street a total distance of 706.26 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'45" East, 308.22 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street the following courses and distances:

In a northerly direction, with said tangent curve to the right, an arc distance of 309.12 feet to the beginning of a reverse curve to the left with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'50" East, 125.86 feet, from which a 5/8" iron rod with plastic cap stamped "KHA" found bears South 57°02'14" East, a distance of 0.35 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 126.15 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 01°43'20" West, a distance of 9.59 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the most southerly northwest corner of said Lot 1, Block B same being the southernmost end of a right-of-way corner clip at the intersection of the east right-of-way line of said Conveyors Street and the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 2021000008470, Plat Records of Rockwall County, Texas;

THENCE North 43°16'40" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the northernmost end of said right-of-way clip same being the most northerly northwest corner of said Lot 1, Block B;

THENCE North 88°16'40" East, along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, a distance of 261.47 feet to a point for corner on the easterly line of said 8.40 gross acre tract and the westerly line of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, Real Property Records of Rockwall County, Texas;

THENCE South 01°12'38" East, departing the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a 1/2-inch iron rod found for the easterly, southeast corner of said 8.40 gross acre tract and the northeast corner of a called 1.00 acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, Real Property Records of Rockwall County, Texas, same also being an ell corner of said Lot 1, Block B;

THENCE South 87°29'50" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract;

THENCE South 01°17'14" East, departing the southerly line of said Lot 1, Block B, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing aforesaid Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod with a plastic cap, stamped "RPLS 5034" found for the southwest corner of said 1.00-acre tract, the southerly and the southeast corner of said 8.40 gross acre tract, same being on the southerly line of aforesaid Lot 1, Block D and the northerly right-of-way line of aforesaid Interstate Highway 30;

THENCE South 72°46'08" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block D and along the northerly right of way line of said Interstate Highway 30, a distance of 136.40 feet to the **POINT OF BEGINNING** and containing 349,085 square feet or 8.014 acres of land, more or less.

TRACT 3

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 2021000008470, Plat Records of Rockwall County, Texas, and a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, and all of a called 1.00-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, both of the Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most southerly southeast corner of said Lot 1, Block B and in the northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way);

THENCE along the common line of said Lot 1, Block B and the northerly right-of-way line of said Interstate Highway 30, the following courses and distances:

South 72°46'18" West, a distance of 384.46 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

South 64°14'27" West, a distance of 202.24 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE South 72°46'08" West, continuing along said common line and the south line of said Lot 1, Block D, and passing at a distance of 1507.74 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southeast corner of said Lot 1, Block D, continuing along said line a total distance of 1,677.69 feet to a 1/2-inch iron rod found for the southwest corner of aforesaid 1.00-acre tract, same being the southerly, southeast corner of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas;

THENCE North 01°17'14" West, departing the northerly right-of-way line of said Interstate Highway 30 and the southerly line of said Lot 1, Block D, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing said Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract, same also being on a southerly line of aforesaid Lot 1, Block B;

THENCE North 87°29'50" East, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northeast corner of said 1.00-acre tract and the easterly, southeast corner of said 8.40 gross acre tract and an ell corner of said Lot 1, Block B, same being on the westerly line of aforesaid 80.79-acre tract;

THENCE North $01^{\circ}12'38''$ West, departing the southerly line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a point for on the corner on the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 2021000008470, Plat Records of Rockwall County, Texas and the north line of said Lot 1, Block B;

THENCE along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, the following courses and distance:

North $88^{\circ}16'40''$ East, a distance of 331.59 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the left with a radius of 1,592.50 feet, a central angle of $17^{\circ}40'38''$, and a chord bearing and distance of North $79^{\circ}26'21''$ East, 489.38 feet;

In an easterly direction, with said tangent curve to the left, an arc distance of 491.33 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a reverse curve to the right with a radius of 3,979.40 feet, a central angle of $18^{\circ}16'32''$, and a chord bearing and distance of North $79^{\circ}44'18''$ East, 1,263.93 feet;

In an easterly direction, with said reverse curve to the right, an arc distance of 1,269.31 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North $88^{\circ}52'34''$ East, a distance of 49.83 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most northerly northeast corner of said Lot 1, Block B same being the northernmost end of a right-of-way corner clip at the intersection of the south right-of-way line of said Justin Road and the west right-of-way line of F.M. Highway 3549 (a variable width right-of-way);

THENCE South $46^{\circ}07'44''$ East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southernmost corner of said corner clip same being the most southerly northeast corner of said Lot 1, Block B;

THENCE along the westerly right-of-way line of said F.M. Highway 3549 and the east line of said Lot 1, Block B the following courses and distances:

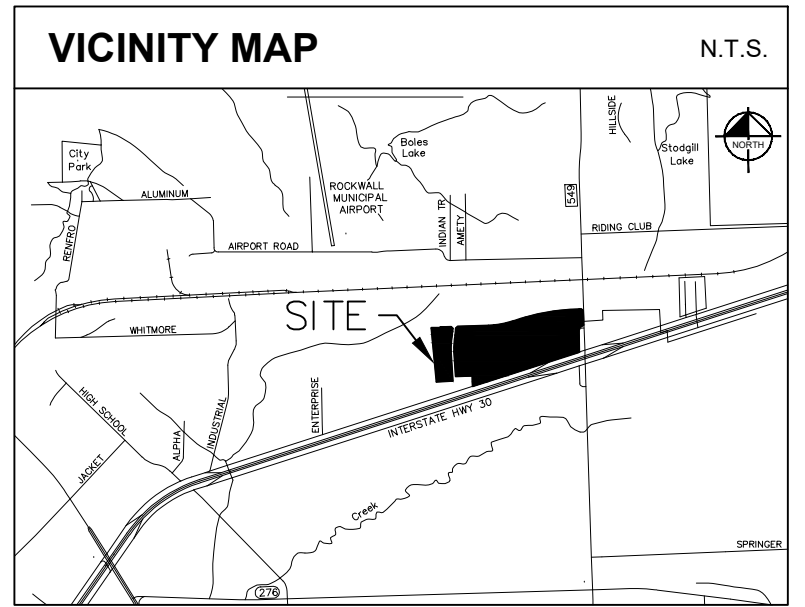
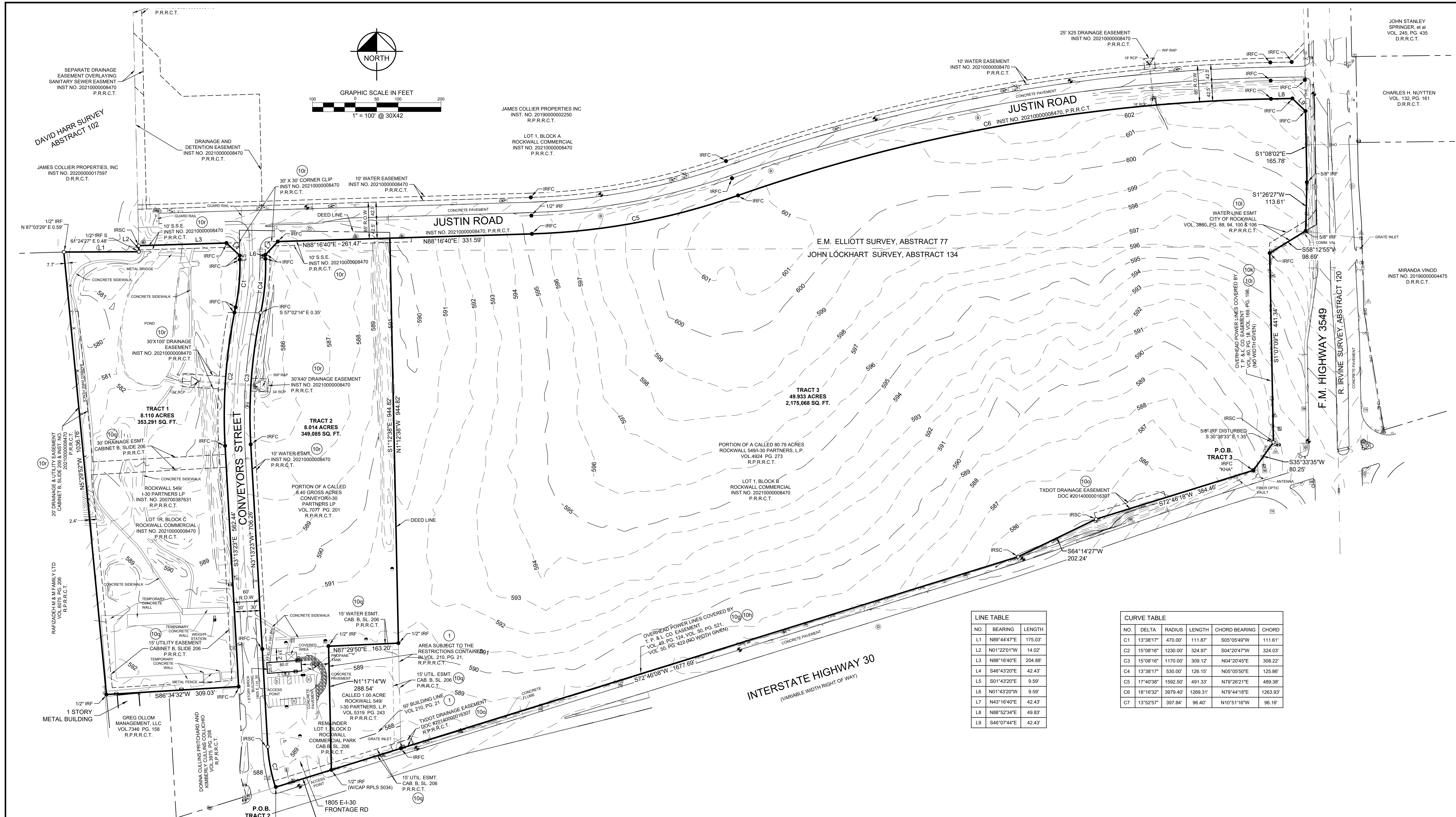
South $01^{\circ}08'02''$ East, a distance of 165.78 feet to a 5/8" iron rod found for corner;

South $01^{\circ}26'27''$ West, a distance of 113.61 feet to a 5/8" iron rod found for corner;

South $58^{\circ}12'55''$ West, a distance of 98.69 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

South $01^{\circ}07'09''$ East, a distance of 441.34 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for the northernmost southeast corner of said Lot 1, Block B, from which a 5/8" iron rod found (disturbed) bears South $30^{\circ}38'33''$ East, a distance of 1.35 feet;

South 35°33'35" West, a distance of 80.25 feet to the **POINT OF BEGINNING** and containing 2,175,068 square feet or 49.933 acres of land, more or less.



LEGEND

| | | | |
|----|----------------------------|-----|------------------------------|
| 1 | ROOF DRAIN | 10 | MAIL BOX |
| 2 | CABLE TV BOX | 11 | STANDBY SEWER CLEAN OUT |
| 3 | CABLE TV HANDHOLE | 12 | SANITARY SEWER MANHOLE |
| 4 | CABLE TV MANHOLE | 13 | SANITARY SEWER MANHOLE FLAG |
| 5 | CABLE TV MARKER FLAG | 14 | SANITARY SEWER MARKER SIGN |
| 6 | CABLE TV MARKER SIGN | 15 | SANITARY SEWER SPECTRUM TANK |
| 7 | CABLE TV VALVE | 16 | SANITARY SEWER VAULT |
| 8 | COMMUNICATIONS BOX | 17 | STORM SEWER BOX |
| 9 | COMMUNICATIONS HANDHOLE | 18 | STORM SEWER CLEAN OUT |
| 10 | COMMUNICATIONS MANHOLE | 19 | STORM SEWER MANHOLE |
| 11 | COMMUNICATIONS MARKER FLAG | 20 | STORM SEWER MARKER SIGN |
| 12 | COMMUNICATIONS MARKER SIGN | 21 | TRAFFIC MARKER |
| 13 | COMMUNICATIONS VALVE | 22 | TRAFFIC BOLLARD |
| 14 | ELEVATION BENCHMARK | 23 | TRAFFIC BOX |
| 15 | FIBER OPTIC BOX | 24 | TRAFFIC SIGNAL |
| 16 | FIBER OPTIC HANDHOLE | 25 | TRAFFIC SIGNAL |
| 17 | FIBER OPTIC MARKER FLAG | 26 | TRAFFIC MARKER SIGN |
| 18 | FIBER OPTIC MARKER SIGN | 27 | TRAFFIC SIGNAL |
| 19 | FIBER OPTIC VALVE | 28 | TRAFFIC VAULT |
| 20 | MONITORING WELL | 29 | UNIDENTIFIED BOX |
| 21 | GAS HANDHOLE | 30 | UNIDENTIFIED HANDHOLE |
| 22 | GAS METER | 31 | UNIDENTIFIED METER |
| 23 | GAS MANHOLE | 32 | UNIDENTIFIED MANHOLE |
| 24 | GAS MARKER FLAG | 33 | UNIDENTIFIED MARKER FLAG |
| 25 | GAS SIGN | 34 | UNIDENTIFIED MARKER SIGN |
| 26 | GAS SIGN | 35 | UNIDENTIFIED POLE |
| 27 | GAS VALVE | 36 | UNIDENTIFIED TANK |
| 28 | GAS VALVE | 37 | UNIDENTIFIED TANK |
| 29 | TELEPHONE BOX | 38 | UNIDENTIFIED VALVE |
| 30 | TELEPHONE HANDHOLE | 39 | UNIDENTIFIED VALVE |
| 31 | TELEPHONE MANHOLE | 40 | WATER BOX |
| 32 | TELEPHONE MARKER SIGN | 41 | WATER CLEAN OUT |
| 33 | TELEPHONE VALVE | 42 | WATER CLEAN OUT |
| 34 | PHONE MARKER SIGN | 43 | WATER METER |
| 35 | ELECTRIC BOX | 44 | WATER MANHOLE |
| 36 | FLOOR LIGHT | 45 | WATER MANHOLE FLAG |
| 37 | GRID ANCHOR | 46 | WATER MARKER SIGN |
| 38 | GRID ANCHOR FLAG | 47 | WATER VALVE |
| 39 | ELECTRIC HANDHOLE | 48 | WATER VALVE |
| 40 | ELECTRIC METER | 49 | WATER WELL |
| 41 | ELECTRIC METER | 50 | WATER WELL |
| 42 | ELECTRIC MANHOLE | 51 | WATER WELL |
| 43 | ELECTRIC MANHOLE FLAG | 52 | WATER WELL |
| 44 | ELECTRIC MARKER SIGN | 53 | WATER WELL |
| 45 | ELECTRIC MARKER SIGN | 54 | WATER WELL |
| 46 | ELECTRIC TRANSFORMER | 55 | WATER WELL |
| 47 | ELECTRIC VALVE | 56 | WATER WELL |
| 48 | NON-SCAFFOLD PARKING | 57 | WATER WELL |
| 49 | NON-SCAFFOLD PARKING | 58 | WATER WELL |
| 50 | MANHOLE BILLBOARD | 59 | WATER WELL |
| 51 | MANHOLE BILLBOARD | 60 | WATER WELL |
| 52 | BORE LOCATION | 61 | WATER WELL |
| 53 | BORE LOCATION | 62 | WATER WELL |
| 54 | BORE LOCATION | 63 | WATER WELL |
| 55 | BORE LOCATION | 64 | WATER WELL |
| 56 | BORE LOCATION | 65 | WATER WELL |
| 57 | BORE LOCATION | 66 | WATER WELL |
| 58 | BORE LOCATION | 67 | WATER WELL |
| 59 | BORE LOCATION | 68 | WATER WELL |
| 60 | BORE LOCATION | 69 | WATER WELL |
| 61 | BORE LOCATION | 70 | WATER WELL |
| 62 | BORE LOCATION | 71 | WATER WELL |
| 63 | BORE LOCATION | 72 | WATER WELL |
| 64 | BORE LOCATION | 73 | WATER WELL |
| 65 | BORE LOCATION | 74 | WATER WELL |
| 66 | BORE LOCATION | 75 | WATER WELL |
| 67 | BORE LOCATION | 76 | WATER WELL |
| 68 | BORE LOCATION | 77 | WATER WELL |
| 69 | BORE LOCATION | 78 | WATER WELL |
| 70 | BORE LOCATION | 79 | WATER WELL |
| 71 | BORE LOCATION | 80 | WATER WELL |
| 72 | BORE LOCATION | 81 | WATER WELL |
| 73 | BORE LOCATION | 82 | WATER WELL |
| 74 | BORE LOCATION | 83 | WATER WELL |
| 75 | BORE LOCATION | 84 | WATER WELL |
| 76 | BORE LOCATION | 85 | WATER WELL |
| 77 | BORE LOCATION | 86 | WATER WELL |
| 78 | BORE LOCATION | 87 | WATER WELL |
| 79 | BORE LOCATION | 88 | WATER WELL |
| 80 | BORE LOCATION | 89 | WATER WELL |
| 81 | BORE LOCATION | 90 | WATER WELL |
| 82 | BORE LOCATION | 91 | WATER WELL |
| 83 | BORE LOCATION | 92 | WATER WELL |
| 84 | BORE LOCATION | 93 | WATER WELL |
| 85 | BORE LOCATION | 94 | WATER WELL |
| 86 | BORE LOCATION | 95 | WATER WELL |
| 87 | BORE LOCATION | 96 | WATER WELL |
| 88 | BORE LOCATION | 97 | WATER WELL |
| 89 | BORE LOCATION | 98 | WATER WELL |
| 90 | BORE LOCATION | 99 | WATER WELL |
| 91 | BORE LOCATION | 100 | WATER WELL |

LINE TABLE

| NO. | BEARING | LENGTH |
|-----|-------------|---------|
| L1 | N89°44'47"E | 175.03' |
| L2 | N01°22'01"W | 14.02' |
| L3 | N88°16'40"E | 204.88' |
| L4 | S46°43'20"E | 42.43' |
| L5 | S01°43'20"E | 9.59' |
| L6 | N01°43'20"W | 9.59' |
| L7 | N43°16'40"E | 42.43' |
| L8 | N88°52'34"E | 49.83' |
| L9 | S46°07'44"E | 42.43' |

CURVE TABLE

| NO. | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD |
|-----|-----------|----------|----------|---------------|----------|
| C1 | 13°38'17" | 470.00' | 111.87' | S05°05'46"W | 111.61' |
| C2 | 15°08'16" | 1230.00' | 324.97' | S04°20'47"W | 324.03' |
| C3 | 15°08'16" | 1170.00' | 309.12' | N04°20'45"E | 308.22' |
| C4 | 13°38'17" | 530.00' | 126.15' | N05°05'50"E | 125.88' |
| C5 | 17°40'38" | 1592.50' | 491.33' | N79°29'21"E | 489.38' |
| C6 | 18°16'32" | 3979.40' | 1269.31' | N79°44'18"E | 1263.32' |
| C7 | 13°52'57" | 397.64' | 96.40' | N10°51'16"W | 96.16' |

DESCRIPTION OF SURVEYED PROPERTY:

TRACT 1
 BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block C of Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Instrument No. 2021000008470 of the Plat Records of Rockwall County, Texas.

TRACT 2
 BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument No. 2021000008470 of the Plat Records of Rockwall County, Texas, and being a portion of Lot 1, Block D of Rockwall Commercial Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyors-30 Partners LP, recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a cap stamped "TXDOT" found for the southwest corner of said Lot 1, Block D and the northeast corner of the intersection of northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way) with the easterly right-of-way line of Conveyors Street (a 60-foot right-of-way), same being at the beginning of a non-tangent curve to the right with a radius of 397.84 feet, a central angle of 13°52'57", and a chord bearing and distance of North 10°51'16" West, 96.16 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, and with said non-tangent curve to the right, an arc distance of 96.40 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE North 03°13'22" West, continuing along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, passing at a distance of 228.03 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the northernmost southwest corner of said Lot 1, Block B, continuing along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street a total distance of 706.26 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'45" East, 308.22 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street the following courses and distances:

In a northerly direction, with said tangent curve to the right, an arc distance of 309.12 feet to the beginning of a reverse curve to the left with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'46" East, 125.88 feet, from which a 5/8" iron rod with plastic cap stamped "KHA" found bears South 57°02'14" East, a distance of 0.35 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 126.15 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 01°43'20" West, a distance of 9.59 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the most southerly northwest corner of said Lot 1, Block B, same being the southernmost end of a right-of-way corner clip at the intersection of the east right-of-way line of said Conveyors Street and the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 2021000008470, Plat Records of Rockwall County, Texas;

THENCE North 43°16'40" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the northernmost end of said right-of-way corner clip same being the most northerly northwest corner of said Lot 1, Block B;

THENCE North 88°16'40" East, along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, a distance of 261.47 feet to a point for corner on the easterly line of said 8.40 gross acre tract and the westerly line of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 5491-30 Partners, L.P., recorded in Volume 4924, Page 273, Real Property Records of Rockwall County, Texas;

THENCE South 01°12'38" East, departing the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a 1/2-inch iron rod found for the easterly, southeast corner of said 8.40 gross acre tract and the northeast corner of a called 1.00-acre tract of land, described in a Special Warranty Deed to Rockwall 5491-30 Partners, L.P., recorded in Volume 5319, Page 243, Real Property Records of Rockwall County, Texas, same also being an ell corner of said Lot 1, Block B;

THENCE South 87°29'50" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract;

THENCE South 01°12'38" West, departing the southerly line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block D, a distance of 944.82 feet to a point for corner on the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 2021000008470, Plat Records of Rockwall County, Texas, and the north line of said Lot 1, Block B;

THENCE along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, the following courses and distances:

North 88°16'40" East, a distance of 331.59 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the left with a radius of 1,592.50 feet, a central angle of 17°40'38", and a chord bearing and distance of North 79°29'21" East, 489.38 feet;

In an easterly direction, with said tangent curve to the left, an arc distance of 491.33 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a reverse curve to the right with a radius of 3,979.40 feet, a central angle of 18°16'32", and a chord bearing and distance of North 79°44'18" East, 1,263.32 feet;

In an easterly direction, with said reverse curve to the right, an arc distance of 1,269.31 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 88°52'34" East, a distance of 49.83 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most northerly northeast corner of said Lot 1, Block B, same being the northernmost end of a right-of-way corner clip at the intersection of the south right-of-way line of said Justin Road and the west right-of-way line of F.M. Highway 3549 (a variable width right-of-way);

THENCE South 46°07'44" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southernmost corner of said corner clip same being the most southerly northeast corner of said Lot 1, Block B;

THENCE along the westerly right-of-way line of said F.M. Highway 3549 and the east line of said Lot 1, Block B the following courses and distances:

South 01°08'02" East, a distance of 165.78 feet to a 5/8" iron rod found for corner;

South 01°26'27" West, a distance of 113.61 feet to a 5/8" iron rod found for corner;

South 88°12'55" West, a distance of 98.69 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

South 01°07'09" East, a distance of 441.34 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the northernmost southeast corner of said Lot 1, Block B, from which a 5/8" iron rod found (disturbed) bears South 30°38'33" East, a distance of 1.35 feet;

South 35°33'35" West, a distance of 80.25 feet to the **POINT OF BEGINNING** and containing 2,175,068 square feet or 49.933 acres of land, more or less.

Conveyors-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas;

THENCE North 01°17'14" West, departing the northerly right-of-way line of said Interstate Highway 30 and the southerly line of said Lot 1, Block D, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing said Lot 1, Block D, a distance of 268.54 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract, same also being on a southerly line of aforesaid Lot 1, Block B;

THENCE North 87°29'50" East, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northeast corner of said 1.00-acre tract and the easterly, southeast corner of said 8.40 gross acre tract and an ell corner of said Lot 1, Block B, same being on the westerly line of aforesaid 80.79-acre tract;

THENCE North 01°12'38" West, departing the southerly line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a point for corner on the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 2021000008470, Plat Records of Rockwall County, Texas, and the north line of said Lot 1, Block B;

THENCE along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, the following courses and distances:

North 88°16'40" East, a distance of 331.59 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the left with a radius of 1,592.50 feet, a central angle of 17°40'38", and a chord bearing and distance of North 79°29'21" East, 489.38 feet;

In an easterly direction, with said tangent curve to the left, an arc distance of 491.33 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a reverse curve to the right with a radius of 3,979.40 feet, a central angle of 18°16'32", and a chord bearing and distance of North 79°44'18" East, 1,263.32 feet;

In an easterly direction, with said reverse curve to the right, an arc distance of 1,269.31 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 88°52'34" East, a distance of 49.83 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most northerly northeast corner of said Lot 1, Block B, same being the northernmost end of a right-of-way corner clip at the intersection of the south right-of-way line of said Justin Road and the west right-of-way line of F.M. Highway 3549 (a variable width right-of-way);

THENCE South 46°07'44" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southernmost corner of said corner clip same being the most southerly northeast corner of said Lot 1, Block B;

THENCE along the westerly right-of-way line of said F.M. Highway 3549 and the east line of said Lot 1, Block B the following courses and distances:

South 01°08'02" East, a distance of 165.78 feet to a 5/8" iron rod found for corner;

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South 35°33'35" West, a distance of 80.25 feet to the **POINT OF BEGINNING** and containing 2,175,068 square feet or 49.933 acres of land, more or less.

NOTES:

There was no above ground observable evidence of the property being used as a dump, sump or sanitary landfill at the time of the survey.

No visible evidence of current earth moving work, building construction or building additions were observed at the time of survey.

There are no known proposed changes in street right-of-way lines. There is no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

There was no above ground observable evidence of cemeteries or burial grounds were observed at the time of survey.

Tracts 2 and 3 are contiguous and contains no gaps or porcs.

No wetland markings were observed at the time of survey.

No potential issues of adverse possession or use, or acquiescence were identified or observed during field work.

All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.9998538663.

According to Map No. 48397C0045L of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Rockwall County, Texas, dated September 26, 2008, the subject tract is situated within: Unshaded Zone "X" defined as areas determined to be outside the 500-year flood plain. This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

There are 20 parking spaces located within Tract 2 as shown hereon.

The property has physical access to F.M. Highway 3549, I. H. Highway 30 westbound service road, Conveyors Street and Justin Road and has vehicular access to I. H. Highway 30 westbound service road, Conveyors Street as indicated by "ACCESS POINT" label, said roads being maintained by the State of Texas and City of Rockwall.

LINE TYPE LEGEND

| | |
|-----|----------------------------|
| --- | BOUNDARY LINE |
| --- | EASEMENT LINE |
| --- | BUILDING LINE |
| --- | WATER LINE |
| --- | SANITARY SEWER LINE |
| --- | STORM SEWER LINE |
| --- | STORY SEWER LINE |
| --- | OVERHEAD UTILITY LINE |
| --- | UNDERGROUND ELECTRIC LINE |
| --- | UNDERGROUND TELEPHONE LINE |
| --- | FENCE |
| --- | CONCRETE PAVEMENT |
| --- | ASPHALT PAVEMENT |

| No. | DATE | REVISION DESCRIPTION |
|-----|------|----------------------|
| 5 | | |
| 4 | | |
| 3 | | |
| 2 | | |
| 1 | | |

ZONING EXHIBIT
 66.057 ACRES
 E.M. ELLIOT SURVEY, ABSTRACT NO. 77 AND
 JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Kimley»Horn
 6160 Warren Parkway, Suite 210
 Frisco, Texas 75034
 Tel. No. (972) 335-3580
 FIRM # 10193822

Scale: 1" = 100'
 Drawn by: CDS
 Checked by: KHA
 Date: Aug. 2023
 Project No.: 063942002
 Sheet No.: 1 OF 1

DATE PLOTTED: 08/23/2023 10:58:11 AM
 PLOTTER: HP DesignJet T1300PS
 FILE: C:\PROJECTS\2023\063942002\063942002_ZONING_EXHIBIT.dwg
 PLOT SCALE: 1" = 100'
 PLOT SHEET: 1 OF 1

06 IH-30 CORRIDOR DISTRICT

DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

POINTS OF REFERENCE

- A. Lake Point Church
- B. Rochell Elementary School
- C. Walmart
- D. Costco

LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon
- IH-30 Corridor Plan Eastern Entry Portals



2/3 Future Regional Center



2 Future Regional Center

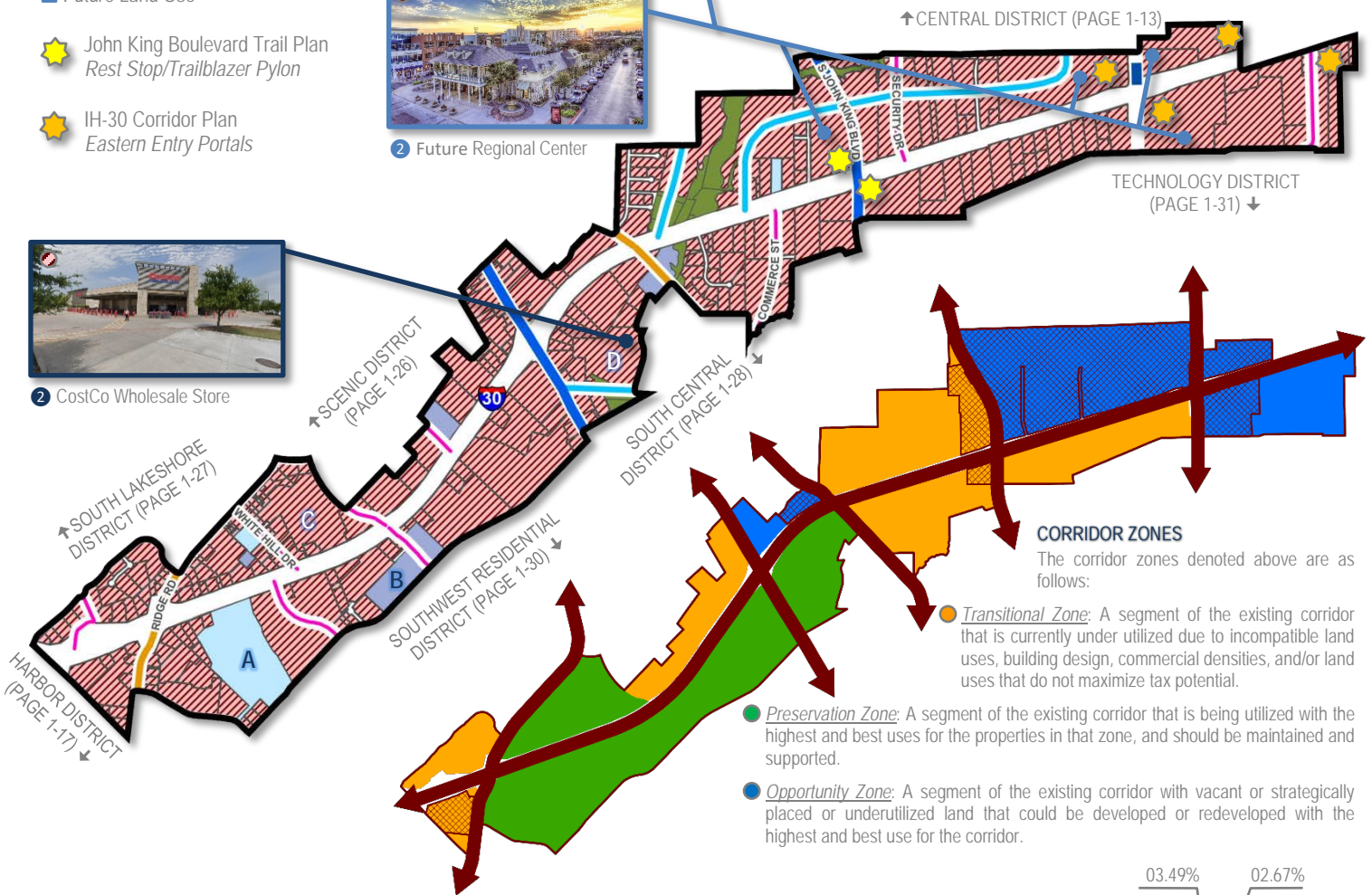


2 Costco Wholesale Store

DISTRICT STRATEGIES

The IH-30 Corridor District will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

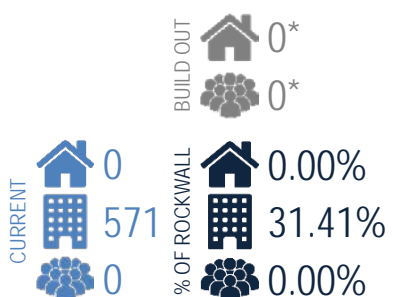
- 1 **Corridor Strategies.** The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
- 2 **Regional Center.** In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (⊠) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (i.e. *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center* models).
- 3 **Open Space.** Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.



CORRIDOR ZONES

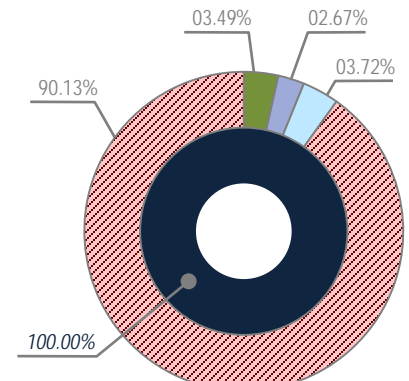
The corridor zones denoted above are as follows:

- Transitional Zone:** A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- Preservation Zone:** A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- Opportunity Zone:** A segment of the existing corridor with vacant or strategically placed or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.



| Land Use Category | Percentage | Area (Acres) |
|----------------------------------|------------|--------------|
| COMMERCIAL | 100.00% | |
| RESIDENTIAL | 0.00% | |
| MIXED USE | 0.00% | |
| PARKS AND OPEN SPACE (OS) | | 37.03-ACRES |
| PUBLIC (P) | | 28.31-ACRES |
| QUASI-PUBLIC (QP) | | 39.49-ACRES |
| SPECIAL COMMERCIAL CORRIDOR (SC) | | 957.15-ACRES |

| Street Type |
|-----------------|
| MINOR COLLECTOR |
| M4U |
| M4D |
| P6D |
| TXDOT 4D |



LEGEND:

| | |
|---|--|
| | Land Use <i>NOT</i> Permitted |
| P | Land Use Permitted <i>By-Right</i> |
| P | Land Use Permitted with Conditions |
| S | Land Use Permitted Specific Use Permit (SUP) |
| X | Land Use Prohibited by Overlay District |
| A | Land Use Permitted as an Accessory Use |

PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

| LAND USE SCHEDULE | LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions] | CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses] | COMMERCIAL (C) DISTRICT |
|---|--|--|-------------------------|
| AGRICULTURAL AND ANIMAL RELATED LAND USES | 2.02(A) | 2.03(A) | |
| Agricultural Uses on Unplatted Land | (1) | | P |
| Animal Boarding/Kennel without Outside Pens | (2) | (2) | P |
| Animal Clinic for Small Animals without Outdoor Pens | (3) | (3) | P |
| Animal Hospital or Clinic | (4) | | S |
| Community Garden | (11) | (7) | S |
| Urban Farm | (12) | (8) | S |
| RESIDENTIAL AND LODGING LAND USES | 2.02(B) | 2.03(B) | |
| Caretakers Quarters/Domestic or Security Unit | (3) | | P |
| Convent, Monastery, or Temple | (4) | | P |
| Commercial Parking Garage | (6) | | A |
| Limited-Service Hotel | (10) | | S |
| Full-Service Hotel | (11) | (8) | S |
| Residence Hotel | (12) | | S |
| Motel | (13) | | S |
| INSTITUTIONAL AND COMMUNITY SERVICE LAND USES | 2.02(C) | 2.03(C) | |
| Assisted Living Facility | (1) | (1) | S |
| Blood Plasma Donor Center | (2) | | P |
| Cemetery/Mausoleum | (3) | | P |
| Church/House of Worship | (4) | (2) | S |
| College, University, or Seminary | (5) | | S |
| Convalescent Care Facility/Nursing Home | (6) | | P |
| Congregate Care Facility/Elderly Housing | (7) | (3) | S |
| Daycare with Seven (7) or More Children | (9) | (4) | P |
| Emergency Ground Ambulance Services | (10) | | P |
| Government Facility | (12) | | P |
| Hospice | (14) | | P |
| Hospital | (15) | | P |
| Public Library, Art Gallery or Museum | (16) | | P |
| Mortuary or Funeral Chapel | (17) | | P |
| Local Post Office | (18) | | P |
| Public or Private Primary School | (21) | (7) | P |
| Public or Private Secondary School | (22) | (8) | P |
| Temporary Education Building for a Public or Private School | (23) | (9) | S |
| OFFICE AND PROFESSIONAL LAND USES | 2.02(D) | 2.03(D) | |
| Financial Institution with Drive-Through | (1) | (1) | P |
| Financial Institution without Drive-Through | (1) | | P |
| Office Building less than 5,000 SF | (2) | | P |
| Office Building 5,000 SF or Greater | (2) | | P |
| RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES | 2.02(E) | 2.03(E) | |

LEGEND:

| | |
|---|--|
| | Land Use <i>NOT</i> Permitted |
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| P | Land Use Permitted with Conditions |
| S | Land Use Permitted Specific Use Permit (SUP) |
| X | Land Use Prohibited by Overlay District |
| A | Land Use Permitted as an Accessory Use |

PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

| LAND USE SCHEDULE | LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions] | CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses] | COMMERCIAL (C) DISTRICT |
|---|---|---|-------------------------|
| Temporary Carnival, Circus, or Amusement Ride | (1) | (1) | P |
| Indoor Commercial Amusement/Recreation | (2) | (2) | P |
| Outdoor Commercial Amusement/Recreation | (3) | (3) | S |
| Public or Private Community or Recreation Club as an Accessory Use | (4) | | P |
| Private Country Club | (5) | | S |
| Golf Driving Range | (6) | | S |
| Temporary Fundraising Events by Non-Profit | (7) | (4) | P |
| Indoor Gun Club with Skeet or Target Range | (8) | (5) | P |
| Health Club or Gym | (9) | | P |
| Private Club, Lodge or Fraternal Organization | (10) | (6) | P |
| Private Sports Arena, Stadium, and/or Track | (11) | | S |
| Public Park or Playground | (12) | | P |
| Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>) | (14) | | S |
| Theater | (15) | | P |
| RETAIL AND PERSONAL SERVICES LAND USES | 2.02(F) | 2.03(F) | |
| Antique/Collectible Store | (1) | | P |
| Astrologer, Hypnotist, or Psychic | (2) | | P |
| Banquet Facility/Event Hall | (3) | | P |
| Portable Beverage Service Facility | (4) | (1) | S |
| Brew Pub | (5) | | P |
| Business School | (6) | | P |
| Catering Service | (7) | | P |
| Temporary Christmas Tree Sales Lot and/or Similar Uses | (8) | (2) | P |
| Copy Center | (9) | | P |
| Craft/Micro Brewery, Distillery and/or Winery | (10) | (3) | S |
| Incidental Display | (11) | (4) | P |
| Food Trucks/Trailers | (12) | (5) | P |
| Garden Supply/Plant Nursery | (13) | | P |
| General Personal Service | (14) | (6) | P |
| General Retail Store | (15) | | P |
| Hair Salon and/or Manicurist | (16) | | P |
| Laundromat with Dropoff/Pickup Services | (17) | | P |
| Self Service Laundromat | (18) | | P |
| Massage Therapist | (19) | | P |
| Private Museum or Art Gallery | (20) | | P |
| Night Club, Discotheque, or Dance Hall | (21) | | P |
| Pawn Shop | (22) | | S |
| Permanent Cosmetics | (23) | (7) | A |
| Pet Shop | (24) | | P |
| Temporary Real Estate Sales Office | (25) | | P |

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| | |
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PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

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|---|--|--|-------------------------|
| Rental Store without Outside Storage and/or Display | (26) | (8) | P |
| Restaurant with less than 2,000 SF with Drive-Through or Drive-In | (27) | (9) | S |
| Restaurant with less than 2,000 SF without Drive-Through or Drive-In | (28) | | P |
| Restaurant with 2,000 SF or more with Drive-Through or Drive-In | (27) | (10) | P |
| Restaurant with 2,000 SF or more without Drive-Through or Drive-In | (28) | | P |
| Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>) | (29) | | P |
| Retail Store with Gasoline Sales that has more than Two (2) Dispensers | (29) | | P |
| Secondhand Dealer | (30) | | P |
| Art, Photography, or Music Studio | (31) | | P |
| Tailor, Clothing, and/or Apparel Shop | (32) | | P |
| COMMERCIAL AND BUSINESS SERVICES LAND USES | 2.02(G) | 2.03(G) | |
| Bail Bond Service | (1) | | S |
| Building and Landscape Material with Limited Outside Storage | (2) | (2) | P |
| Building Maintenance, Service, and Sales without Outside Storage | (3) | | P |
| Electrical, Watch, Clock, Jewelry and/or Similar Repair | (6) | | P |
| Furniture Upholstery/Refinishing and Resale | (8) | (4) | S |
| Rental, Sales and Service of Heavy Machinery and Equipment | (10) | (5) | S |
| Locksmith | (11) | | P |
| Research and Technology or Light Assembly | (15) | | S |
| Shoe and Boot Repair and Sales | (16) | | P |
| Trade School | (17) | | P |
| Temporary On-Site Construction Office | (18) | (6) | P |
| AUTO AND MARINE RELATED LAND USES | 2.02(H) | 2.03(H) | |
| Minor Auto repair garage | (2) | (2) | S |
| Automobile Rental | (3) | | S |
| New or Used Boat and Trailer Dealership | (4) | (3) | S |
| Full Service Car Wash and Auto Detail | (5) | (4) | P |
| Self Service Car Wash | (5) | (4) | P |
| New and/or Used Indoor Motor Vehicle Dealership/Showroom | (6) | (5) | S |
| New Motor Vehicle Dealership-for Cars and Light Trucks | (7) | (6) | S |
| Used Motor Vehicle Dealership for Cars and Light Trucks} | (7) | (7) | A |
| Commercial Parking | (8) | | P |
| Non-Commercial Parking Lot | (9) | | P |
| Recreational Vehicle (RV) Sales and Service | (10) | | S |
| Service Station | (11) | (8) | P |
| INDUSTRIAL AND MANUFACTURING LAND USES | 2.02(I) | 2.03(I) | |
| Temporary Asphalt or Concrete Batch Plant | (2) | (2) | P |
| Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials) | (12) | (5) | S |
| WHOLESALE, DISTRIBUTION AND STORAGE LAND USES | 2.02(J) | 2.03(J) | |

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| | |
|---|--|
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PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

| LAND USE SCHEDULE | LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions] | CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses] | COMMERCIAL (C) DISTRICT |
|--|---|---|-------------------------|
| Mini-Warehouse | (4) | (1) | S |
| Wholesale Showroom Facility | (8) | | S |
| UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES | 2.02(K) | 2.03(K) | |
| Antenna as an Accessory | (2) | (1) | P |
| Commercial Antenna | (3) | (2) | S |
| Antenna for an Amateur Radio | (4) | (3) | A |
| Antenna Dish | (5) | (4) | A |
| Commercial Freestanding Antenna | (6) | (5) | S |
| Mounted Commercial Antenna | (7) | (6) | S |
| Helipad | (9) | | S |
| Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment | (10) | | S |
| Municipally Owned or Controlled Facilities, Utilities and Uses | (11) | | P |
| Private Streets | (12) | | S |
| Radio Broadcasting | (13) | | P |
| Railroad Yard or Shop | (14) | | S |
| Recording Studio | (15) | | P |
| Satellite Dish | (16) | | A |
| Solar Energy Collector Panels and Systems | (17) | (7) | A |
| Transit Passenger Facility | (18) | | S |
| TV Broadcasting and Other Communication Service | (20) | | S |
| Utilities Holding a Franchise from the City of Rockwall | (21) | | S |
| Utility Installation Other than Listed | (22) | | S |
| Utility/Transmission Lines | (23) | | S |
| Wireless Communication Tower | (24) | | S |

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT AND A LIGHT INDUSTRIAL (LI) DISTRICT TO A COMMERCIAL (C) DISTRICT FOR A 66.057-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK B; LOT 1R, BLOCK C; AND LOT 1, BLOCK D, ROCKWALL COMMERCIAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 04.01, *General Commercial District Standards*;

Section 04.05, *Commercial (C) District*; Section 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2023.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

Exhibit 'A'
Legal Description

TRACT 1

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77 and John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1R, Block C of Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Instrument No. 20210000008470 of the Plat Records of Rockwall County, Texas.

TRACT 2

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 20210000008470, Plat Records of Rockwall County, Texas, and being a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a cap stamped "TXDOT" found for the southwest corner of said Lot 1, Block D and the northeast corner of the intersection of northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way) with the easterly right-of-way line of Conveyors Street (a 60-foot right-of-way), same being at the beginning of a non-tangent curve to the right with a radius of 397.84 feet, a central angle of 13°52'57", and a chord bearing and distance of North 10°51'16" West, 96.16 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, and with said non-tangent curve to the right, an arc distance of 96.40 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE North 03°13'23" West, continuing along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, passing at a distance of 228.03 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the northernmost southwest corner of said Lot 1, Block B, continuing along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street a total distance of 706.26 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'45" East, 308.22 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street the following courses and distances:

In a northerly direction, with said tangent curve to the right, an arc distance of 309.12 feet to the beginning of a reverse curve to the left with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'50" East, 125.86 feet, from which a 5/8" iron rod with plastic cap stamped "KHA" found bears South 57°02'14" East, a distance of 0.35 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 126.15 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 01°43'20" West, a distance of 9.59 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the most southerly northwest corner of said Lot 1, Block B same being the southernmost end of a right-of-way corner clip at the intersection of the east right-of-way line of said Conveyors Street and the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 20210000008470, Plat Records of Rockwall County, Texas;

THENCE North 43°16'40" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the northernmost end of said right-of-way clip same being the

Exhibit 'A'
Legal Description

most northerly northwest corner of said Lot 1, Block B;

THENCE North 88°16'40" East, along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, a distance of 261.47 feet to a point for corner on the easterly line of said 8.40 gross acre tract and the westerly line of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, Real Property Records of Rockwall County, Texas;

THENCE South 01°12'38" East, departing the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a 1/2-inch iron rod found for the easterly, southeast corner of said 8.40 gross acre tract and the northeast corner of a called 1.00 acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, Real Property Records of Rockwall County, Texas, same also being an ell corner of said Lot 1, Block B;

THENCE South 87°29'50" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract;

THENCE South 01°17'14" East, departing the southerly line of said Lot 1, Block B, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing aforesaid Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod with a plastic cap, stamped "RPLS 5034" found for the southwest corner of said 1.00-acre tract, the southerly and the southeast corner of said 8.40 gross acre tract, same being on the southerly line of aforesaid Lot 1, Block D and the northerly right-of-way line of aforesaid Interstate Highway 30;

THENCE South 72°46'08" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block D and along the northerly right of way line of said Interstate Highway 30, a distance of 136.40 feet to the **POINT OF BEGINNING** and containing 349,085 square feet or 8.014 acres of land, more or less.

TRACT 3

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 2021000008470, Plat Records of Rockwall County, Texas, and a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, and all of a called 1.00-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, both of the Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most southerly southeast corner of said Lot 1, Block B and in the northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way);

THENCE along the common line of said Lot 1, Block B and the northerly right-of-way line of said Interstate Highway 30, the following courses and distances:

South 72°46'18" West, a distance of 384.46 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

Exhibit 'A'
Legal Description

South 64°14'27" West, a distance of 202.24 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE South 72°46'08" West, continuing along said common line and the south line of said Lot 1, Block D, and passing at a distance of 1507.74 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southeast corner of said Lot 1, Block D, continuing along said line a total distance of 1,677.69 feet to a 1/2-inch iron rod found for the southwest corner of aforesaid 1.00-acre tract, same being the southerly, southeast corner of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas;

THENCE North 01°17'14" West, departing the northerly right-of-way line of said Interstate Highway 30 and the southerly line of said Lot 1, Block D, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing said Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract, same also being on a southerly line of aforesaid Lot 1, Block B;

THENCE North 87°29'50" East, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northeast corner of said 1.00-acre tract and the easterly, southeast corner of said 8.40 gross acre tract and an ell corner of said Lot 1, Block B, same being on the westerly line of aforesaid 80.79-acre tract;

THENCE North 01°12'38" West, departing the southerly line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a point for on the corner on the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 2021000008470, Plat Records of Rockwall County, Texas and the north line of said Lot 1, Block B;

THENCE along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, the following courses and distance:

North 88°16'40" East, a distance of 331.59 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the left with a radius of 1,592.50 feet, a central angle of 17°40'38", and a chord bearing and distance of North 79°26'21" East, 489.38 feet;

In an easterly direction, with said tangent curve to the left, an arc distance of 491.33 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a reverse curve to the right with a radius of 3,979.40 feet, a central angle of 18°16'32", and a chord bearing and distance of North 79°44'18" East, 1,263.93 feet;

In an easterly direction, with said reverse curve to the right, an arc distance of 1,269.31 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 88°52'34" East, a distance of 49.83 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most northerly northeast corner of said Lot 1, Block B same being the northernmost end of a right-of-way corner clip at the intersection of the south right-of-way line of said Justin Road and the west right-of-way line of F.M. Highway 3549 (a variable width right-of-way);

THENCE South 46°07'44" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southernmost corner of said corner clip same being the most southerly northeast corner of said Lot 1, Block B;

THENCE along the westerly right-of-way line of said F.M. Highway 3549 and the east line of said Lot 1,

Exhibit 'A'
Legal Description

Block B the following courses and distances:

South 01°08'02" East, a distance of 165.78 feet to a 5/8" iron rod found for corner;

South 01°26'27" West, a distance of 113.61 feet to a 5/8" iron rod found for corner;

South 58°12'55" West, a distance of 98.69 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

South 01°07'09" East, a distance of 441.34 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for the northernmost southeast corner of said Lot 1, Block B, from which a 5/8" iron rod found (disturbed) bears South 30°38'33" East, a distance of 1.35 feet;

South 35°33'35" West, a distance of 80.25 feet to the **POINT OF BEGINNING** and containing 2,175,068 square feet or 49.933 acres of land, more or less.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 12, 2023

APPLICANT: Juan J. Vasquez; *Vasquez Engineering, LLC*

CASE NUMBER: Z2023-042; *Specific Use Permit (SUP) for a Drive-Through Restaurant at 3611 & 3775 N. Goliad Street [SH-205]*

SUMMARY

Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a *Specific Use Permit (SUP)* for a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a General Retail (GR) District at some point between November 7, 1983 and December 7, 1993. On February 15, 2016, the City Council approved a preliminary plat [Case No. P2016-004] for Lots 1-6, Block A, Dalton-Goliad Addition. This approval was followed by a final plat [Case No. P2016-034], which was approved by the City Council on August 1, 2016. This final plat created Lots 1-3, Block A, Dalton-Goliad Addition. On December 4, 2017, the City Council approved a replat [Case No. P2017-062] subdividing Lot 2, Block A into Lots 4 & 5, Block A and establishing the subject property (*i.e. Lot 4, Block A, Dalton-Goliad Addition*); however, this replat was never filed. Prior to the replat, a Specific Use Permit (SUP) [S-171; *Ordinance No. 17-39*; Case No. Z2017-029] was approved by the City Council on August 7, 2017. This approval allowed a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In (i.e. Freddy's Frozen Custard)* on the subject property. On September 12, 2017, the Planning and Zoning Commission approved a site plan [Case No. SP2017-024] for the proposed restaurant; however, the restaurant was never constructed, and the site plan and the Specific Use Permit (SUP) has since expired. On December 7, 2020, the City Council approved a conveyance plat [Case No. P2020-048] for the purpose of subdividing one (1) lot (*i.e. Lot 2, Block A, Dalton-Goliad Addition*) into four (4) lots (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) to convey the property. This conveyance plat established the subject property as Lot 5, Block A, Dalton-Goliad Addition. On March 15, 2021, the City Council denied a Specific Use Permit (SUP) request [Case No. Z2021-002] for a *Self-Service Car Wash*. On June 1, 2021, the City Council approved a replat [Case No. P2021-016] that established the subject property as Lots 8 & 9, Block A, Dalton-Goliad Addition. The subject property is currently vacant.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) to allow for a *Drive-Through Restaurant* on the subject property in accordance with the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3611 & 3775 N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Harlan Park Subdivision, which consists of 30 single-family residential lots. Beyond this is Phase 1 of the Harlan Park Subdivision, which consists of 65 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are Lots 1, 3, & 6, Block A, Dalton-Goliad Addition. Lot 3 is currently occupied by a strip retail center with several tenants (*i.e. Marco's Pizza, Hittson Dental, and Venice Nail Salon*). Adjacent to and south of the strip center is Lot 1, which is occupied with an Aldi's Grocery Store. These properties are zoned General Retail (GR) District. South of this is Dalton Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the corporate limits of the City followed by properties in the City's Extraterritorial Jurisdiction (ETJ) that have existing single-family homes situated on them. Adjacent to and south of this area is a Sonic Drive-In and 7-Eleven Gas Station, both of which are situated within the City limits and are zoned General Retail (GR) District.

West: Directly west of the subject property is a vacant 2.402-acre parcel of land (*i.e. Lot 6, Block A, Dalton-Goliad Addition*). This property is zoned General Retail (GR) District. Beyond this is the Nebbie Williams Elementary School, which is situated on a 11.599-acre parcel of land (*i.e. Lot 1, Block A, Rockwall School North Addition*). This property is zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and concept plan, depicting the layout of two (2) *Retail Building* that are 6,300 SF and 6,065 SF. The 6,300 SF *Retail Building* will include a *Restaurant with a Drive-through*. The proposed restaurant will consist of a single drive-through lane. The concept plan shows that there will be 70 parking spaces provided for the proposed development. The concept plan also shows that the drive-through will be oriented so that the exit will be facing onto N. Goliad Street. Based on this, staff is requesting that the applicant provide additional landscape screening adjacent to drive-through lane and along N. Goliad Street [SH-205] to impair the visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties and rights-of-way. In addition, there is residential adjacency to the north, where the applicant has provided the required 20-foot landscape buffer. Staff should note that the additional landscaping has been included in the draft ordinance as operational conditions should the Specific Use Permit (SUP) be approved.

CONFORMANCE TO THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* requires a Specific Use Permit (SUP) in the General Retail (GR) District. In addition, Subsection 02.03 (H)(4), *Conditional Land Use Standards*, of Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also provides the following requirements relating to regulating the land use:

- (a) Drive-through lanes shall not have access to a local or residential street.
- (b) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (c) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted concept plan appears to meet the *Conditional Land Use Standards* outlined within the UDC. Staff has included an operational condition within the draft ordinance that requires additional landscaping be provided adjacent to the drive through lane, N. Goliad Street, and in the northwestern corner of the site to impair the potential impacts of the proposed land use. Staff should note that a full site plan submittal including building elevations and a landscape plan will need to be reviewed by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan.

STAFF ANALYSIS

The intent of the General Retail (GR) District is to provide limited retail and service uses for nearby residential neighborhoods. Development in these areas should not include intensive commercial land uses that carry large volumes of retail traffic. Developments should also be adequately buffered and screened from residential land uses. Since the General Retail (GR) District is located close to residential areas, the development standards are typically more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. All of these districts are intended to create a transition from the adjacent residential neighborhoods to less intense non-residential land uses. In this case, the concept plan shows the retail being constructed closer to the residential neighborhood (*i.e. Harlan Park Phase 2*) and the restaurant with a drive-through constructed on the lot closer to more retail establishments (*i.e. Dalton Retail at 3201 N Goliad*) which creates a transition from the adjacent residential neighborhoods to less intense non-residential land uses. With all of this being said, this concept plan appears to meet the intent of the General Retail (GR) District; however, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 22, 2023, staff mailed 44 notices to property owners and residents within 500-feet of the subject property. Staff also notified the Castle Ridge, Harlan Park, Stone Creek and Rockwall Shores Homeowner's Association (HOA), which are the only Homeowner's Associations (HOA's)/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices in favor or opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Drive-Through Restaurant on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Additional landscape screening shall be installed adjacent to drive-through lane, drive aisle adjacent to the residential land uses north of the subject property, and along N. Goliad Street [*SH-205*] to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties and rights-of-way. The additional landscaping will be approved by the Planning and Zoning Commission with the site plan approval for the proposed development depicted in *Exhibit 'B'*.
 - (b) The proposed drive-through lane shall accommodate a minimum of six (6) standard sized motor vehicles.
 - (c) Enhanced landscaping shall be provided in the north-west property corner to provide additional screening for the adjacent residential. This screening shall be approved by the Planning and Zoning Commission in conjunction with the site plan submittal for the proposed development depicted in *Exhibit 'B'*.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLANELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Not assigned yet

SUBDIVISION Dalton Goliad Addition

LOT 8&9

BLOCK A

GENERAL LOCATION West side of S.H. 205 two lots north of Dalton Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING GR w/N SH 205 Overlay

CURRENT USE Vacant

PROPOSED ZONING Same

PROPOSED USE Retail/Rest. Shopping Center

ACREAGE 1.93

LOTS [CURRENT] 2

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kennor Rockwall Retail, LLC

APPLICANT Vasquez Engineering, LLC

CONTACT PERSON Shane Shoulders

CONTACT PERSON Juan J. Vasquez

ADDRESS 8848 Greenville Ave.

ADDRESS 1919 S. Shiloh Road

Suite 440

CITY, STATE & ZIP Dallas, TX 75243

CITY, STATE & ZIP Garland, TX 75042

PHONE 903-819-1208

PHONE 972-278-2948

E-MAIL sshoulders@sbcglobal.net

E-MAIL jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Shane Shoulders [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 228.95 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023

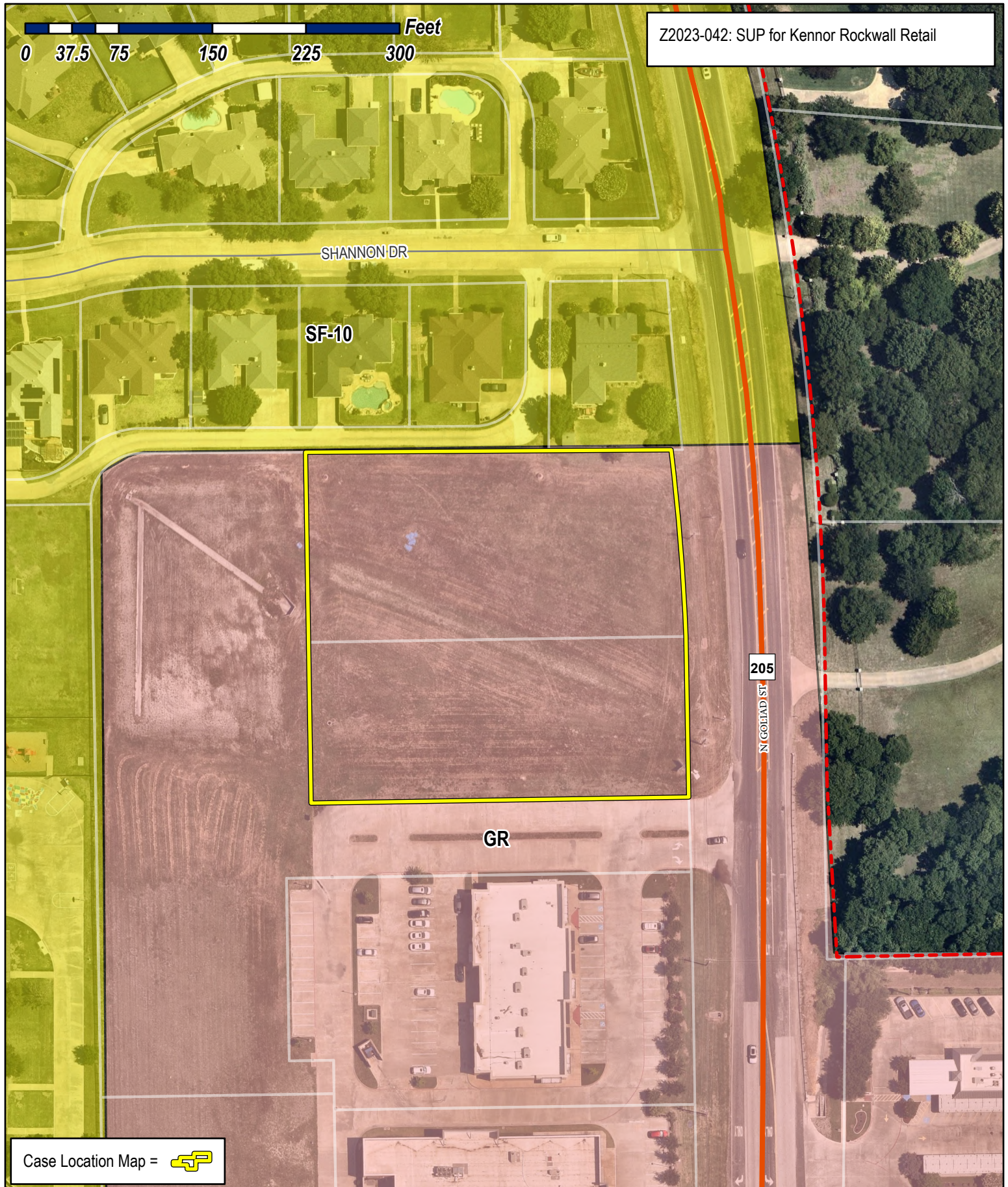
OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 05/07/2025

Z2023-042: SUP for Kennor Rockwall Retail



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

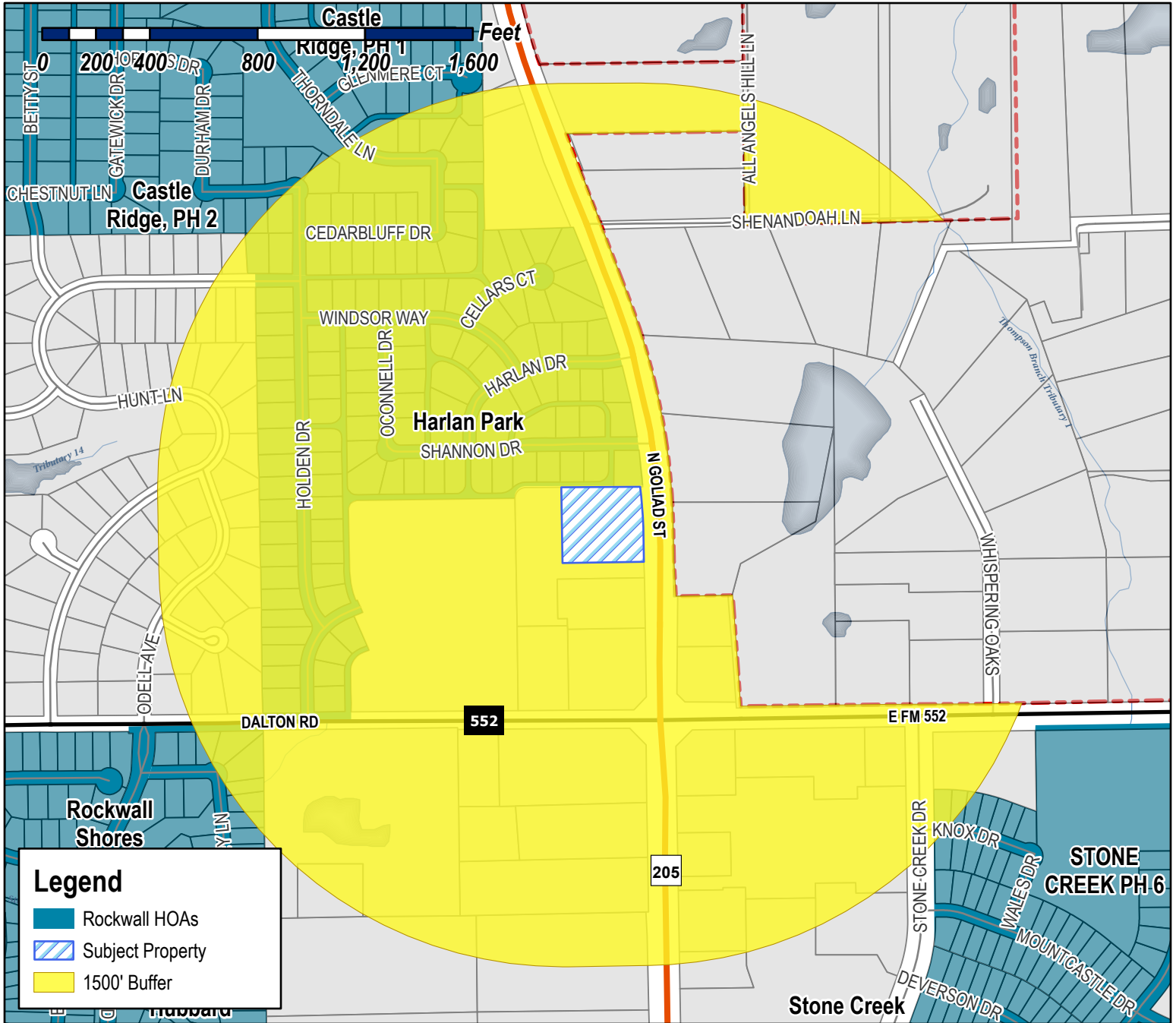




City of Rockwall

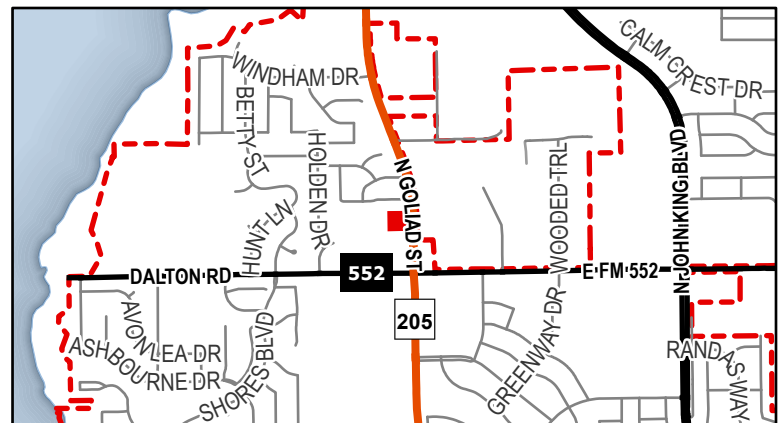
Planning & Zoning Department
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Case Number: Z2023-042
Case Name: SUP for Kennor Rockwall Retail
Case Type: Zoning
Zoning: General Retail
Case Address: 3611 & 3775 N Goliad St

Date Saved: 8/18/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Wednesday, August 23, 2023 4:35 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-042]
Attachments: Public Notice (PZ) (08.22.2023).pdf; HOA Map (8.22.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-042: SUP for a Restaurant

Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a *Specific Use Permit (SUP) for a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In* on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [*SH-205*], and take any action necessary.

Thank You,

Melanie Zavala

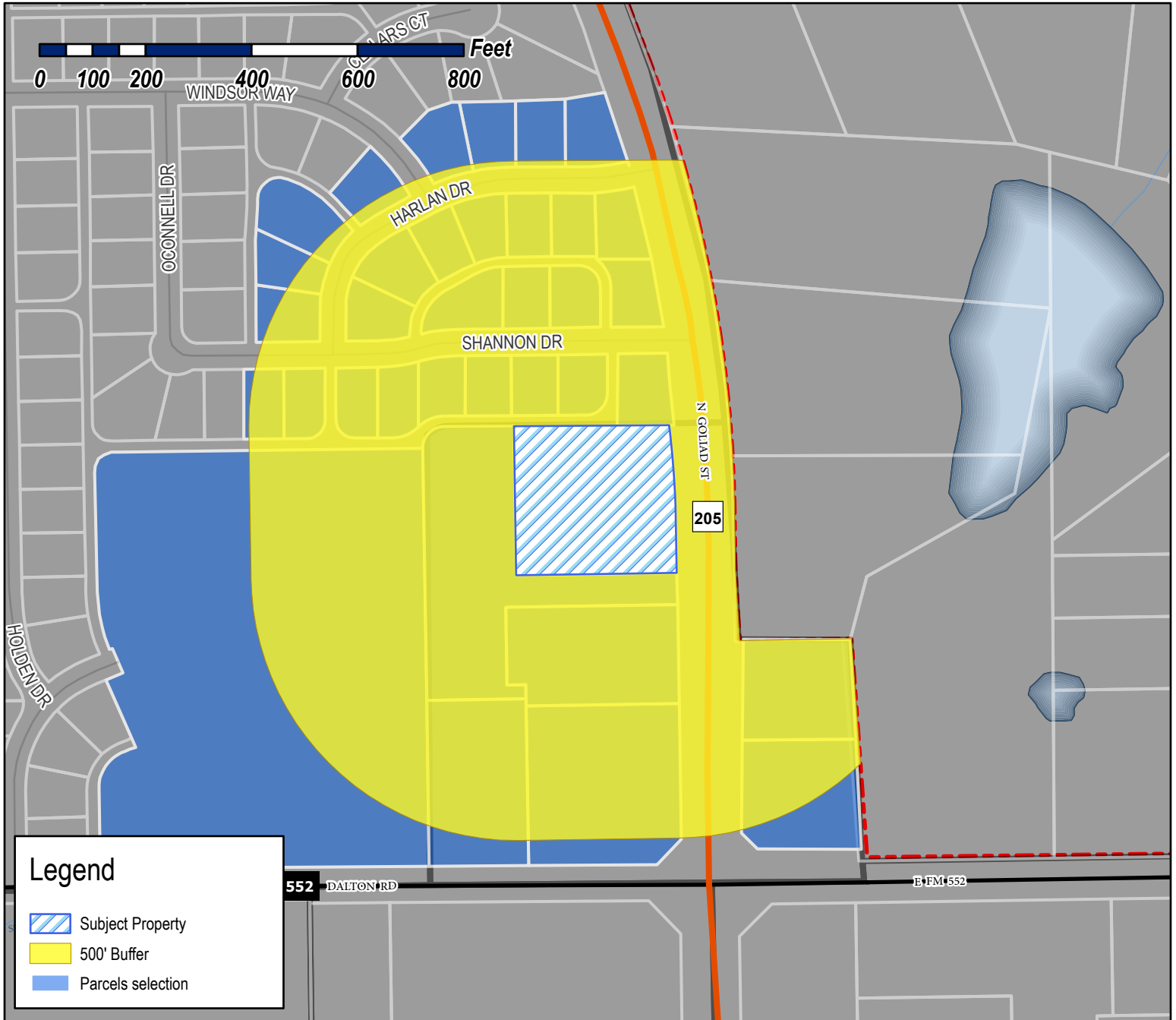
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

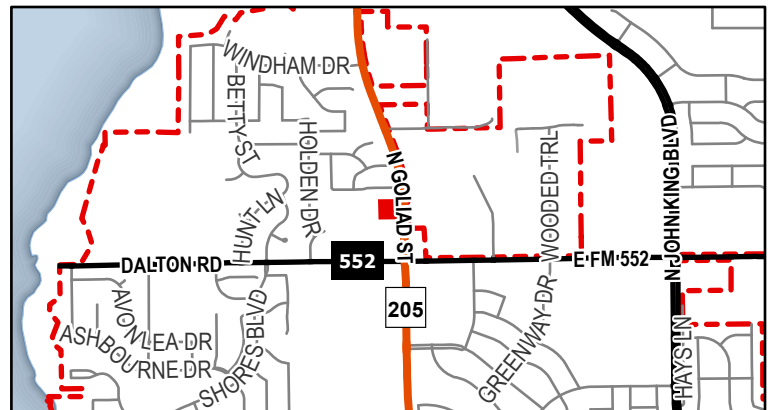
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Case Number: Z2023-042
Case Name: SUP for Kennor Rockwall Retail
Case Type: Zoning
Zoning: General Retail
Case Address: 3611 & 3775 N Goliad St.

Date Saved: 8/18/2023

For Questions on this Case Call: (972) 771-7746



GOLIAD 711 ROCKWALL LLC
SILVER OAK ADVISORS LLC
ATTN GARSON C SOE
1630 RIVIERA AVE
WALNUT CREEK, CA 94596

OCCUPANT
3250 N GOLIAD ST
ROCKWALL, TX 75087

MASSEY WILLIAM C JR AND LACY
7128 HARLAN DR
ROCKWALL, TX 75087

WILLIAMS BUCK AND JESSICA
7135 HARLAN DR
ROCKWALL, TX 75087

BENNETT R LANGDON & LINDA
7125 HARLAN DR
ROCKWALL, TX 75087

LIU LIRONG AND FENG XIN
3116 DEEP SPRINGS DR
PLANO, TX 75025

OCCUPANT
7127 HARLAN DR
ROCKWALL, TX 75087

GREEN DORIS M
7129 HARLAN DR
ROCKWALL, TX 75087

YATES GLEN M & DORIS A
525 SHANNON DR
ROCKWALL, TX 75087

KELLY SHARON RENEE & EDDY D,
TRUSTEES OF EDDY D KELLY &
SHARON RENEE KELLY REVOCABLE
LIVING TRUST
527 SHANNON DR
ROCKWALL, TX 75087

JONES KENNETH A & CYNTHIA C
531 SHANNON DR
ROCKWALL, TX 75087

MILAZZO DENNIS M SHELLY A
512 SHANNON DR
ROCKWALL, TX 75087

WOLFE KENNETH & PAMELA
514 SHANNON DR
ROCKWALL, TX 75087

WAGONER LISA M
514 WINDSOR WAY
ROCKWALL, TX 75087

RUNNELS NEVILLE J & JOHANNA E
REVOCABLE LIVING TRUST
NEVILLE J & JOHANNA E RUNNELS
CO TRUSTEES
7140 HARLAN DR
ROCKWALL, TX 75087

HORTON BILL D & JOYCE
7138 HARLAN DR
ROCKWALL, TX 75087

PRICE ELLIOTT & LATOYA DUNCAN
518 SHANNON DR
ROCKWALL, TX 75087

DOSS JAMES B & JENNIFER
7137 HARLAN DR
ROCKWALL, TX 75087

KELLY CASEY & CRYSTIE
7136 HARLAN DR
ROCKWALL, TX 75087

ALEXANDER MICHAEL
7134 HARLAN DR
ROCKWALL, TX 75087

VINES THOMAS & SHERRY
7132 HARLAN DR
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W WALL STREET
SUITE 101
GRAPEVINE, TX 76051

OCCUPANT
3260 N GOLIAD ST
ROCKWALL, TX 75087

FRYER CRAIG RYAN
7133 HARLAN DR
ROCKWALL, TX 75087

LAUE JOSHUA LYNN AND MIRANDA
NIKKOLE
7139 HARLAN DR
ROCKWALL, TX 75087

TRAN STEVE & CATHERINE
7124 HARLAN DR
ROCKWALL, TX 75087

BELL WILLIAM L JR & PAMELA S
177 PRIVATE ROAD 54166
PITTSBURG, TX 75686

OCCUPANT
523 SHANNON DR
ROCKWALL, TX 75087

SANFORD DAVID A & ANNETTE F
532 SHANNON DR
ROCKWALL, TX 75087

ROCKWALL I S D
350 DALTON RD
ROCKWALL, TX 75087

CARTER PRISCILLA PAIGE
526 SHANNON DR
ROCKWALL, TX 75087

CHERUKURU NANDGOPAL
609 S GOLIAD ST #2498
ROCKWALL, TX 75087

OCCUPANT
528 SHANNON DR
ROCKWALL, TX 75087

DAVIS GLYNN M & CAROLYN A
524 SHANNON DR
ROCKWALL, TX 75087

HAN SANG HWA
522 SHANNON DR
ROCKWALL, TX 75087

SULLENGER LAWRENCE M AND
DEBBIE J
520 SHANNON DR
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC
4622 MAPLE AVE
SUITE 200
DALLAS, TX 75219

OCCUPANT
3509 N HWY 205
ROCKWALL, TX 75087

ALDI TEXAS LLC
2500 WESTCOURT ROAD
DENTON, TX 76207

OCCUPANT
3251 N GOLIAD ST
ROCKWALL, TX 75087

DALTON RETAIL LLC
2954 ARBORIDGE COURT
FULLERTON, CA 92835

OCCUPANT
3301 N GOLIAD ST
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC
4622 MAPLE AVE
SUITE 200
DALLAS, TX 75219

OCCUPANT
320 DALTON RD
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-042: SUP for a Restaurant

Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-042: SUP for a Restaurant

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Letter of Intent
Kennor Rockwall Retail**

Our client Kennor Rockwall Retail, LLC is proposing to replat lots 8 & 9, Block A of the Dalton Goliad Addition into one lot in order to develop two 6,300 SF commercial buildings for retail and restaurant uses. The southernmost building will have a restaurant with drive thru window. The lots are located at approximately 560 feet from the northwest corner of S.H. No. 205 and Dalton Road and are currently vacant. The development is approximately 1.93 acres and is zoned "GR" General Retail District, which requires a Special Use Permit for restaurant uses with drive thru window.

Owner/Developer:

Kennor Rockwall Retail, LLC
Attn: Shane Shoulders
8848 Greenville Ave.
Dallas, TX 75243

Metes and Bounds Description

BEING all that certain 1.927 acre situated in the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, and being Lots 8 and 9, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the replat recorded in under Clerk's File No. 20210000014665, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a ½ inch iron rod with red plastic cap stamped "Peiser & Mankin SURV" found (hereinafter referred to as ½ inch iron rod with red cap found) for the northeast corner of said Lot 8, same being in the south line of Block C, Harlan Park-Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 266, Plat Records, Rockwall County, Texas, same being in the westerly right-of-way line of State Highway No. 205 (called 100 foot right-of-way), same being the beginning of a curve to the right, having a radius of 2805.03 feet and a delta angle of 04 deg. 41 min. 34 sec.;

THENCE along said curve to the right, and along the common line of said Lot 8 and said State Highway No. 205, passing a ½ inch iron rod with red cap found for the southeast corner of said Lot 8, same being the northeast corner of aforesaid Lot 9, and continuing along the common line of said Lot 9 and said State Highway No. 205, a total arc distance of 229.74 feet and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet to a ½ inch iron rod with red cap found for angle point;

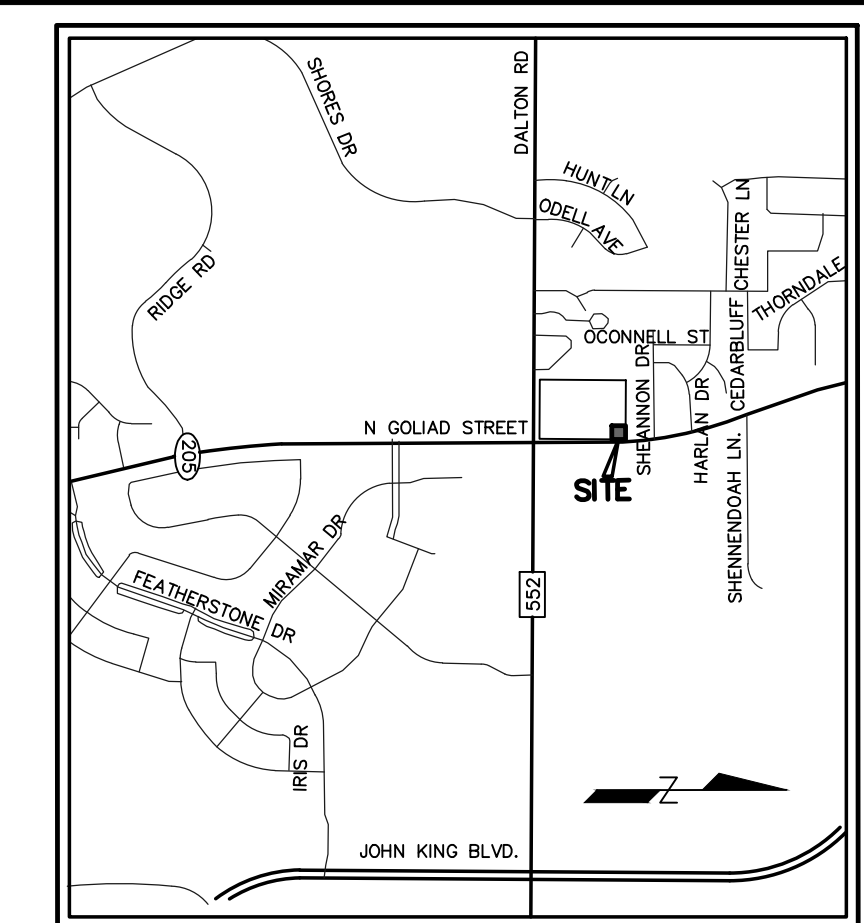
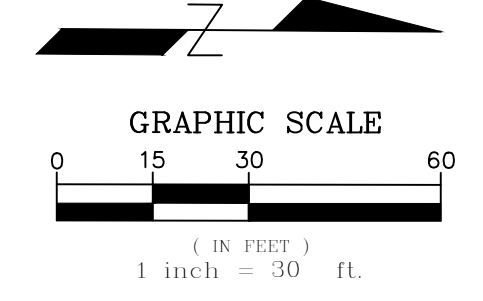
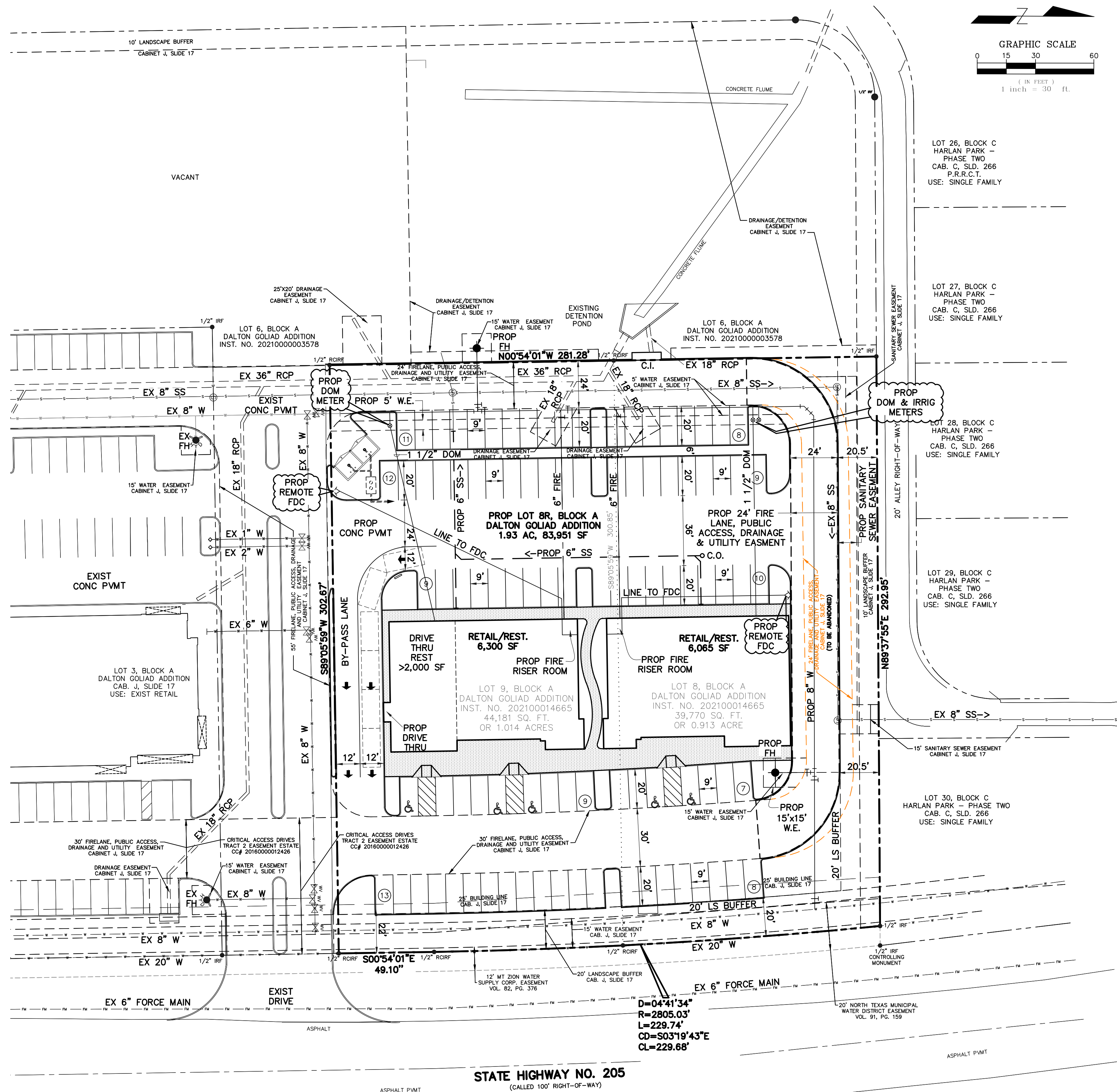
THENCE South 00 deg. 54 min. 01 sec. East, continuing along the common line of said Lot 9 and said State Highway No. 205, a distance of 49.10 feet to a ½ inch iron rod with red cap found for the southeast corner of said Lot 9, same being the most easterly northeast corner of Lot 6, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 20210000003578, aforesaid Official Public Records;

THENCE along the common line of said Lots 9 and 6 as follows:

South 89 deg. 05 min. 59 sec. West, a distance of 302.67 feet to a ½ inch iron rod with red cap found for the southwest corner of said Lot 9;

North 00 deg. 54 min. 01 sec. West, passing at a distance of 146.18 feet, a ½ inch iron rod with red cap found for the northeast corner of said Lot 9, same being the southwest corner of aforesaid Lot 8, and continuing along the common line of said Lot 8 and said Lot 6, a total distance of 281.28 feet to the ½ inch iron rod with red cap found for the northwest corner of said Lot 8, same being in the south line of Block C, Harlan Park-Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 266, Plat Records, Rockwall County, Texas;

THENCE North 89 deg. 37 min. 55 sec. East, along the common line of said Lot 8 and said Block C, a distance of 292.95 feet to the POINT OF BEGINNING and containing 83,951 square feet or 1.927 acres of computed land, more or less.



LOCATION MAP
N.T.S.

| EXISTING | LEGEND | PROPOSED |
|----------|---------------|----------|
| --- | PROPERTY LINE | --- |
| --- | PAVEMENT | --- |
| --- | CENTER LINE | --- |
| --- | CONC WALK | --- |
| --- | PARKING COUNT | (13) |
| --- | STACKING | --- |
| --- | WATER | --- |
| --- | SEWER | --- |
| --- | FORCE MAIN | --- |
| --- | STORM SEWER | --- |
| --- | WATER VALVE | --- |
| --- | FIRE HYDRANT | --- |
| --- | FDC | --- |
| --- | WATER METER | --- |
| --- | SAN. SEWER MH | --- |
| --- | CURB INLET | --- |
| --- | C.I. | --- |

- NOTES
1. TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, L.L.C., DATED 06/28/2023.
 2. PROPERTY OWNER RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEM.

| | |
|----------------------------|--|
| Site Address | GOLIAD |
| County | ROCKWALL |
| Project Name | KENOR ROCKWALL RETAIL |
| Zoning District | GR W/N. SH 205 OVERLAY DISTRICT |
| Proposed use | RETAIL/REST. |
| Site Area: | 1.93 Acres 83,951 S.F. |
| Building Area | 12,365 S.F. |
| Building Height: | 1 Story |
| Lot Coverage: | 12,365 / 83,951 = 14.73% |
| Floor Area Ratio: | 12,365 S.F. / 83,951 = 1:14.73 |
| Parking Required Building: | 12,365 S.F. |
| Total Parking Required: | RETAIL 1 SPCS/250 SF (5,365 SF/250) = 22 SPACES REST. 1 SPCS/100 SF (7,000 SF/100) = 70 SPACES = 92 SPACES |
| Parking Provided: | REGULAR = 91 SPACES ACCESSIBLE = 5 SPACES TOTAL = 96 SPACES |
| Impervious Area: | 66,725 S.F. |
| Impervious Area Ratio: | 66,725 S.F. / 83,951 = 79.48% |
| Pervious Area Ratio: | 17,226 S.F. / 83,951 = 20.52% |

CONCEPT PLAN
KENOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAID ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
SEPTEMBER 06, 2023
CASE #Z2023-042

OWNER/DEVELOPER:
KENOR ROCKWALL RETAIL, L.L.C.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12266

THIS DOCUMENT IS FOR
INTERM REVIEW AND IS
NOT TO BE USED FOR
CONSTRUCTION PERMITTING
OR BIDDING PURPOSES
DATE: 09/06/2023
DRAWN BY: JUV
CHECKED BY: JUV
VASEZ ENGINEERING, L.L.C.
TX REG. F-12266

DEVELOPER:
KENOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

CONCEPT PLAN
KENOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAID ADDITION
CITY OF ROCKWALL, TX.

Scale: 1" = 30'
Designed by: JUV
Drawn by: DRS
Checked by: JUV
Date: 09/06/2023

SHEET
CP1

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A RESTAURANT, WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN ON A 1.93-ACRE PARCEL OF LAND IDENTIFIED AS LOTS 8 & 9, BLOCK A, DALTON-GOLIAD ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Juan Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, with 2,000 SF or More, with a Drive-Through or Drive-In* on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. The Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Restaurant, with 2,000 SF or More, with a Drive-Through or Drive-In* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*; Subsection 04.04, *General Retail (GR) District*; and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, with 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) Additional landscape screening shall be installed adjacent to drive-through lane, drive aisle adjacent to the residential land uses north of the subject property, and along N. Goliad Street [SH-205] to impair the visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties and rights-of-way. The additional landscaping will be approved by the Planning and Zoning Commission with the site plan approval for the proposed development depicted in *Exhibit 'B'*.
- 2) The proposed drive-through lane shall accommodate a minimum of six (6) standard sized motor vehicles.
- 3) Enhanced landscaping shall be provided in the north-west property corner to provide additional screening for the adjacent residential. This screening shall be approved by the Planning and Zoning Commission in conjunction with the site plan submittal for the proposed development depicted in *Exhibit 'B'*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2nd DAY OF OCTOBER, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

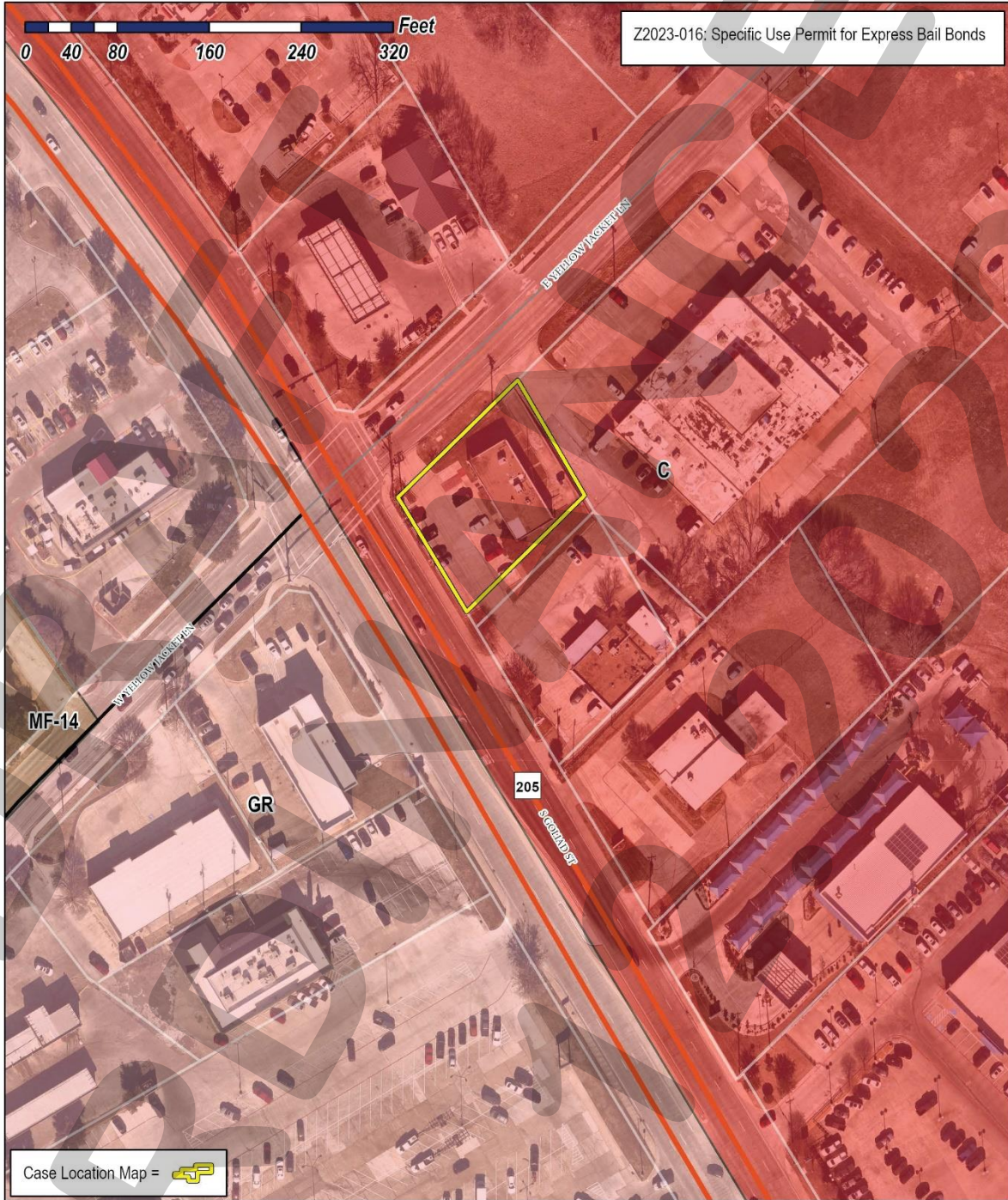
Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

**Exhibit 'A':
Location Map**

LEGAL DESCRIPTION: Lots 8 & 9, Block A, Dalton-Goliad Addition



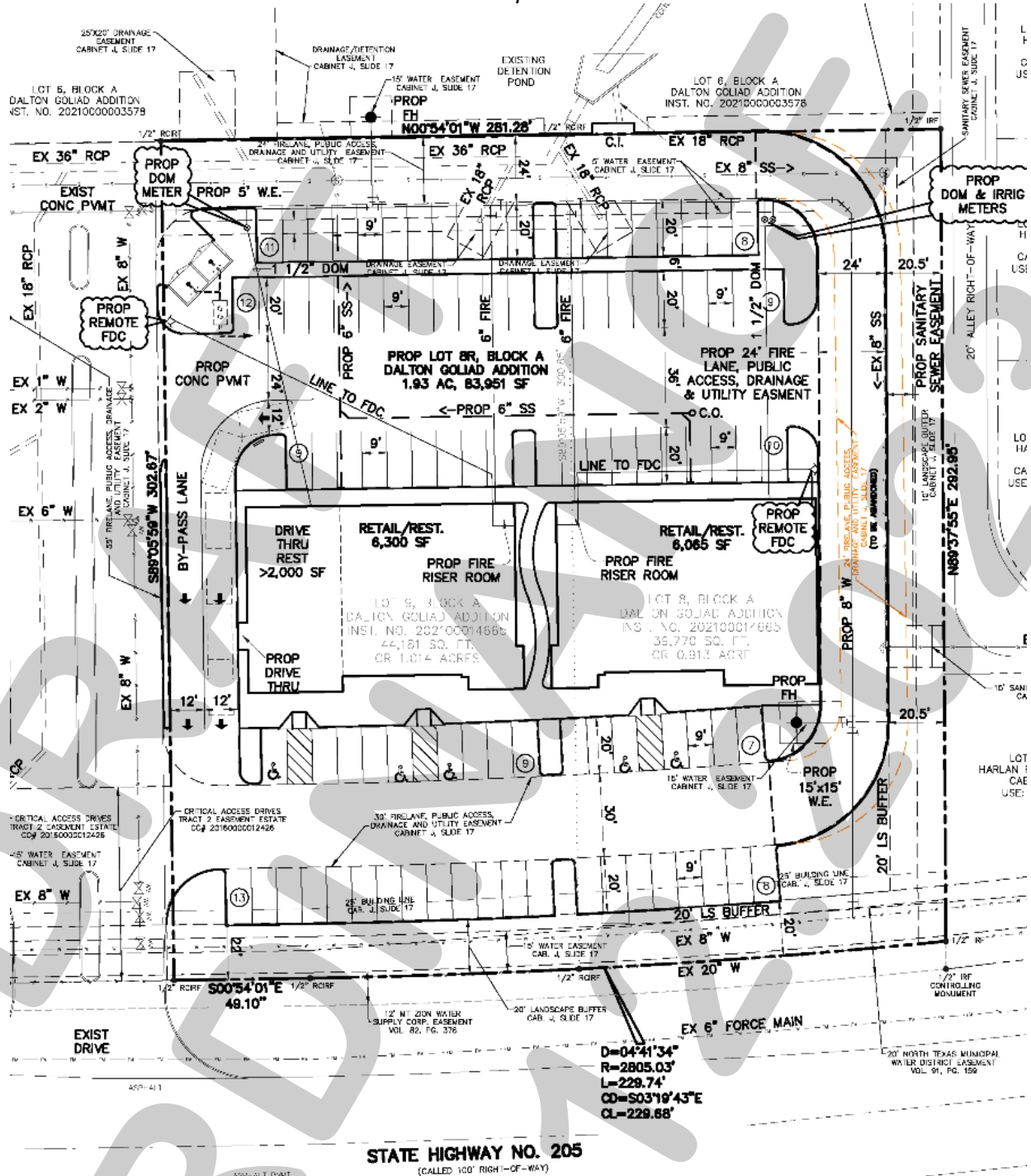
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Exhibit 'B': Concept Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 12, 2023

APPLICANT: Angelina Nguyen

CASE NUMBER: Z2023-043; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 303 Harborview Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.1519-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant, Angelina Nguyen, is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 310 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Harborview Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Phase 2 of the Harbor Landing Subdivision, which was established on June 15, 1987, and consists of 32 residential lots. North of this is Phase 1 of Harbor Landing, which was established on December 22, 1986, and consists of 38 residential lots.

South: Directly south of the subject property is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.

East: Directly east of the subject property is the remainder of Phase 2 of the Harbor Landing Subdivision, which was established on June 15, 1987, and consists of 32 residential lots. East of this is Phase 1 of Harbor Landing, which was established on December 22, 1986, and consists of 38 residential lots. Beyond this is Henry M. Chandler Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Spyglass Hill Phase 3, which was established on January 15, 1985, and consists of 47 condominium. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is the Lake Ray Hubbard Takeline and the Chandler’s Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 70 residential lots (*five [5] of which are vacant*), and is considered to be more than 90% developed (*i.e. 92.86% developed*). The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

| Housing Design and Characteristics | Existing Housing on Harborview Drive | Proposed Housing |
|------------------------------------|--|---|
| Building Height | Two (2) Story | Two (2) Story |
| Building Orientation | Most of the homes are oriented towards their front property line. | The front elevation of the home will face onto Harborview Drive |
| Year Built | 2012-2020 | N/A |
| Building SF on Property | 2,330 SF – 4,982 SF | 3,990 SF |
| Building Architecture | Traditional Brick/Stucco and Modern Contemporary | Comparable Architecture to the Existing Homes |
| Building Setbacks: | | |
| Front | The front yard setbacks appear to conform to the required 20-foot front yard setback. | x>20-Feet |
| Side | The side yard setbacks appear to conform to the required six (6) foot side yard setback. | x>6-Feet |
| Rear | The rear yard setbacks appear conform to the required ten (10) feet rear yard setback. | x>15-Feet |
| Building Materials | Brick, Stone, Stucco | Stucco, Nichiha Panel, Metal |
| Paint and Color | Red, Tan, Brown, Grey, White, Black | Brown, Grey |
| Roofs | Composite Shingles, Metal Roofs | Flat, Metal Roof [VARIANCE REQUESTED] |
| Driveways | Driveways are all in the front with the orientations being <i>flat front entry</i> . | The garage is proposed to be situated 2-feet beyond the front façade of the home. [VARIANCE REQUESTED] |

In this case, the applicant is proposing a home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home. Staff estimates that the garage will protrude approximately two (2) feet in front of the front façade of the home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2000, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with a flat, metal roof. Staff should point out that there are at least two (2) homes in this phase of the Harbor Landing Subdivision with metal roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

NOTIFICATIONS

On August 22, 2023, staff mailed 53 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received an email from the Chandler’s Landing Architectural Control Committee, stating that they do not allow a flat roof. Staff conveyed this information to the applicant.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 303 HARBORVIEW DR. ROCKWALL. TX 75032

SUBDIVISION HARBOR LANDING, PHASE 2

LOT

18

BLOCK

B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING X

CURRENT USE

VACANT LOT

PROPOSED ZONING N/A

PROPOSED USE

SINGLE RESIDENTIAL

ACREAGE 0.16 ACRES

LOTS [CURRENT]

1 LOT

LOTS [PROPOSED]

1 LOT

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ANGELINA NGUYEN

APPLICANT

CONTACT PERSON ANGELINA NGUYEN

CONTACT PERSON

ADDRESS 1025 LAKE RIDGE DR

ADDRESS

CITY, STATE & ZIP RICHARDSON, TX 75081

CITY, STATE & ZIP

PHONE 214 263 8091

PHONE

E-MAIL YMY.A.NGUYEN@GMAIL.COM

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Angelina Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

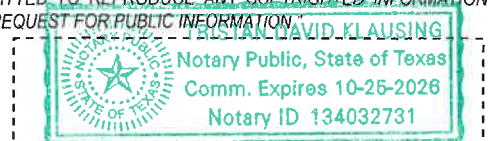
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023.

OWNER'S SIGNATURE

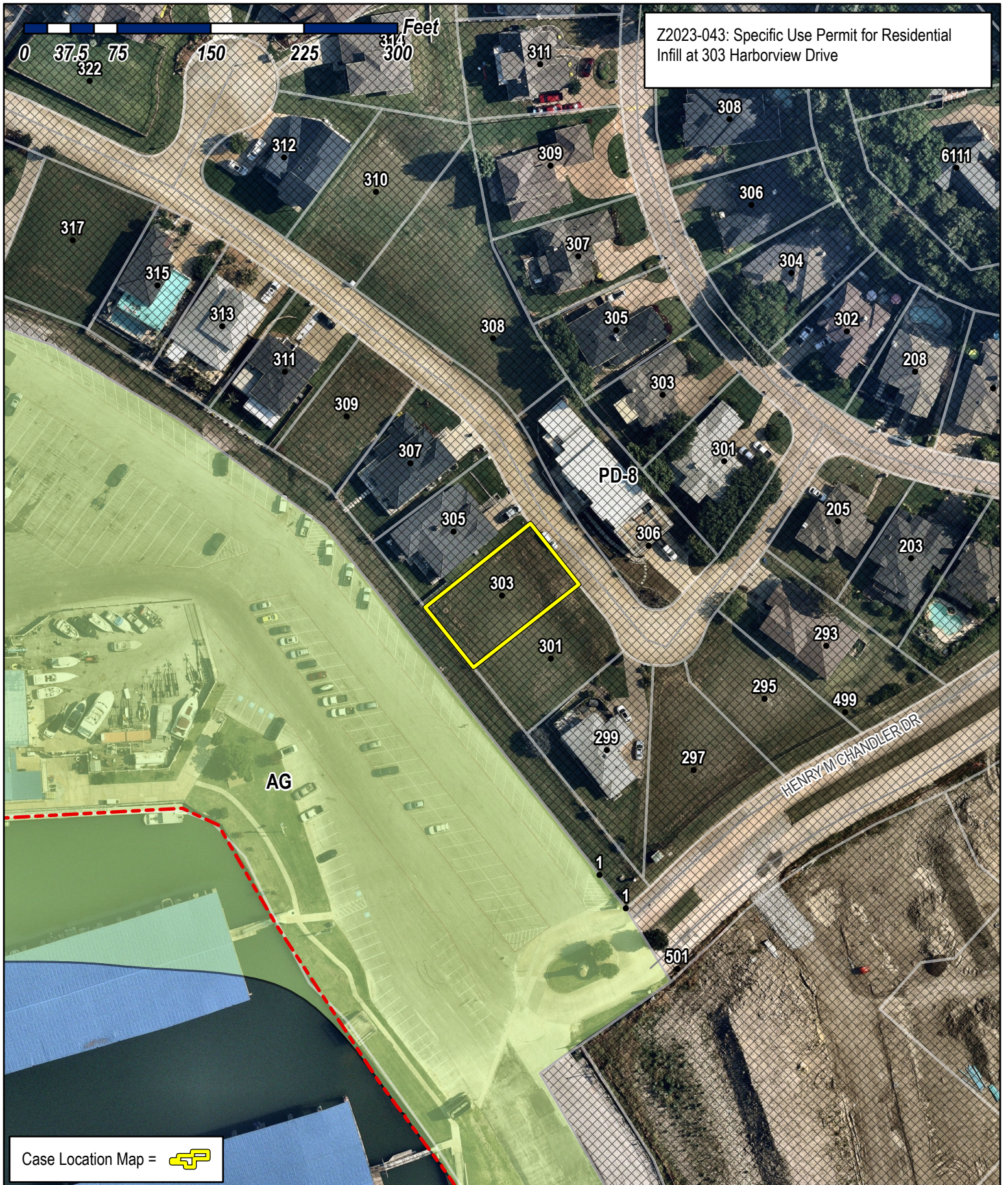
[Signature]
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

10/29/20



Z2023-043: Specific Use Permit for Residential Infill at 303 Harborview Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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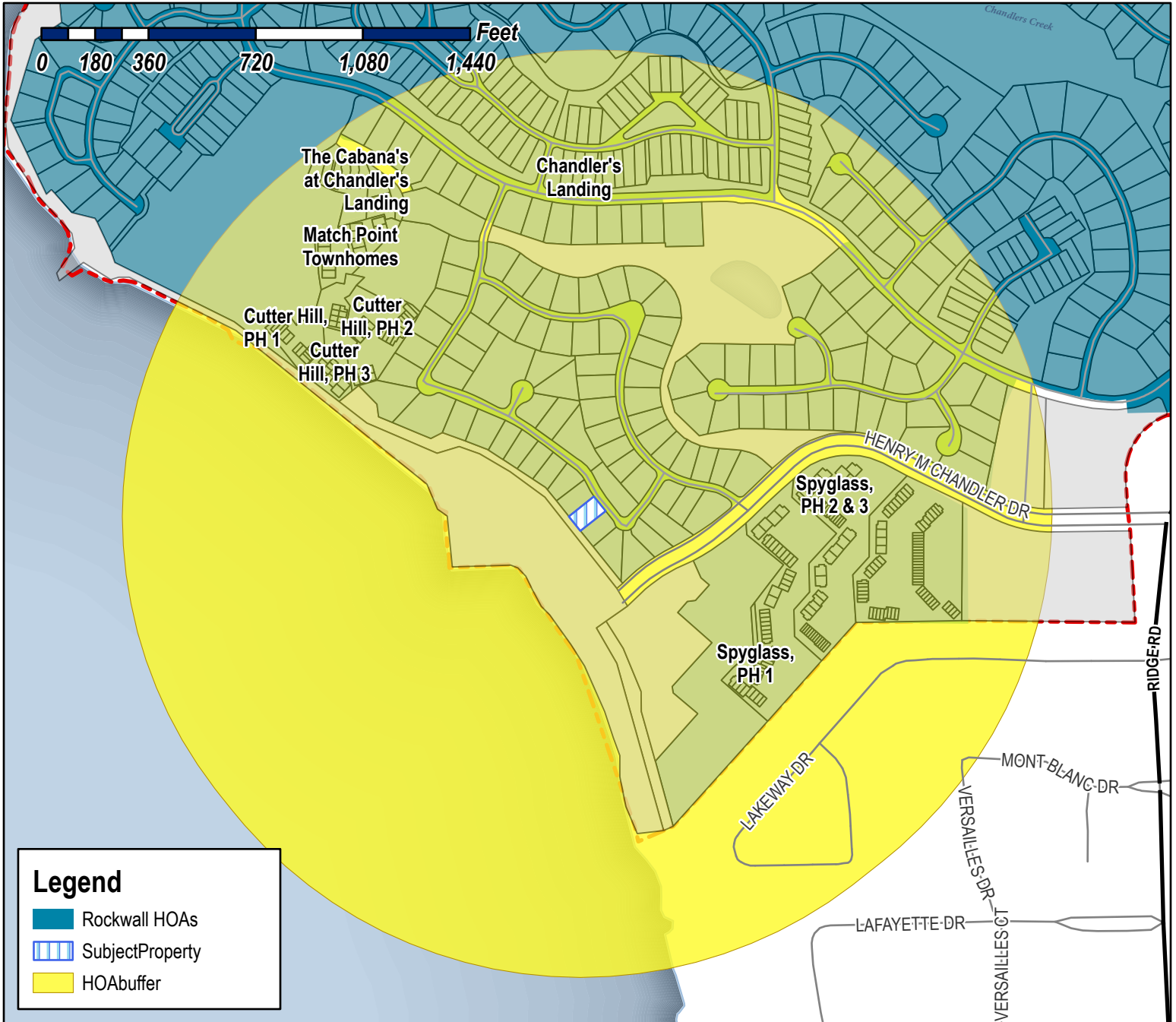




City of Rockwall

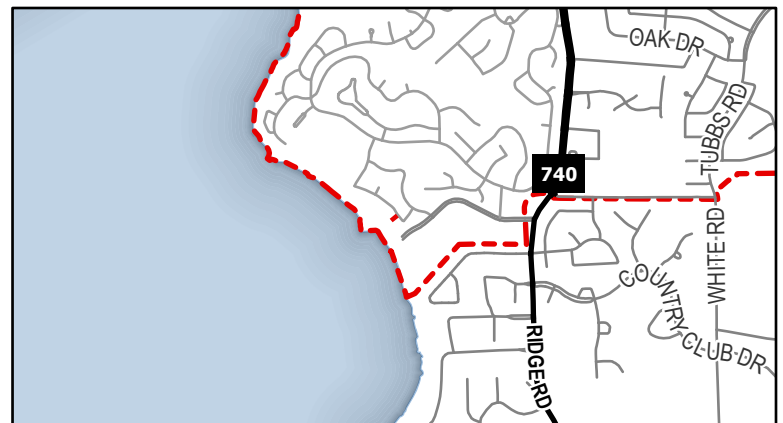
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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr

Date Saved: 8/18/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Wednesday, August 23, 2023 4:40 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-043]
Attachments: Public Notice (P&Z).pdf; HOA Map (08.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill In an Established Subdivision* on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

Thank You,

Melanie Zavala

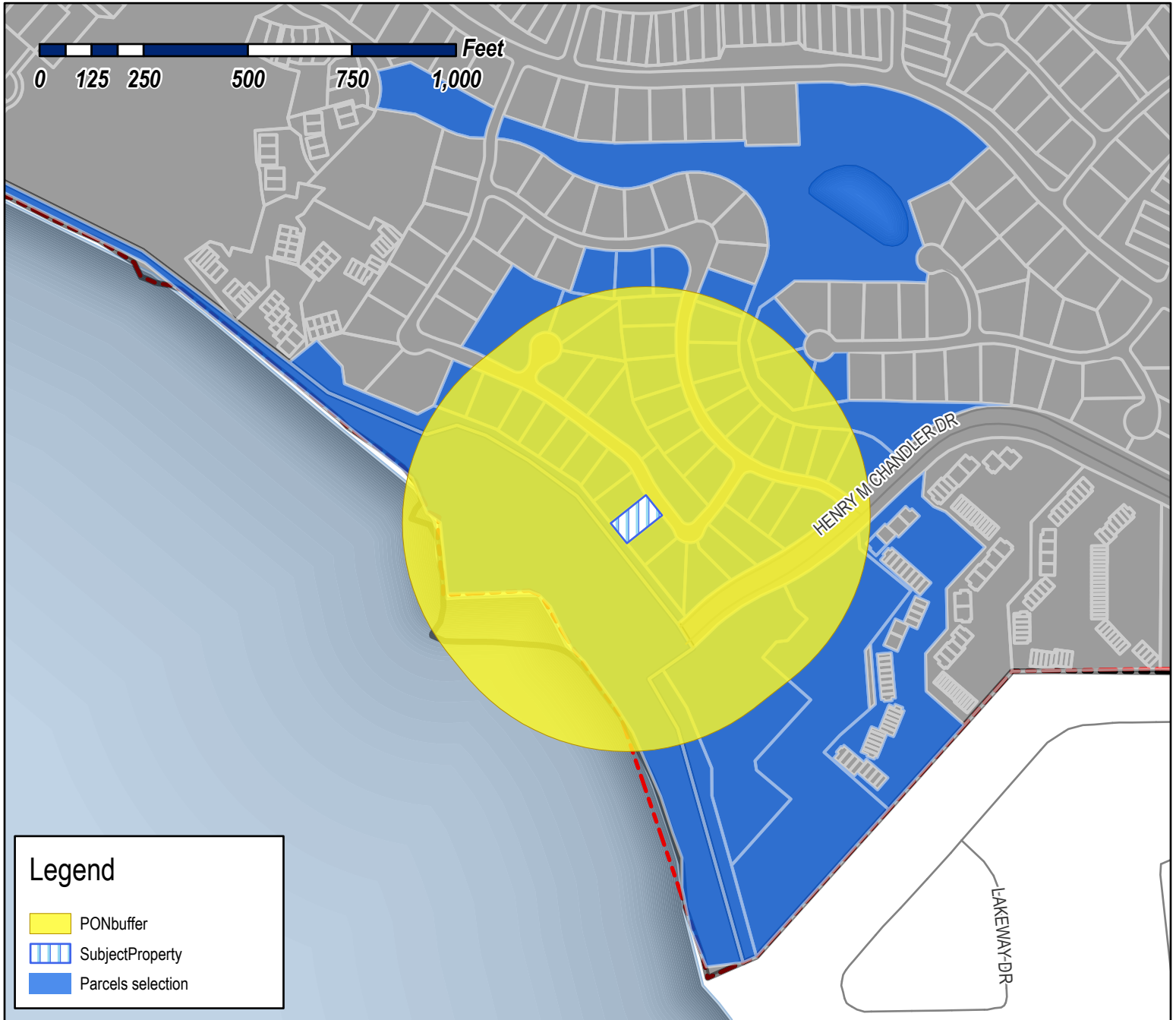
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr.

Date Saved: 8/18/2023

For Questions on this Case Call: (972) 771-7746



NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
O
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

BALLARD AMANDA L &
O
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
297 HARBORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
O
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-043: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



303 Harborview Drive

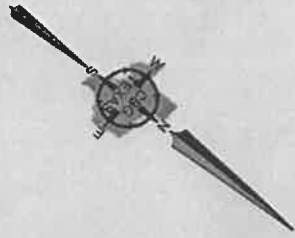
Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

Lawyers Title

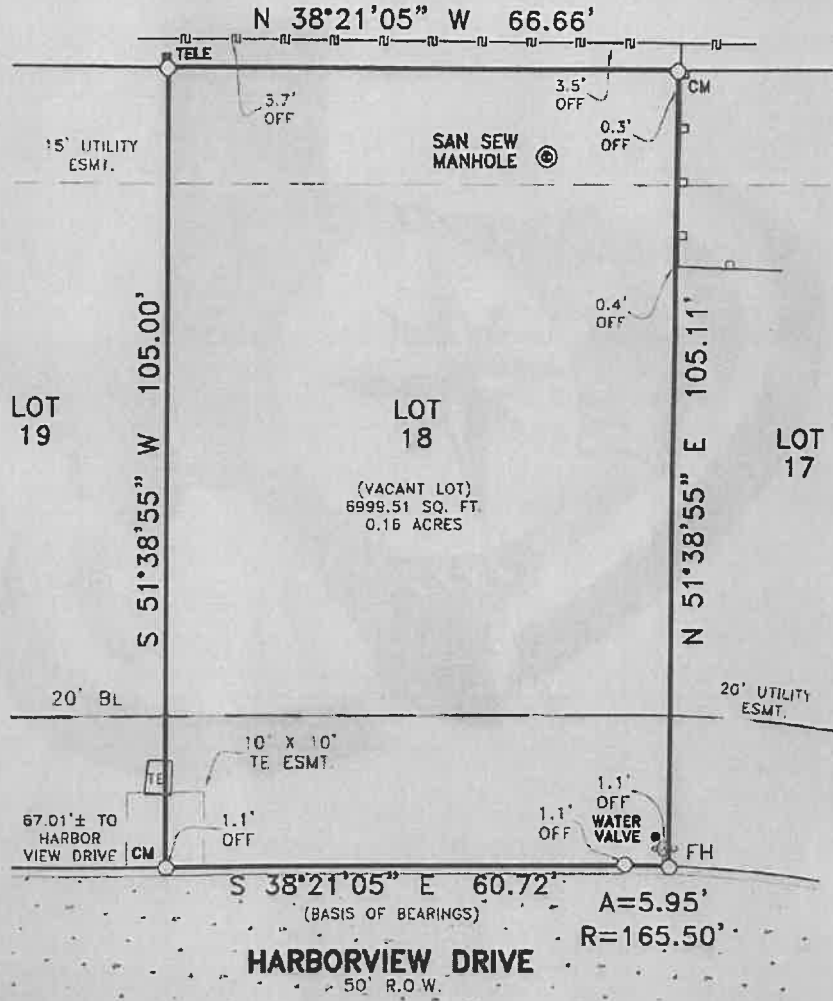
INSURANCE CORPORATION

LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 201600022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL 112, PG. 546, VOL 174, PG. 46, VOL 608, PG. 127, VOL 649, PG. 73, VOL 743, PG. 58

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 536, VOL 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JRDC/JLM

Scale: 1" = 20'

Date: 08/28/2020

GF No.: LT-19145-1801452000500-KK

Job No. 2016354



12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.8485
F 214.349.2216
Firm No. 10168800
www.obgtitle.com



Accepted by: _____
Purchaser

Date: _____

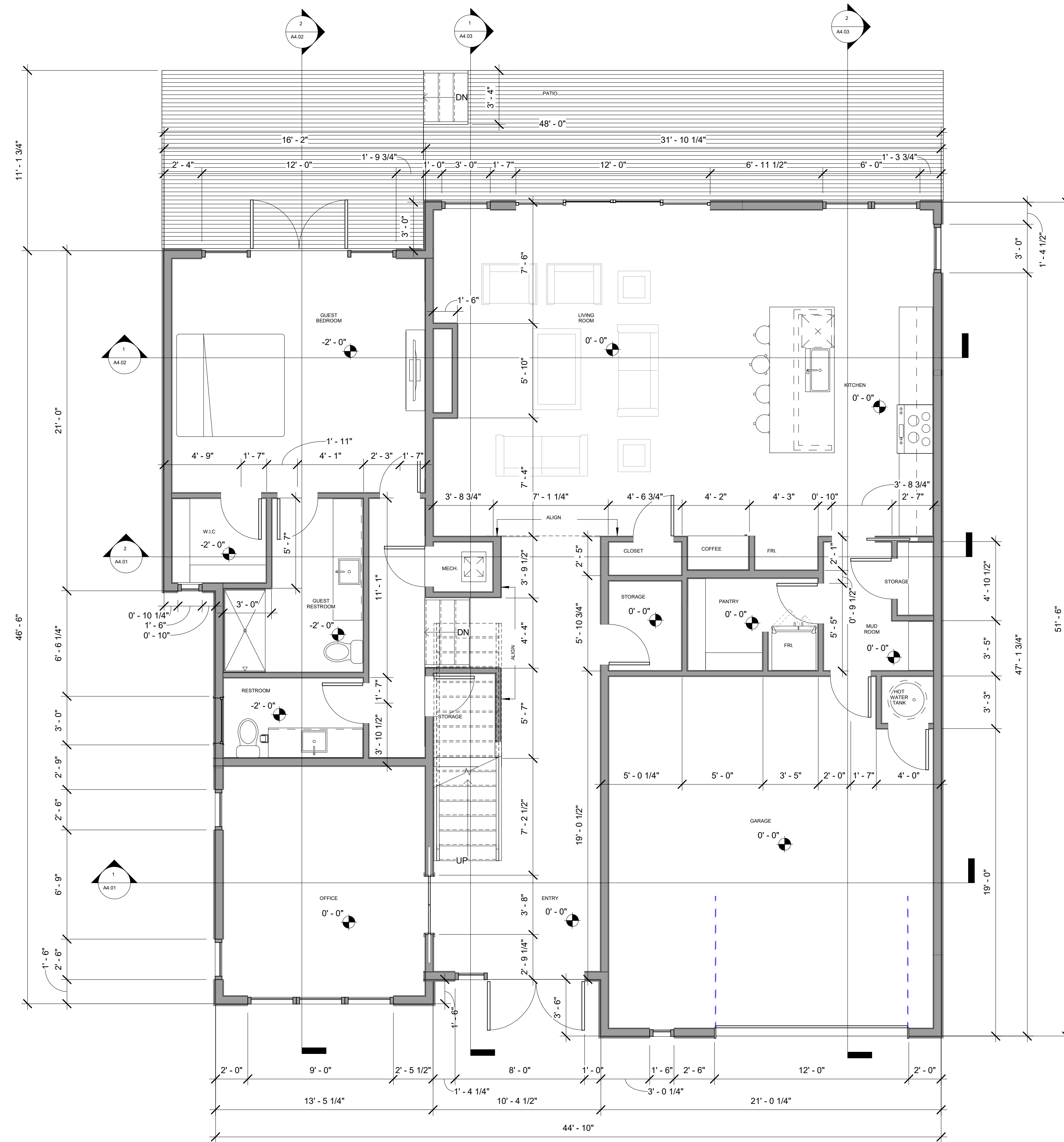
Purchaser

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE FROWELED, BROOMED AND SEALED.
2. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. METER RISERS ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPACE CONTROL JOINTS ON OPTIM BOARD CEILING TO LIMIT EXPANSION TO 3/8" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING OPTIM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 200 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 90° OF FLEXION DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FLUCCIING. OR SPACE CONTROL JOINTS AT THE CEILING AND WALL. PER THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO SHEET AA.XX FOR ROOF NOTES AND FINISHES.
6. REFER TO ROOF PLAN LEGEND ON SHEET AA.XX FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- DETAIL SECTION TAG
- PARTITION WALL TAG
- DOOR TAG SYMBOL
- WINDOW TAG SYMBOL
- FLOOR DOWN
- ASSUMED PROPERTY LINE
- 5 1/2" BRICK / STONE LEDGE
- METER
- FRESH FLOOR ELEVATION



1 FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

| Issue | Issue Name | Date |
|-------|------------|------|
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ISSUE FOR PERMIT

| | |
|----------------|-------------------|
| Sheet Name | FLOOR PLAN |
| Original Issue | |
| Sheet Number | A1.01 |
| Project # | |
| Project Number | |
| Drawing Date | 08/04/21 |

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GASKETS AND SEALANTS (WHERE REQUIRED) AS REQUIRED SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISJUNCT MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL INTERIOR FINISHES, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER IBC 1901.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM (FACE, HEADERS, BELLS, TRILLS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS) TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHHA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE MATCHING OR BY 200% SHOWING DOWN BY 50% MATCH OFF FINISHES OR 200% SYNCHRONISE TAN SMOOTH CYBER SPACE AND DRABBE BLACK BEAM. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH SUBSTRATE WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER'S FINISHED COLOR BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHHA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

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|----|---------------|----|-----------------------|
| S1 | STUCCO | C1 | CAVOPIY |
| N1 | NICHHA PANEL | H1 | GLASS WINDOW |
| M1 | METAL COPPING | R1 | STANDING SEAM ROOFING |

ELEVATION - SYMBOL LEGEND

| | | | | |
|--|--------------------|--|-----------------------------|--------------|
| | DOOR TAG | | T.O.P. 100'-0" XTH FLOOR | TOP OF PLATE |
| | WINDOW TAG | | T.O.D. 100'-0" XTH FLOOR | TOP OF DECK |
| | WALL SECTION TAG | | T.O.H. 100'-0" XTH FLOOR | TOP OF HEEL |
| | DETAIL SECTION TAG | | T.O.S. 100'-0" XTH FLOOR | TOP OF SLAB |
| | SLOPE TAGS | | F.F. 100'-0" | FINISH FLOOR |



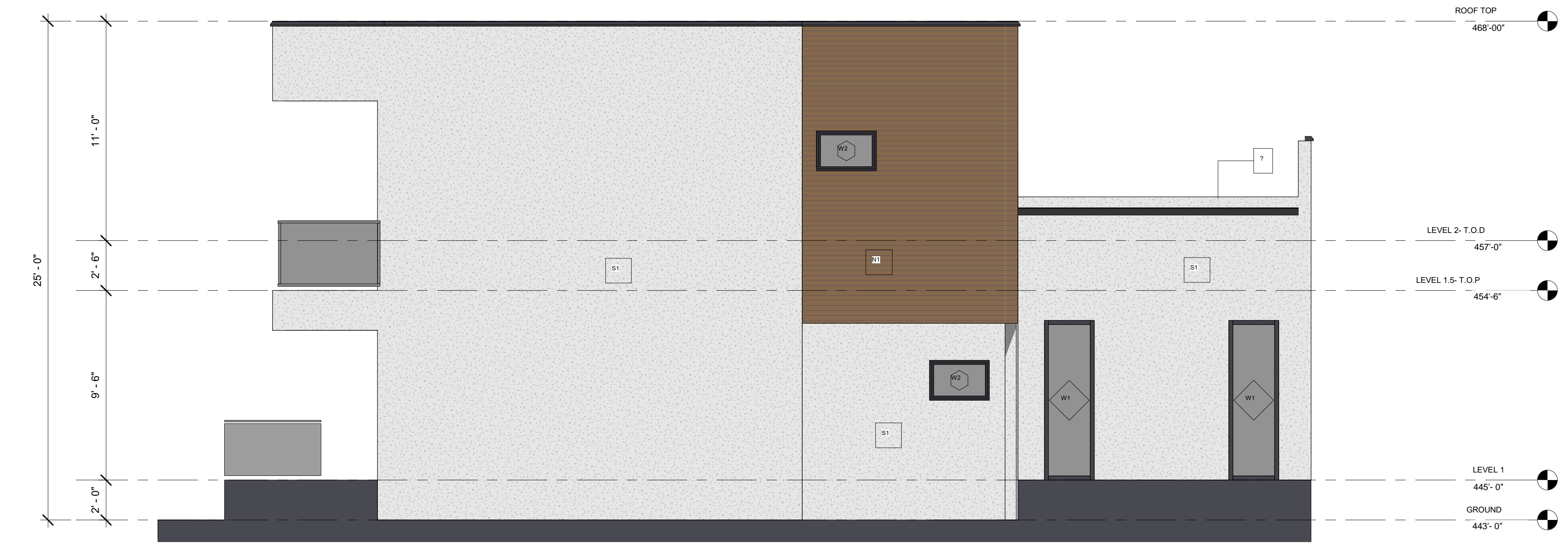
2 BACK ELEVATION
1/4" = 1'-0"



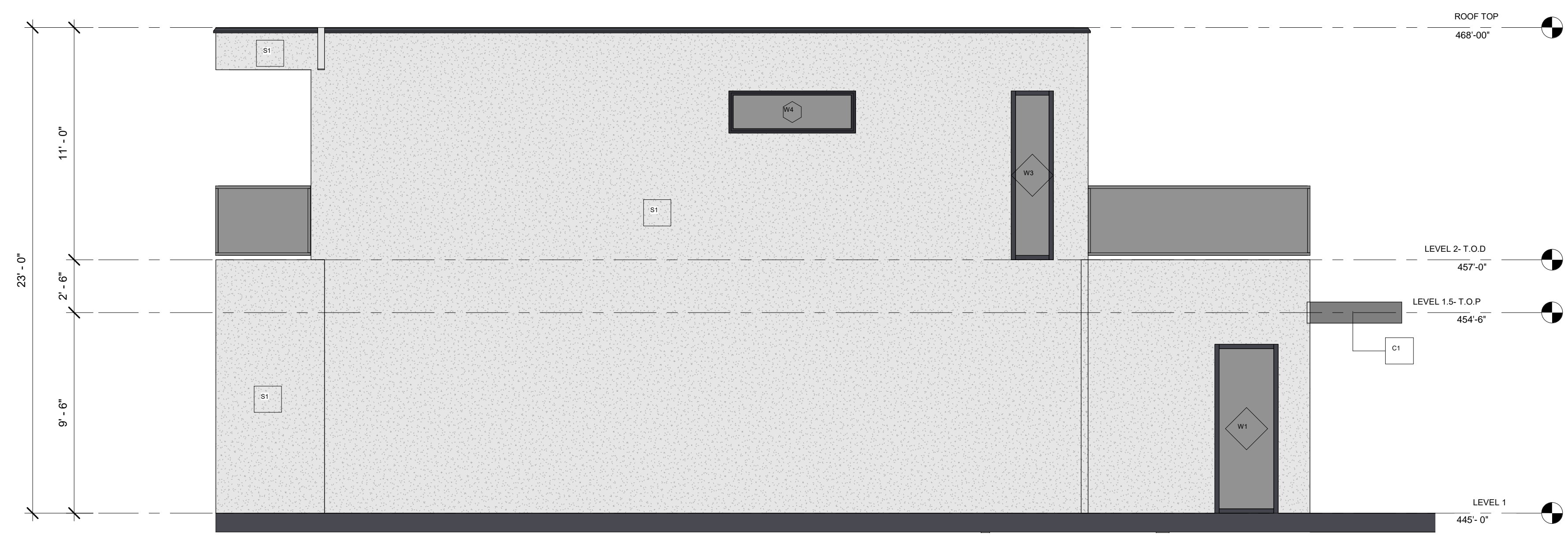
1 FRONT ELEVATION
1/4" = 1'-0"

| Issue | Issue Name | Date |
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| Sheet Name EXTERIOR ELEVATIONS | |
| Original Issue | |
| Sheet Number A2.10 | |
| Project # | Drawing Date |
| Project Number | 03/27/22 |



2 LEFT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

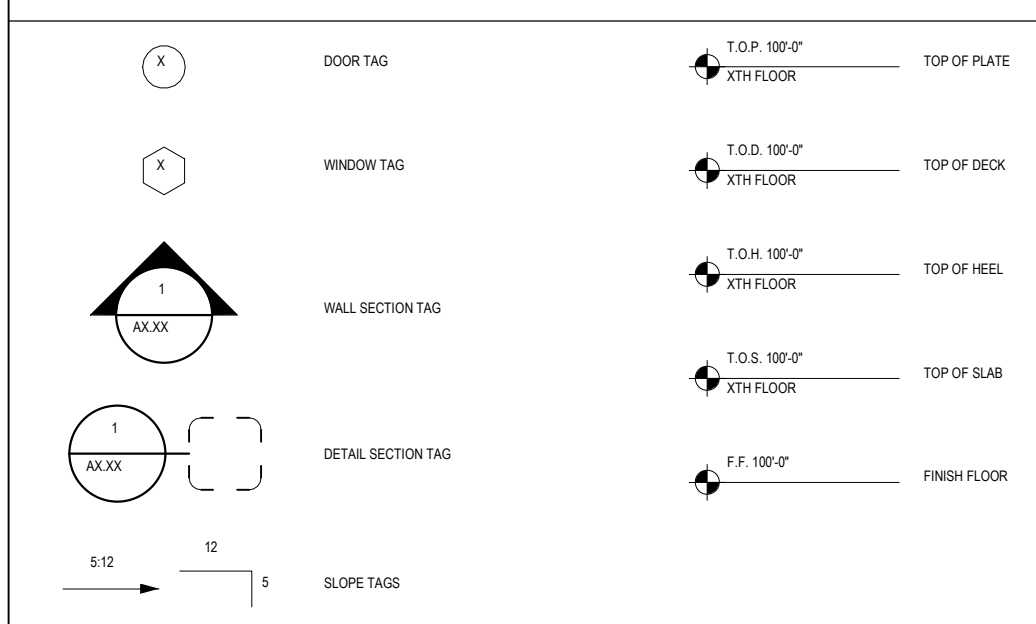
1. PROVIDE 1/2" MINIMUM SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES THREE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GULCHES AND SEALANTS UNDER HOODS AS REQUIRED SHALL BE INSTALLED ACCORDING TO WINDOW, DOOR, ROOF OPENINGS, HORIZONTAL AND VERTICAL Joints OF GRESSEMAR MATERIALS, MANUFACTURING, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BALCONIES, ROOF AND EXTERIOR ENVELOPE THAT PROTECT WATER PROPERLY.
6. ALL PITCHED ROOFS, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1'-0" MINIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12 PER BC 1924.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.O.
10. ALL METAL MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM FACED, HEADERS, BELLS, TRILLS, CORNICES, PARAPETS, BALCONY RAIL TRIM, STAIR OVERHANGS, AND STAIR WING WALLS TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHIA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE FINISH OF S108 SHOWING BROWN SW 98M RICHWOOD FINISHES ON 2000 SYNCHRONIC TRIM, S107R CYBER SPACE, AND GRABBE BLACK BEAM. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH EXTERIOR WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLORS BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

| | | | |
|----|---------------|----|-----------------------|
| S1 | STUCCO | C1 | CAWOPIY |
| N1 | NICHIA PANEL | H1 | GLASS HORIZONTAL |
| M1 | METAL COPPING | R1 | STANDING SEAM ROOFING |

ELEVATION - SYMBOL LEGEND



| Issue | Issue Name | Date |
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| Sheet Name EXTERIOR ELEVATIONS | |
| Original Issue | |
| Sheet Number A2.11 | |
| Project # | Drawing Date |
| Project Number | 04/24/22 |

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1519-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 18, BLOCK B, OF THE HARBOR LANDING PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1519-acre parcel of land identified as Lot 18, Block B, of the Harbor Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 303 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF OCTOBER, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

Exhibit 'A':

Location Map and Residential Plot Plan

Address: 303 Harborview Drive

Legal Description: Lot 18, Block B, Harbor Landing Phase 2 Addition

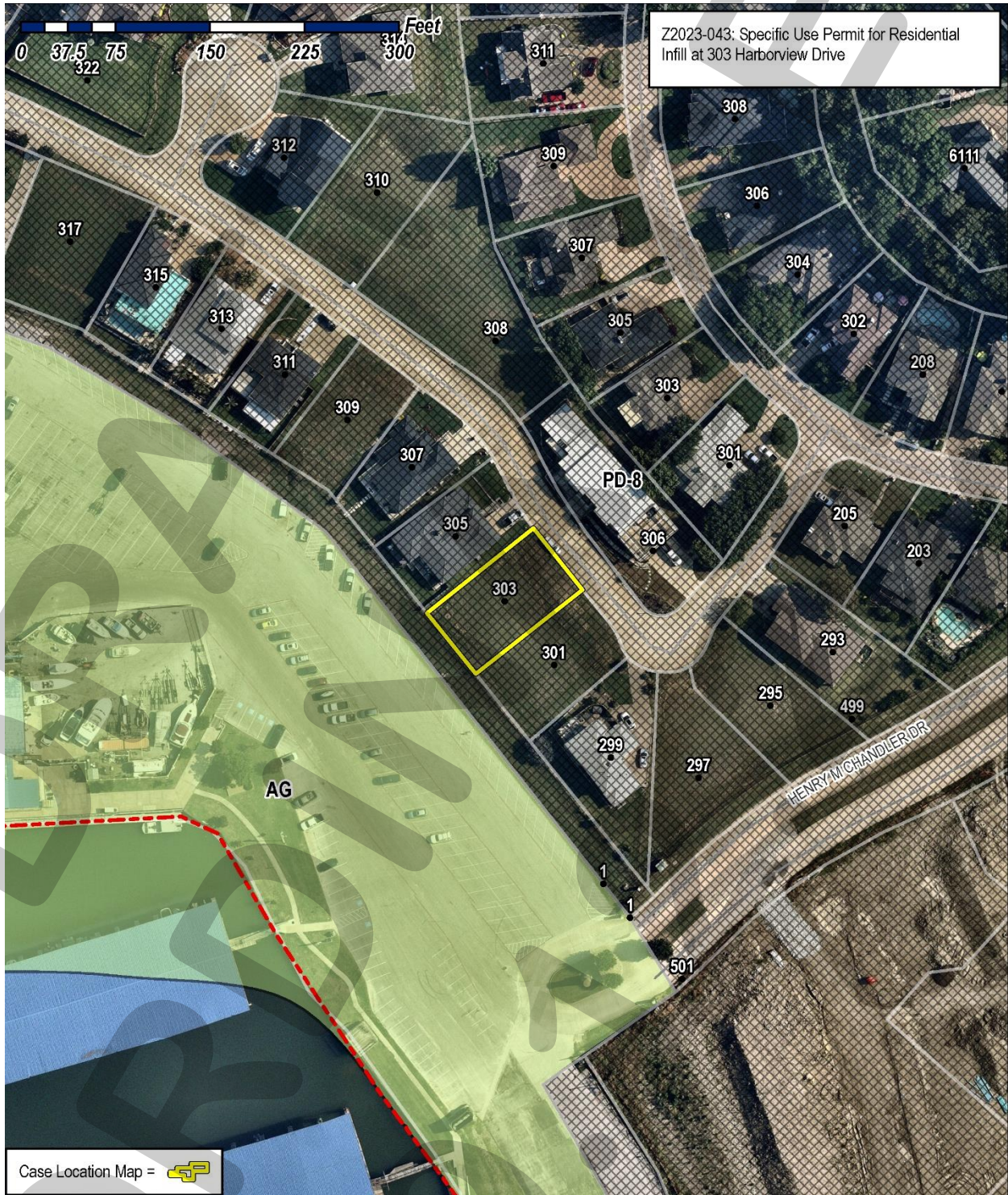


Exhibit 'A':
Location Map and Residential Plot Plan

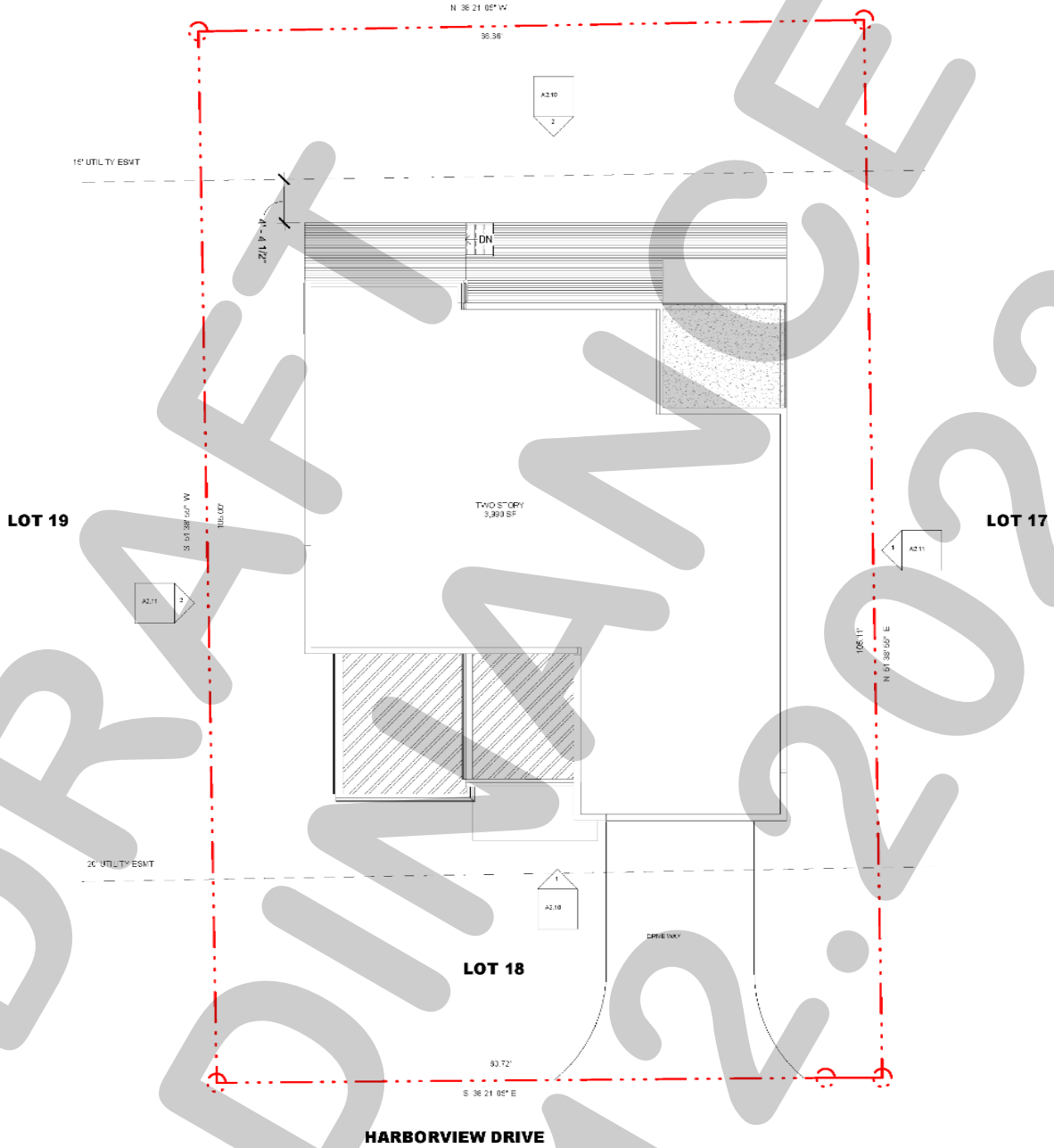
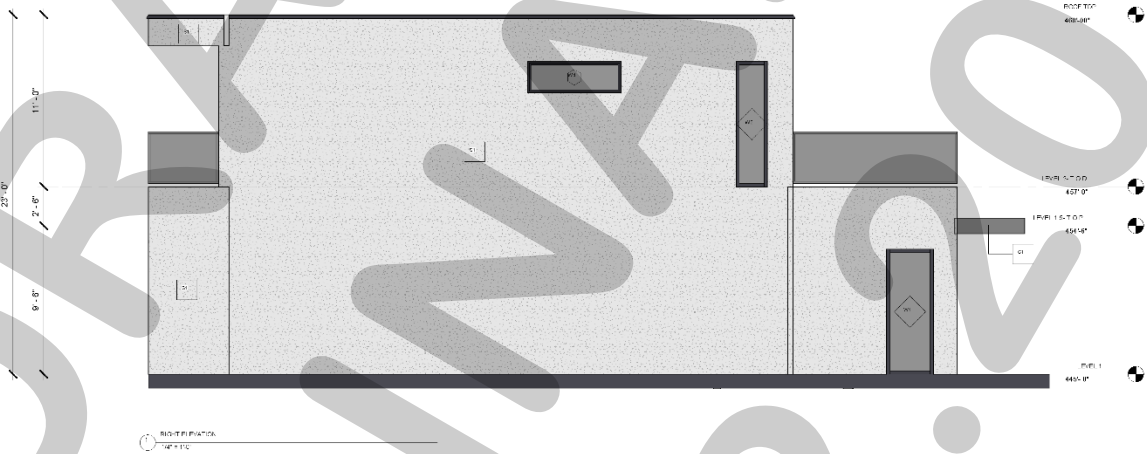


Exhibit 'B':
Building Elevations



Exhibit 'B':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 12, 2023
APPLICANT: Robert Howman; *Glenn Engineering*
CASE NUMBER: SP2023-025; *Amended Site Plan for Heritage Christian Academy (HCA)*

SUMMARY

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the *Historic Zoning Maps*, at some point between annexation and January 3, 1972 the subject property was rezoned from an Agricultural (AG) District to a Multi-Family 1 (MF-1) District, and by May 16, 1983 this designation had again changed to a Multi-Family 15 (MF-15) District. The change in zoning designation from Multi-Family 1 (MF-1) District to Multi-Family (MF-15) District was the result of the adoption of the Comprehensive Zoning Ordinance [*Ordinance No. 83-23*] on May 16, 1983. On June 7, 2004, the City Council adopted the Unified Development Code (UDC), which changed the zoning designation of the subject property from Multi-Family 15 (MF-15) District to Multi-Family 14 (MF-14) District [*Ordinance No. 04-38*]. According to the Rockwall Central Appraisal District (RCAD) currently situated on the subject property is a 28,486 SF building (*unknown construction date*), 8,682 SF building (*unknown construction date*), 4,000 SF building (*unknown construction date*), 19,908 SF building (*constructed in 2003*), two (2) 384 SF covered porches (*constructed in 2003*), and a 22,431 SF Gymnasium (*constructed in 2023*).

In 1999, the City Council approved a Conditional Use Permit (CUP) to allow one (1) *Temporary Educational Building* on the subject property for a period of five (5) years. The CUP stipulated that after a period of three (3) years, the City Council could review the CUP to determine if permanent buildings were planned to replace the *Temporary Educational Building*. In 2003, the City Council approved a Conditional Use Permit (CUP) to allow an additional *Temporary Educational Building* on the subject property for a period of five (5) years. In 2009, the City Council approved a Specific Use Permit (SUP) to allow three (3) *Temporary Educational Buildings* on the subject property. At that time, the Specific Use Permit (SUP) ordinance stipulated that it shall be valid for a period of one (1) year, at which time the City Council shall review the Specific Use Permit (SUP) to determine if an extension is warranted. On September 20, 2010, the City Council reviewed the Specific Use Permit (SUP) and approved an extension for three (3) years (*i.e. ending September 7, 2013*). In November, 2013, the City Council approved a five (5) year extension (*i.e. ending November 4, 2018*). On January 7, 2019, the City Council adopted *Ordinance No. 19-02*, which granted an extension of six (6) months for the three (3) *Temporary Educational Buildings*; however, the ordinance allowed the City Council the ability to grant an additional two (2) year extension of the request. The applicant -- *Brad Helmer* -- made this request on July 15, 2019, and the City Council approved a motion to extend the Specific Use Permit (SUP) for 90 days by a vote of 5-1 (*with Council Member Macalik dissenting and then Mayor Pruitt absent*). Following this extension, a representative of the applicant -- *Brian McKinney* -- returned to the City Council on August 19, 2019 and requested that the Specific Use Permit (SUP) be review and extended every six (6) months moving forward. The City Council ultimately approved the applicant's request by a vote of 6-0 (*with Councilman Trowbridge absent*). Mr. McKinney returned on February 18, 2020 by appointment; however, the City Council took no action on the request. Currently, *Ordinance No. 19-02* has expired and no valid Specific Use Permit (SUP) exists on the subject property. Staff should note that while there is no valid

Specific Use Permit (SUP) ordinance, the applicant has been working with City staff and the City Council to work through the enrollment and development issues on the subject property. This proposed site plan will result in the removal of several of the existing *Temporary Educational Buildings* and bring the property into conformance with the City’s current requirements.

PURPOSE

On August 18, 2023, the applicant – *Robert Howman of Glenn Engineering*-- submitted an application requesting the approval of an Amended Site Plan for the purpose of constructing a ~21,348 SF classroom facility to replace existing *Temporary Education Buildings*.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1408 S. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Damascus Road, which is classified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a cemetery, which is zoned Cemetery (CEM) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a *House of Worship (i.e. Our Lady of the Lake Catholic Church)* that is zoned Multi-Family 14 (MF-14) District. Beyond this is the Waterstone Estates Subdivision, which consists of 123 residential lots on 48.03-acres. This subdivision was established on November 30, 1994 and is zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is an apartment complex (*i.e. Eastbank Apartments*). This property is zoned Multi-Family 14 (MF-14) District and Planned Development District 39 (PD-39) for Multi-Family 15 (MF-15) District land uses. Beyond this is W. Yellow Jacket Lane, which is identified as a M4D (*i.e. minor arterial, four [4] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 6.626-acre vacant tract of land, zoned Planned Development District 27 (PD-27) for Multi-Family 14 (MF-14) District land uses. West of this property is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad (M. K. & T. Railroad)*. Beyond this is a shopping center (*i.e. Eastridge Shopping Center*), which is zoned Planned Development District 1 (PD-1) for General Retail (GR) District and Multi-Family 14 (MF-14) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

With the exclusion of the variances and exceptions being requested and the items outlined in the *Conditions of Approval* section of this case memo, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property subject to the *General Commercial District Standards* and located within a Multi-Family 14 (MF-14) District. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements is as follows:

| <i>Ordinance Provisions</i> | <i>Zoning District Standards</i> | <i>Conformance to the Standards</i> |
|--------------------------------------|----------------------------------|--|
| <i>Minimum Lot Area</i> | <i>10,000 SF</i> | <i>6.636-Acres; In Compliance</i> |
| <i>Minimum Front Yard Setback</i> | <i>25 Feet</i> | <i>x>25-Feet; In Compliance</i> |
| <i>Minimum Rear Yard Setback</i> | <i>10 Feet</i> | <i>x>10-Feet; In Compliance</i> |
| <i>Minimum Side Yard Setback</i> | <i>10 Feet</i> | <i>x>10-Feet; In Compliance</i> |
| <i>Maximum Building Height</i> | <i>36 Feet</i> | <i>~35’1” at Midpoint of Roof; In Compliance</i> |
| <i>Maximum Building/Lot Coverage</i> | <i>45%</i> | <i>~3.27%; In Compliance</i> |
| <i>Minimum Masonry Requirement</i> | <i>90%</i> | <i>X<90%; Variance Required</i> |

| <i>Ordinance Provisions</i> | <i>Zoning District Standards</i> | <i>Conformance to the Standards</i> |
|---|----------------------------------|-------------------------------------|
| <i>Minimum Number of Parking Spaces</i> | 52 | 199 Provided; In Compliance |
| <i>Minimum Stone Requirement</i> | 20% on Each Facade | X<20%; Variance Required |
| <i>Minimum Landscaping Percentage</i> | 30% | ~33.8%; In Compliance |

TREESCAPE PLAN

No trees are being removed from the subject property with the proposed scope of work. Based on this staff did not require a *Treescape Plan*.

CONFORMANCE WITH THE CITY’S CODES

Subsection 03.12, *Multi-Family 14 (MF-14) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), indicates that the Multi-Family 14 (MF-14) District is intended for high density developments (*i.e. multi-family developments*) and should be located within 1,200-feet of retail and other services. According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the proposed uses associated with a private school (*i.e. classroom facility*) are allowed *by-right* in a Multi-family 14 (MF-14) District. In this case, the addition of the classroom facility will alleviate the need for a Specific Use Permit (SUP) for the *Temporary Educational Buildings*, which will bring the property closer to conforming with the requirements of the Unified Development Code (UDC). In addition, the proposed classroom facility will allow the applicant to remove the three (3) *Temporary Educational Buildings* on the subject property. The proposed *classroom facility* land use is not considered an intensive commercial land use, nor is it a high-volume water/wastewater users.

VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances and exceptions to the requirements of Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, and Subsection 06.02, *General Overlay District Standards*, of Section 06.01, *Overlay Districts*, of Article 05, of the Unified Development Code (UDC):

(1) *Building Articulation*.

(A) *Articulation (Primary Building Façades)*. According to Subsection 04.01(C)(1), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25.00% above the top of the wall and a minimum of 25.00% from the walls surface. In addition, no wall should exceed a length of three (3) times the walls height without an architectural/entryway element. In this case, the wall length requirement on the north and south façades does not meet the requirements (*i.e. three (3) times the walls height*) which requires approval of an exception to the *General Commercial District Standards* of the UDC.

(2) *Materials and Masonry Composition*.

(A) *Masonry Composition*. According to Subsection 06.02(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the UDC, each exterior wall of a building’s façade shall consist of a minimum of 90% Primary Materials and/or a maximum of ten (10) percent Secondary Materials. The proposed building incorporates less than 65.00% brick and more than ten (10) percent architectural metal panels on each façade. Based on this the request requires approval of a variance to the *General Overlay District Standards* of the UDC.

(B) *Stone*. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the UDC. A minimum of 20.00% natural or quarried stone is required on all building facades. The proposed building does not incorporate any natural or quarried stone on the north elevation; however, the applicant is providing 27.20% stone on the south facing elevation on the retaining wall, which is located below the subfloor of the structure. Additionally, west elevation incorporates 8.30% stone, and the east elevation incorporates

3.80% stone. The lack of natural or quarried stone requires approval of a variance to the *General Overlay District Standards* of the UDC.

According to Subsection 09.01, *Exceptions to the General Standards*, and Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), unless otherwise specified by the UDC “(a)n applicant may request the Planning and Zoning Commission grant an exception [*variance*] to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In this case, two (2) variances and one (1) exception is being requested from the Planning and Zoning Commission, which would require six (6) compensatory measures that “... directly offset the requested exception.” At this time, the applicant has not provided any compensatory measures for the requested variances and exception. That being said, the approval of any variance and/or exception to the requirements of the UDC is a discretionary decision for the Planning and Zoning Commission, and will require a supermajority vote (*i.e. a three-fourths vote of those members present*) -- *with a minimum of four (4) votes in the affirmative required* -- for approval.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Scenic District, and is designated for Quasi-Public land uses. This district has a large percentage of public and quasi-public land uses (~26.58%), which include Rockwall High School, Yellow Jacket Park, Heritage Christian Academy, and Our Lady of the Lake Catholic Church. With regard to the *District Strategies* for the Scenic District, this area is not anticipated to change or transition in the future due to the significant development already existing within this district. The zoning on the subject property and the proposed land uses are existing and therefore in conformance with the Future Land Use Map designation for the subject property.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On August 29, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations for the classroom facility and made a motion to recommend approval of the site plan by a vote of 3-0, with Board Members Hudson and Meyrat absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan for a gymnasium and classrooms on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) A Certificate of Occupancy (CO) will not be issued for the new facility (*i.e. classrooms*) until all existing temporary classroom structures are removed from the site.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹ *1 acre = \$270*
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1408 S. Goliad St, Rockwall, TX 75087

SUBDIVISION Subdivision Code: S3859

LOT 2 BLOCK A

GENERAL LOCATION Damascus RD, Rockwall, TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-27

CURRENT USE private school

PROPOSED ZONING PD-27

PROPOSED USE private school

ACREAGE 6.626

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Heritage Christian Academy

APPLICANT Glenn Engineering

CONTACT PERSON Brad Helmer, Ed.D.

CONTACT PERSON Robert Howman

ADDRESS 1408 S. Goliad St.

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE 972.772.3003

PHONE 972.989.2174

E-MAIL bhelmer@hcarockwall.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

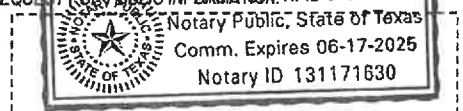
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRAD HELMER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION PRADO-BAESA

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF AUGUST, 2023.

OWNER'S SIGNATURE

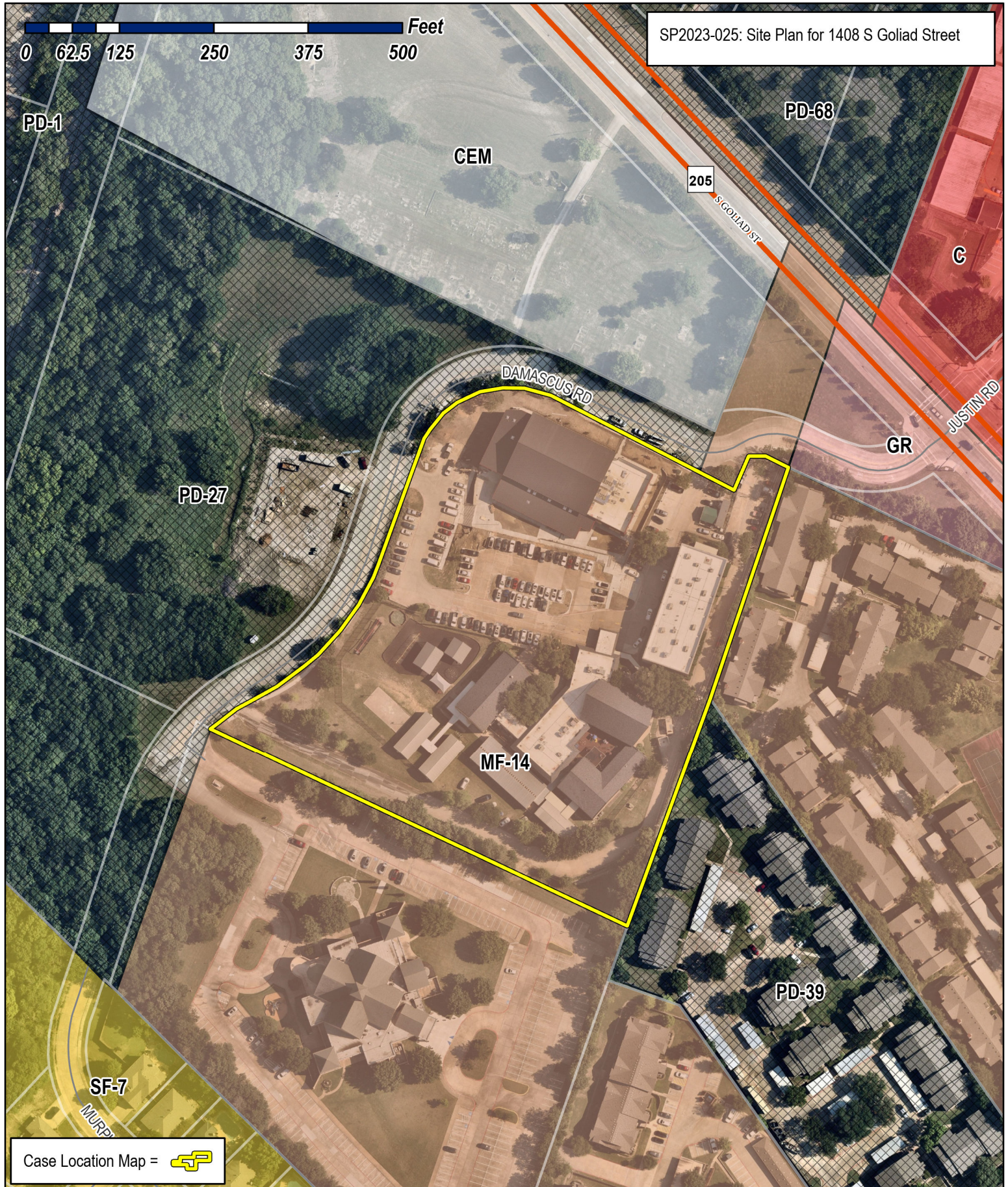
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 06-17-2025



SP2023-025: Site Plan for 1408 S Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CRADDOCK ARCHITECTURE, PLLC

P.O. BOX #188, ROCKWALL, TX 75087

Office: 2701 Sunset Ridge, Suite 601 Rockwall TX 75032

Phillip R. Craddock, AIA

Cell: 214.952.0527 •

www.craddockarchitecture.com

Attn:

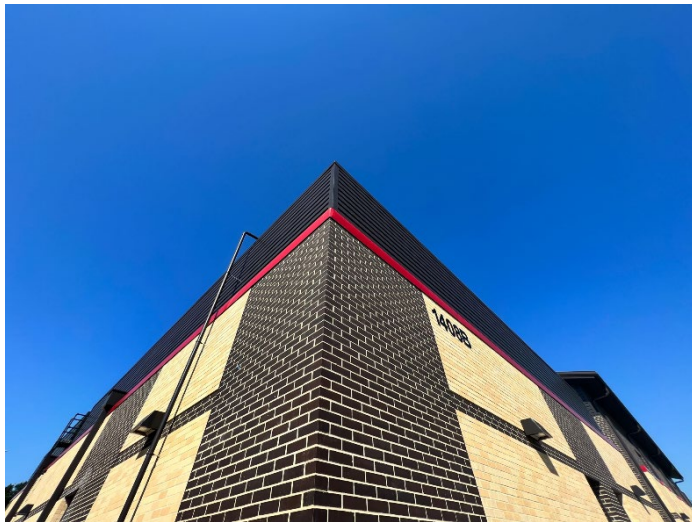
City of Rockwall planning Department.

Project:

Heritage Christian Academy, Classroom Building

Craddock Architecture, PLLC

The Design intent is to match the Character and design features of the Recently Constructed Gymnasium. We will be using the Same materials that were used on the Gym.



MASONRY VENEER:

ACME Brick:

M1: Westchester Smooth (Modular)

M2: 50/50 Blend of "152/154" (Modular)

STONE:

Natural Thin Stone Veneer at the base of the Building matching that used on the gym.

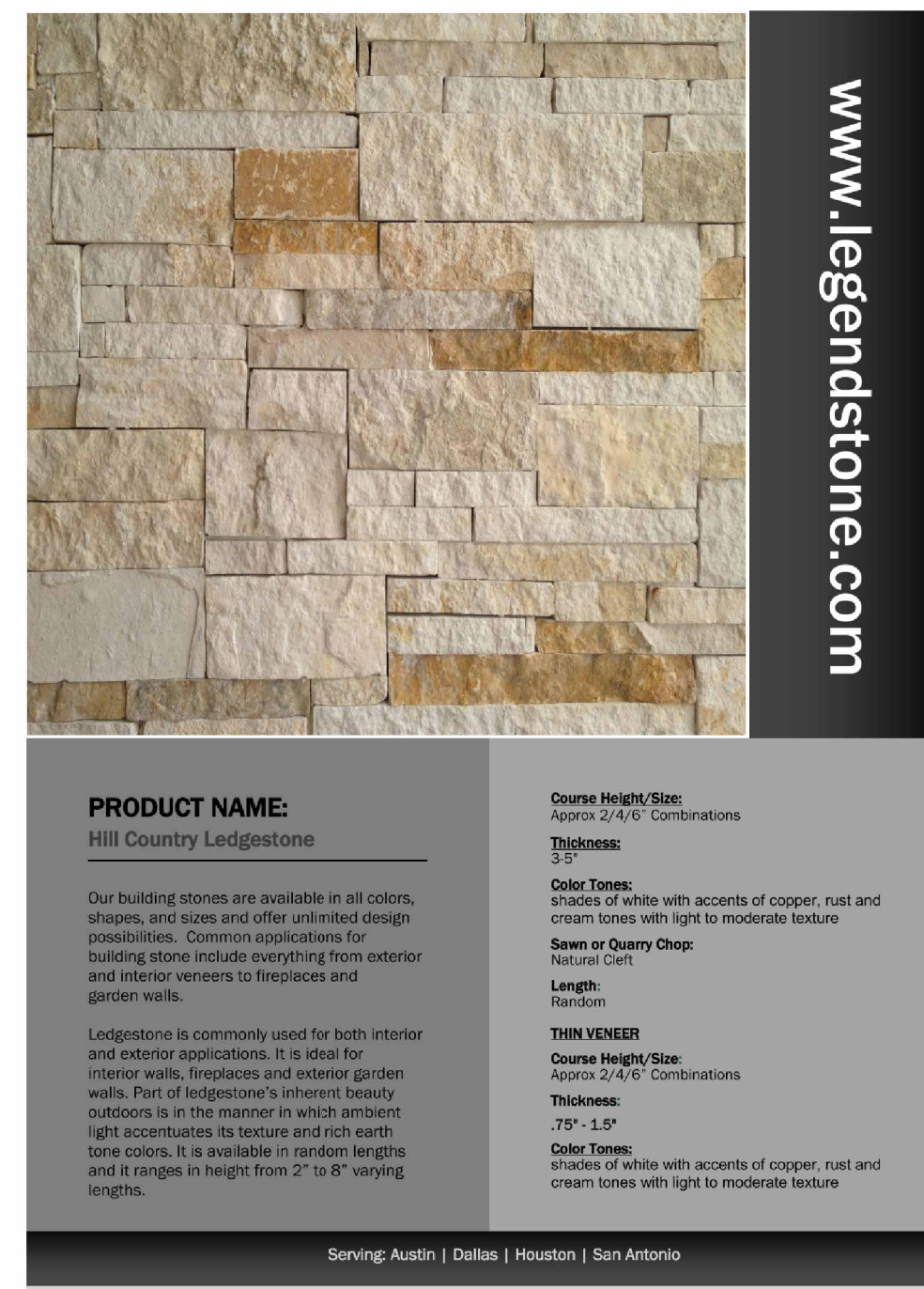
Horizontal Metal Siding:

Horizontal Ribbed Metal, Color to match existing on Gym.

Currently no retaining walls are planned. However, in the event any are needed they will match the stacked stone walls on site.



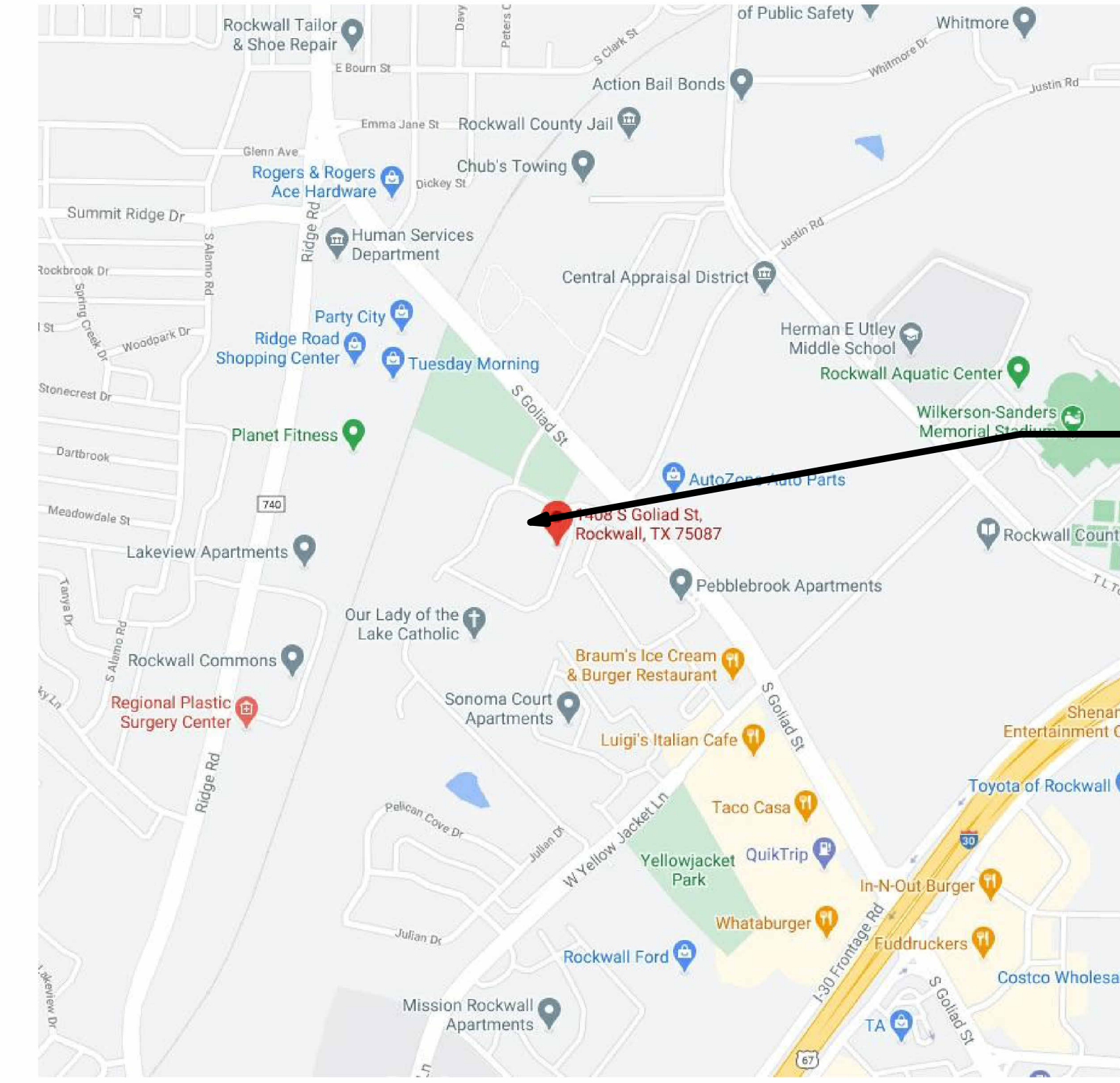
| MATERIAL CALCULATIONS | | | AREA | % |
|------------------------|-------|--|-------|--------|
| NORTH ELEVATION | | | | |
| MASONRY | | | 4,173 | |
| | BRICK | | 2,750 | 65.9% |
| | STONE | | 0 | 0.0% |
| METAL PANEL | | | 1,425 | 34.1% |
| | | | | 100.0% |
| EAST ELEVATION | | | | |
| MASONRY | | | 2,526 | |
| | BRICK | | 1,463 | 57.9% |
| | STONE | | 95 | 3.8% |
| METAL PANEL | | | 968 | 38.3% |
| | | | | 100.0% |
| SOUTH ELEVATION | | | | |
| MASONRY | | | 5,742 | |
| | BRICK | | 2,745 | 47.8% |
| | STONE | | 1,560 | 27.2% |
| METAL PANEL | | | 1,435 | 25.0% |
| | | | | 100.0% |
| WEST ELEVATION | | | | |
| MASONRY | | | 2,642 | |
| | BRICK | | 1,411 | 53.4% |
| | STONE | | 220 | 8.3% |
| METAL PANEL | | | 1,012 | 38.3% |
| | | | | 100.0% |



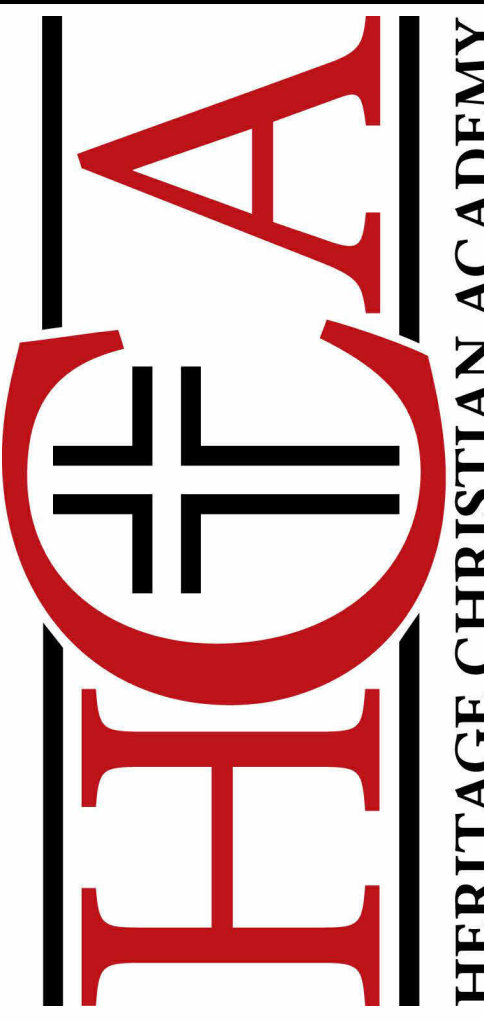
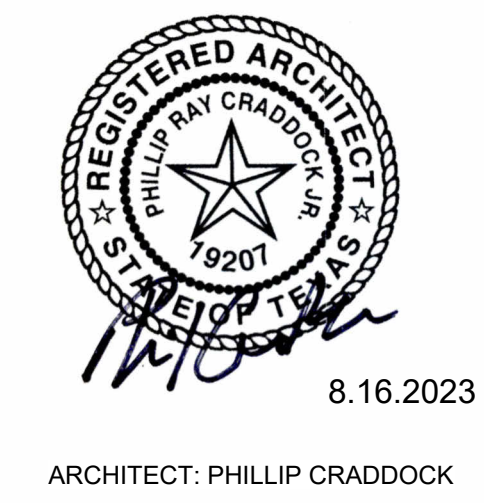
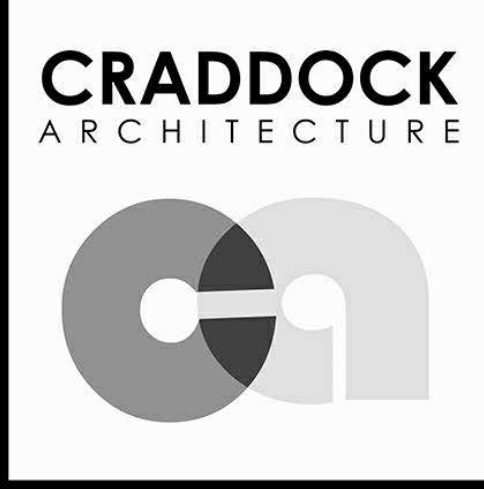
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



HERITAGE CHRISTIAN ACADEMY



CRADDOCK ARCHITECTURE
P. O. BOX #188 Rockwall, TX 75087 214-952-0527

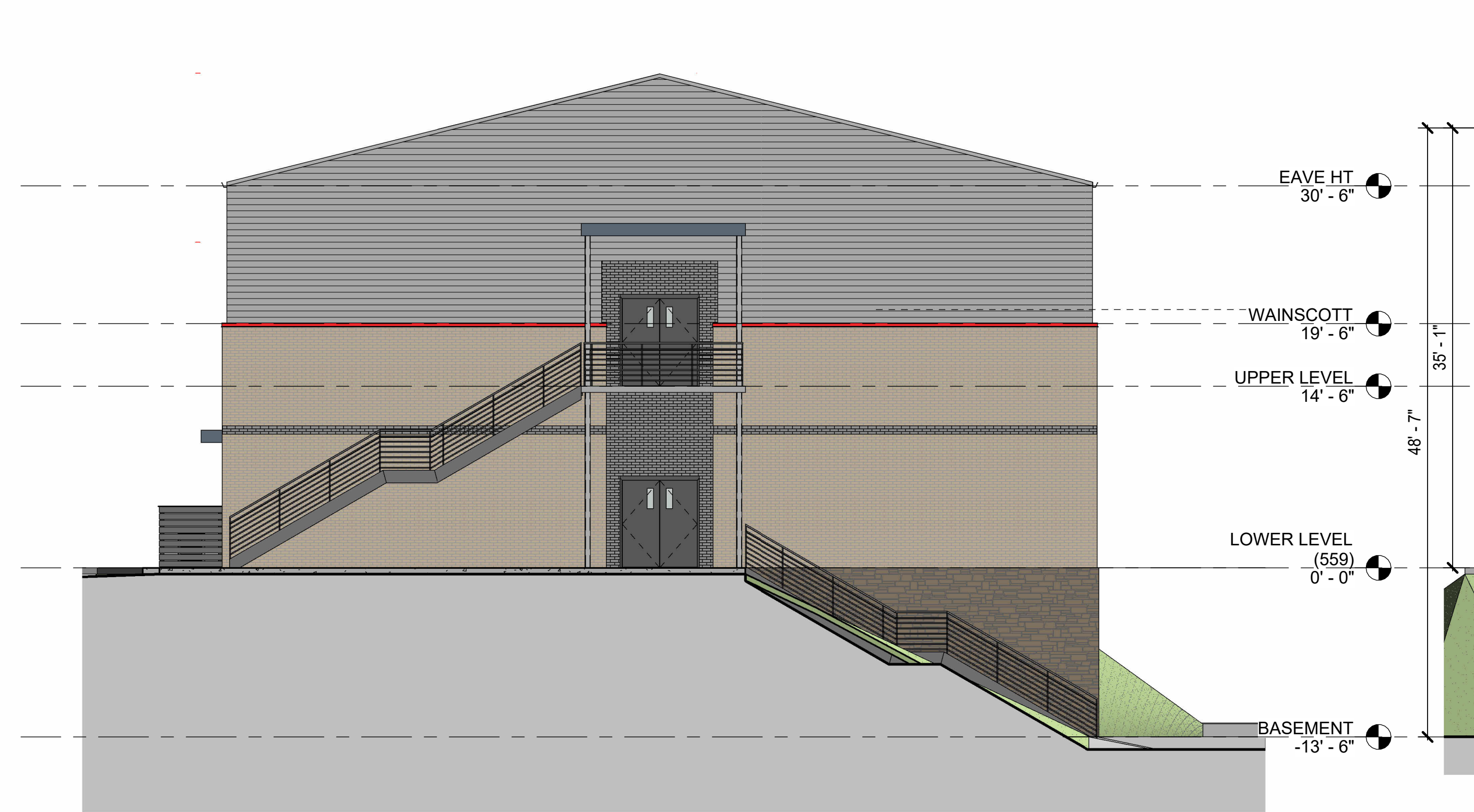
| REVISION | Revision Date | Revision Description |
|----------|---------------|----------------------|
| | | |

HCA CLASSROOM BUILDING
1408 S. Goliad St. "BLDG C"
Rockwall, Texas 75087

Project number 2023-014 Date 8/16/2023

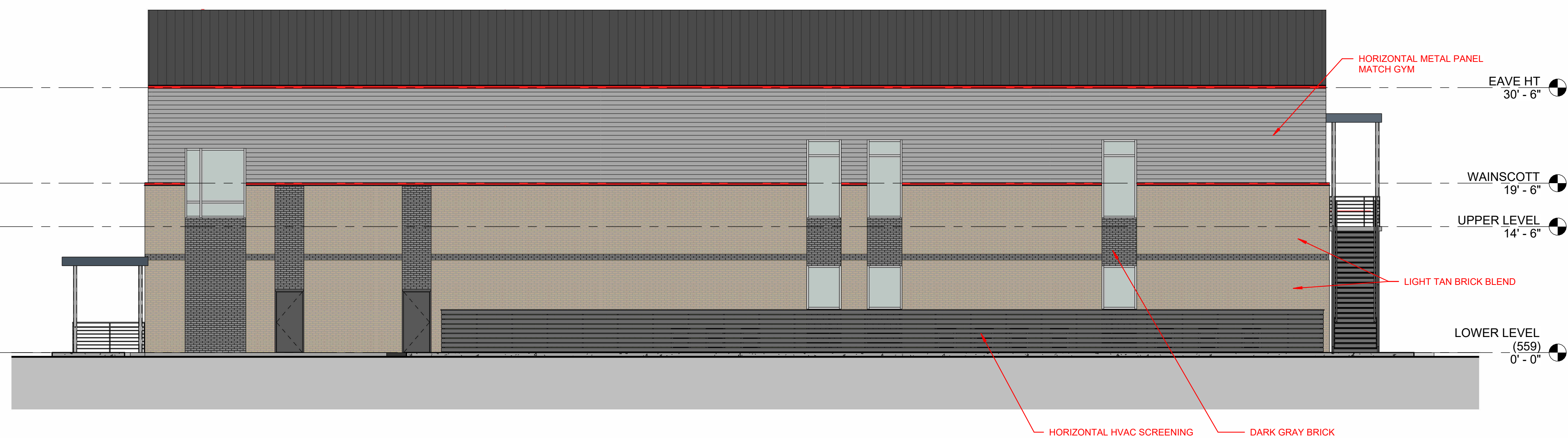
EXTERIOR ELEVATIONS

Scale: As indicated



4 WEST ELEVATION
1/8" = 1'-0"

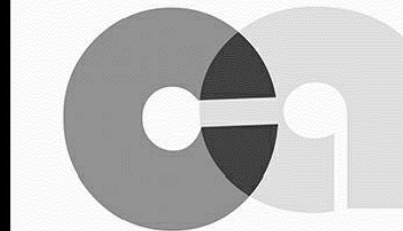
3 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

2 EAST ELEVATION
1/8" = 1'-0"

8/16/2023 3:16:50 PM



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
 WITNESS OUR HANDS, this _____ day of _____, 2023.

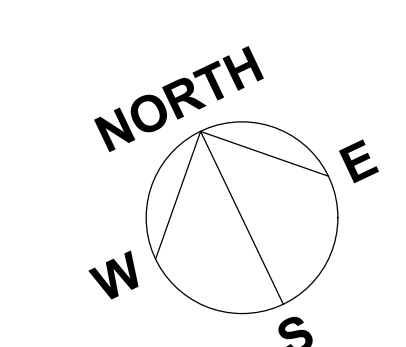
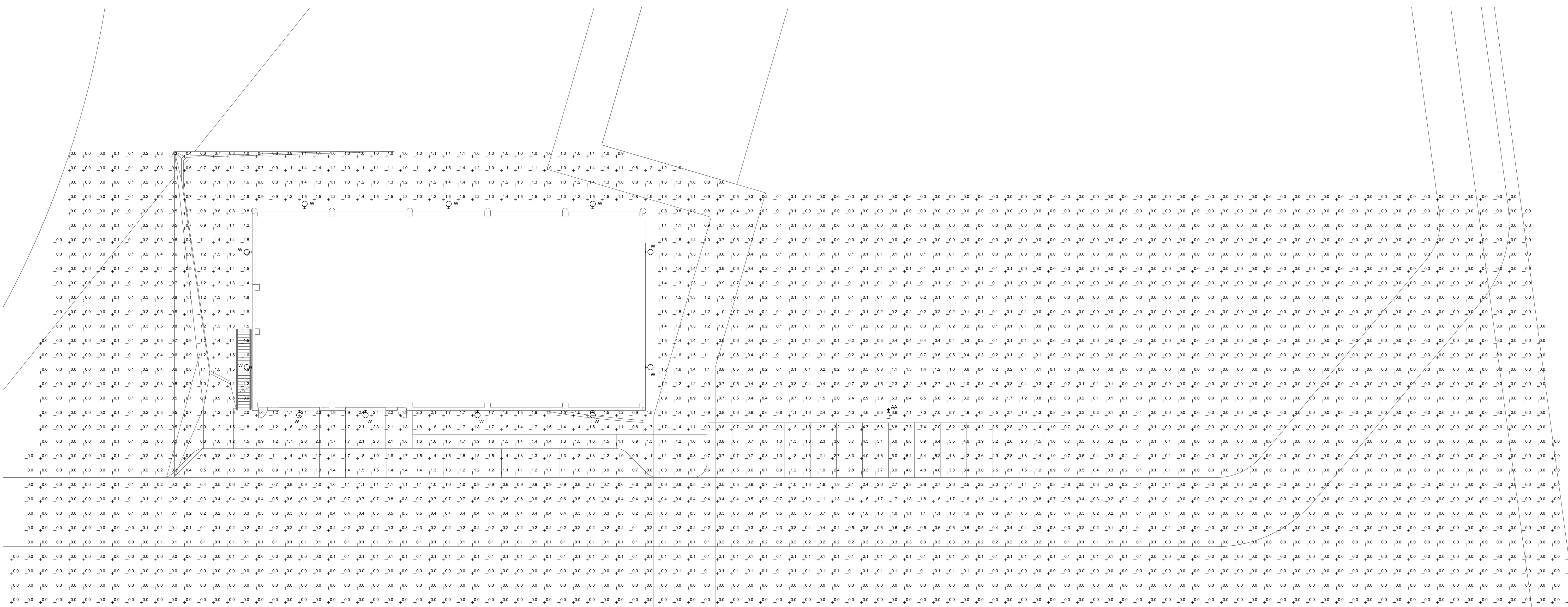
Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

PRELIMINARY
 This document is released for interim review under the authority of Kris Stepp, P.E. 93736 on Sep 5, 2023. It is not to be used for construction, bidding, or permit purposes.

| Symbol | Label | Image | Quantity | Manufacturer | Catalog Number | Description | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage | Plot |
|--------|-------|-------|----------|--|---------------------|---|--------------|-----------------|-------------------|---------|------|
| □ | W | | 11 | COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON) | IST-SA1B-740-U-T4W | IMPACT ELITE LED TRAPEZOID LUMINAIRE (1) 70 CRI, 4000K, 450mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV WIDE OPTICS | 16 | 215 | 0.7 | 25.4 | |
| □ | AA | | 1 | COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON) | GLEON-SA3C-740-U-T3 | GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS | 48 | 450 | 0.7 | 166 | |

| Statistics | | | | | | |
|-------------|--------|--------|--------|---------|---------|--------|
| Description | Symbol | Avg | Max | Max/Min | Avg/Min | Min |
| site pl | + | 0.5 fc | 7.4 fc | N/A | N/A | 0.0 fc |

NOTE: PROVIDE AA WITH 15' POLE THUS LUMINAIRE MOUNTED 17' ABOVE GRADE.



1 SITE PLAN - PHOTOMETRICS
 1/16" = 1'-0"

CRADDOCK ARCHITECTURE
 P.O. BOX #188 Rockwall, TX 75087 214-952-0627

HCA CLASSROOM BUILDING
 1408 S. Goliad St. "BLDG"
 Rockwall, Texas 75087

Project number 2023-014 Date 09/06/2023
SITE PLAN PHOTOMETRICS

ES102

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| | | | | | |
|-------------|--|-----------|--|------|--|
| Project | | Catalog # | | Type | |
| Prepared by | | Notes | | Date | |



McGraw-Edison

Impact Elite LED

Wall Mount Luminaire

Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Energy and Performance Data [page 3](#)
- Control Options [page 4](#)

Product Certifications



Quick Facts

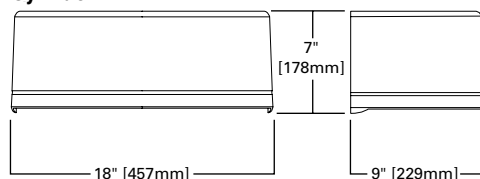
- 15 Optical Distributions
- Lumen packages range from 2,459 to 11,480 (20W - 95W)
- Efficacy up to 149 lumens per watt

Connected Systems

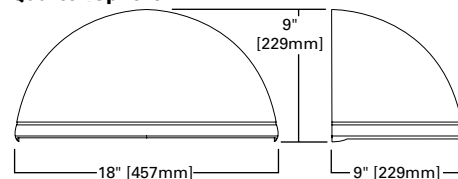
- WaveLinX
- Enlighted

Dimensional Details

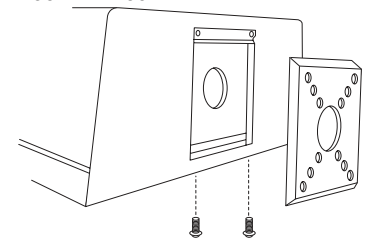
Cylinder



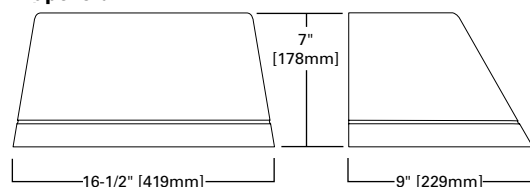
Quarter Sphere



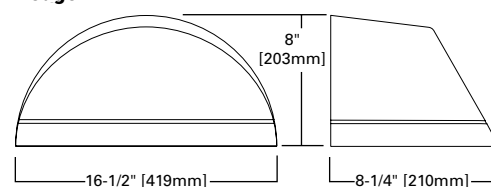
Hook - n - Lock



Trapezoid



Wedge



NOTES:

1. IDA Certified for 3000K CCT and warmer only.

Ordering Information

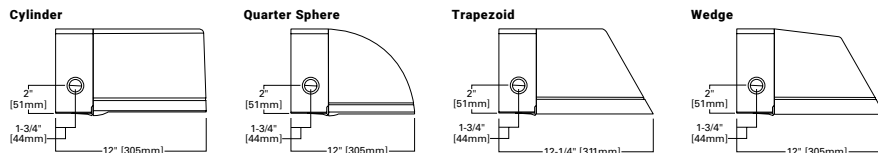
SAMPLE NUMBER: ISC-SA1F-740-U-T3-BZ

| Product Family ¹ | Light Engine | | Color Temperature | Voltage | Distribution | Finish |
|--|---|---|---|---|---|--|
| | Configuration | Drive Current | | | | |
| ISC=Impact Elite LED Small Cylinder ISS=Impact Elite LED Small Quarter Sphere IST=Impact Elite LED Small Trapezoid ISW=Impact Elite LED Small Wedge BAA-ISC=Impact Elite LED Small Cylinder Buy American Act Compliant ²⁴ TAA-ISC=Impact Elite LED Small Cylinder Trade Agreements Act Compliant ²⁴ BAA-ISS=Impact Elite LED Small Quarter Sphere Buy American Act Compliant ²⁴ TAA-ISS=Impact Elite LED Small Quarter Sphere Trade Agreements Act Compliant ²⁴ BAA-IST=Impact Elite LED Small Trapezoid Buy American Act Compliant ²⁴ TAA-IST=Impact Elite LED Small Trapezoid Trade Agreements Act Compliant ²⁴ BAA-ISW=Impact Elite LED Small Wedge Buy American Act Compliant ²⁴ TAA-ISW=Impact Elite LED Small Wedge Trade Agreements Act Compliant ²⁴ | SA1=1 Square (16 LED) PA1=1 Panel (24 LED) ²⁷ | A=350mA B=450mA C=600mA D=800mA E=1000mA F=1200mA ² | 722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K AMB=Amber, 590nm ^{3, 4} | U=120-277V 1=120V 2=208V 3=240V 4=277V 8=480V ⁵ 9=347V | SA1 Optics T2=Type II T3=Type III T4TF=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I PA1 Optics 5WQ=Type V Square Wide T2R=Type II T2U=Type II Urban T3=Type III T4W=Type IV Wide | AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White |
| Options (Add as Suffix) | Controls and Systems Options (Add as Suffix) | | Accessories (Order Separately) ²⁵ | | | |
| X=Driver Surge Protection (6kV) Only ¹⁷ 20K=Series 20kV UL 1449 Surge Protective Device CBP=Battery Pack with Back Box, Cold Weather Rated ^{13, 15} CBP-CEC=Battery Pack with Back Box, Cold Weather Rated, CEC compliant ¹³ HSS=Factory Installed House Side Shield ¹⁶ ULG=Uplight Glow ^{6, 7, 26} LCF=Light Square Trim Plate Painted to Match Housing TR=Tamper Resistant Hardware CC=Coastal Construction ²² HA=50°C High Ambient ⁸ AHD145=After Hours Dim, 5 Hours, 50% ⁹ AHD245=After Hours Dim, 6 Hours, 50% ⁹ AHD255=After Hours Dim, 7 Hours, 50% ⁹ AHD355=After Hours Dim, 8 Hours, 50% ⁹ | BPC=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle ^{5, 6, 7} SPB1=Dimming Occupancy Sensor with Bluetooth Interface, <8' Mounting ^{12, 23} SPB2=Dimming Occupancy Sensor with Bluetooth Interface, 8'-20' Mounting ^{12, 23} SPB4=Dimming Occupancy Sensor with Bluetooth Interface, 21'-40' Mounting ^{12, 23} MS/DIM-LXX=Motion Sensor for Dimming Operation ^{7, 10, 11, 12} LWR-LW=Enlighted Wireless Sensor, Wide Lens for 8'-16' Mounting Height ^{6, 12, 13} LWR-LN=Enlighted Wireless Sensor, Narrow Lens for 16'-40' Mounting Height ^{6, 12, 13} ZW=WaveLinX-enabled 4-PIN Twistlock Receptacle ⁷ ZD=SR Driver-enabled 4-PIN Twistlock Receptacle ⁷ ZW-WOBXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{7, 18, 20} ZW-WOFXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{7, 18, 20} ZD-WOBXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{7, 18, 20} ZD-WOFXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{7, 18, 20} ZW-SWPD4XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{7, 18, 20} ZW-SWPD5XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{7, 18, 20} ZD-SWPD4XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{7, 18, 20} ZD-SWPD5XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{7, 18, 20} | | MA1253=10kV Circuit Module Replacement MA1254-XX=Thruway Back Box - Impact Elite Trapezoid MA1255-XX=Thruway Back Box - Impact Elite Cylinder MA1256-XX=Thruway Back Box - Impact Elite Quarter Sphere MA1257-XX=Thruway Back Box - Impact Elite Wedge FSIR-100=Wireless Configuration Tool for Occupancy Sensor WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin) ^{7, 19} WOB-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{7, 18, 20, 21} WOF-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{7, 18, 20, 21} SWPD4-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{7, 18, 20, 21} SWPD5-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{7, 18, 20, 21} | | | |

NOTES:

- DesignLight Consortium® Qualified. Refer to www.designlights.org. Qualified Products List under Family Models for details.
- Not available with ULG option.
- Choose Drive Current "B" for Amber 590nm, which is provided at 500mA only
- Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaire wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3, and SL4 distributions. Can be used with HSS option.
- 480V not to be used with ungrounded or impedance grounded systems.
- Not available with ISS or ISW.
- Cannot be used in conjunction with other control options.
- Suitable for 50°C provided no options other than motion sensor are included and driver output set to 1000mA or less.
- Requires the use of photocontrol. Not available with 350mA drive current. See After Hours Dim supplemental guide for additional information.
- Replace LXX with L08 (<8' mounting), L20 (8'-20' mounting) or L40W (21'-40' mounting.)
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
- Includes integral photocell.
- Enlighted wireless sensors are factory installed and require network components in appropriate quantities.
- Battery pack operating temperature of -20C to +40C. Operates daylight for 90-minutes.
- Must specify 120V or 277V.
- Not for use with 5NQ, 5MQ, 5WQ or RW optics. A black trim plate is used when HSS is selected.
- Removes additional surge module.
- Replace XX with sensor color (WH, BZ, or BK).
- Requires PR7.
- For WaveLinX applications, WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. Gateway not required for WaveLinX Lite Commercial (LC) applications.
- Requires ZW or ZD receptacle.
- Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.
- Smart device with mobile application required to change system defaults. See controls section for details.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](http://www.cooperlighting.com) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- Only available in 3000K, 4000K or 5000K CCT.
- Not available with motion sensor controls, including SPB, MS/DIM, LWR or WaveLinX.

Thruway Back Box



Product Specifications

Construction

- Heavy-wall, die-cast aluminum housing and removable hinged door frame
- Optional tamper-resistant fasteners offer vandal resistant access
- IK10 impact rated

Optics

- High-efficiency injection-molded AccuLED optics technology
- 15 optical distributions
- IDA Certified (3000K CCT and warmer only)

Electrical

- Standard with 0-10V dimming
- Standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.

Mounting

- Utilizes "Hook-N-Lock" mounting mechanism,

securing to a gasketed and zinc plated mounting attachment

- Two black oxide coated Allen set screws concealed but accessible from below

Finish

- Super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- RAL and custom color matches available
- Coastal Construction (CC) option available

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

 View Impact Elite IES files

| 1 Light Square (SA) | | Cylinder (ISC) and Quarter Sphere (ISS) | | | | | | Trapezoid (IST) and Wedge (ISW) | | | | | |
|-------------------------------|-----------------|---|----------|----------|----------|----------|----------|---------------------------------|----------|----------|----------|----------|----------|
| Drive Current (mA) | | 350 | 450 | 600 | 800 | 1000 | 1200 | 350 | 450 | 600 | 800 | 1000 | 1200 |
| Power (Watts) | 120-277V | 20.1 | 25.4 | 34.2 | 45.2 | 58.2 | 66.0 | 20.1 | 25.4 | 34.2 | 45.2 | 58.2 | 66.0 |
| Current (A) | 120 | 0.17 | 0.22 | 0.29 | 0.38 | 0.48 | 0.56 | 0.17 | 0.22 | 0.29 | 0.38 | 0.48 | 0.56 |
| | 277V | 0.09 | 0.10 | 0.13 | 0.17 | 0.21 | 0.25 | 0.09 | 0.10 | 0.13 | 0.17 | 0.21 | 0.25 |
| Power (Watts) | 347V or 480V | 23.3 | 28.7 | 36.6 | 49.5 | 60.7 | 70.1 | 23.3 | 28.7 | 36.6 | 49.5 | 60.7 | 70.1 |
| Current (A) | 347V | 0.07 | 0.08 | 0.11 | 0.15 | 0.18 | 0.21 | 0.07 | 0.08 | 0.11 | 0.15 | 0.18 | 0.21 |
| | 480V | 0.05 | 0.06 | 0.08 | 0.11 | 0.13 | 0.16 | 0.05 | 0.06 | 0.08 | 0.11 | 0.13 | 0.16 |
| Optics (4000K, 70 CRI) | | | | | | | | | | | | | |
| T2 | Lumens | 2,802 | 3,500 | 4,618 | 5,778 | 7,231 | 7,895 | 2,772 | 3,475 | 4,576 | 5,733 | 7,175 | 7,834 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 |
| | Lumens Per Watt | 139 | 138 | 135 | 128 | 124 | 120 | 138 | 137 | 134 | 127 | 123 | 119 |
| T3 | Lumens | 2,778 | 3,470 | 4,578 | 5,729 | 7,169 | 7,827 | 2,731 | 3,424 | 4,508 | 5,648 | 7,069 | 7,718 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 |
| | Lumens Per Watt | 138 | 137 | 134 | 127 | 123 | 119 | 136 | 135 | 132 | 125 | 121 | 117 |
| T4FT | Lumens | 2,751 | 3,436 | 4,534 | 5,673 | 7,099 | 7,751 | 2,762 | 3,462 | 4,559 | 5,712 | 7,149 | 7,805 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 |
| | Lumens Per Watt | 137 | 135 | 133 | 126 | 122 | 117 | 137 | 136 | 133 | 126 | 123 | 118 |
| T4W | Lumens | 2,780 | 3,473 | 4,582 | 5,733 | 7,174 | 7,833 | 2,739 | 3,434 | 4,522 | 5,665 | 7,089 | 7,740 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 |
| | Lumens Per Watt | 138 | 137 | 134 | 127 | 123 | 119 | 136 | 135 | 132 | 125 | 122 | 117 |
| SL2 | Lumens | 2,763 | 3,451 | 4,554 | 5,698 | 7,130 | 7,785 | 2,730 | 3,422 | 4,507 | 5,646 | 7,066 | 7,715 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B2-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B2-U0-G2 |
| | Lumens Per Watt | 137 | 136 | 133 | 126 | 123 | 118 | 136 | 135 | 132 | 125 | 121 | 117 |
| SL3 | Lumens | 2,745 | 3,429 | 4,524 | 5,660 | 7,084 | 7,734 | 2,709 | 3,396 | 4,472 | 5,603 | 7,012 | 7,655 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 |
| | Lumens Per Watt | 137 | 135 | 132 | 125 | 122 | 117 | 135 | 134 | 131 | 124 | 120 | 116 |
| SL4 | Lumens | 2,680 | 3,348 | 4,417 | 5,526 | 6,916 | 7,551 | 2,666 | 3,342 | 4,401 | 5,514 | 6,900 | 7,534 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 |
| | Lumens Per Watt | 133 | 132 | 129 | 122 | 119 | 114 | 133 | 132 | 129 | 122 | 119 | 114 |
| SLL | Lumens | 2,447 | 3,057 | 4,033 | 5,046 | 6,315 | 6,895 | 2,459 | 3,083 | 4,059 | 5,086 | 6,365 | 6,949 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 |
| | Lumens Per Watt | 122 | 120 | 118 | 112 | 109 | 104 | 122 | 121 | 119 | 113 | 109 | 105 |
| RW | Lumens | 2,883 | 3,601 | 4,751 | 5,945 | 7,440 | 8,123 | 2,818 | 3,533 | 4,652 | 5,828 | 7,294 | 7,964 |
| | BUG Rating | B2-U0-G1 | B2-U0-G1 | B2-U0-G1 | B3-U0-G1 | B3-U0-G1 | B3-U0-G1 | B2-U0-G1 | B2-U0-G1 | B2-U0-G1 | B2-U0-G1 | B3-U0-G1 | B3-U0-G1 |
| | Lumens Per Watt | 143 | 142 | 139 | 132 | 128 | 123 | 140 | 139 | 136 | 129 | 125 | 121 |

| 1 Light Panel (PA) | | Cylinder (ISC) and Quarter Sphere (ISS) | | | | | | Trapezoid (IST) and Wedge (ISW) | | | | | |
|-------------------------------|-----------------|---|----------|----------|----------|----------|----------|---------------------------------|----------|----------|----------|----------|----------|
| Drive Current (mA) | | 350 | 450 | 600 | 800 | 1000 | 1200 | 350 | 450 | 600 | 800 | 1000 | 1200 |
| Power (Watts) | 120-277V | 28.9 | 36.4 | 48.9 | 63.0 | 82.4 | 94.4 | 28.9 | 36.4 | 48.9 | 63.0 | 82.4 | 94.4 |
| Current (A) | 120V | 0.24 | 0.31 | 0.41 | 0.53 | 0.69 | 0.79 | 0.24 | 0.31 | 0.41 | 0.53 | 0.69 | 0.79 |
| | 277V | 0.11 | 0.14 | 0.18 | 0.23 | 0.30 | 0.34 | 0.11 | 0.14 | 0.18 | 0.23 | 0.30 | 0.34 |
| Power (Watts) | 347V or 480V | 30.5 | 37.7 | 49.0 | 63.9 | 83.2 | 95.0 | 30.5 | 37.7 | 49.0 | 63.9 | 83.2 | 95.0 |
| Current (A) | 347V OR 480V | 0.09 | 0.11 | 0.14 | 0.19 | 0.24 | 0.28 | 0.09 | 0.11 | 0.14 | 0.19 | 0.24 | 0.28 |
| | 480V | 0.07 | 0.08 | 0.11 | 0.14 | 0.18 | 0.20 | 0.07 | 0.08 | 0.11 | 0.14 | 0.18 | 0.20 |
| Optics (4000K, 70 CRI) | | | | | | | | | | | | | |
| T2R | Lumens | 4,296 | 5,369 | 7,010 | 8,733 | 10,721 | 11,750 | 4,154 | 5,211 | 6,738 | 8,386 | 10,329 | 11,338 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B2-U0-G2 | B1-U0-G1 | B1-U0-G1 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B2-U0-G2 |
| | Lumens Per Watt | 149 | 147 | 143 | 139 | 130 | 124 | 144 | 143 | 138 | 133 | 125 | 120 |
| T2U | Lumens | 4,241 | 5,300 | 6,920 | 8,621 | 10,584 | 11,600 | 4,123 | 5,172 | 6,688 | 8,323 | 10,252 | 11,253 |
| | BUG Rating | B1-U0-G1 | B2-U0-G2 | B2-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G3 | B1-U0-G1 | B2-U0-G2 | B2-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G3 |
| | Lumens Per Watt | 147 | 146 | 142 | 137 | 128 | 123 | 143 | 142 | 137 | 132 | 124 | 119 |
| T3 | Lumens | 4,193 | 5,240 | 6,842 | 8,524 | 10,464 | 11,468 | 4,079 | 5,117 | 6,616 | 8,235 | 10,143 | 11,133 |
| | BUG Rating | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B2-U0-G2 | B2-U0-G3 | B2-U0-G3 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B2-U0-G2 | B2-U0-G3 | B2-U0-G3 |
| | Lumens Per Watt | 145 | 144 | 140 | 135 | 127 | 121 | 141 | 141 | 135 | 131 | 123 | 118 |
| T4W | Lumens | 4,165 | 5,205 | 6,796 | 8,467 | 10,394 | 11,392 | 4,083 | 5,122 | 6,623 | 8,243 | 10,152 | 11,144 |
| | BUG Rating | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B2-U0-G3 | B1-U0-G2 | B1-U0-G2 | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B2-U0-G3 |
| | Lumens Per Watt | 144 | 143 | 139 | 134 | 126 | 121 | 141 | 141 | 135 | 131 | 123 | 118 |
| 5WQ | Lumens | 4,255 | 5,318 | 6,943 | 8,650 | 10,619 | 11,638 | 4,206 | 5,276 | 6,822 | 8,491 | 10,458 | 11,480 |
| | BUG Rating | B3-U0-G1 | B3-U0-G2 | B3-U0-G2 | B3-U0-G2 | B4-U0-G3 | B4-U0-G3 | B3-U0-G1 | B3-U0-G2 | B3-U0-G2 | B3-U0-G2 | B4-U0-G2 | B4-U0-G3 |
| | Lumens per Watt | 147 | 146 | 142 | 137 | 129 | 123 | 146 | 145 | 140 | 135 | 127 | 122 |

Lumen Maintenance (TM-21)

| Drive Current | Ambient Temperature | 25,000 hours* | 50,000 hours* | 60,000 hours* | 100,000 hours** | Theoretical L70 hours** |
|---------------|---------------------|---------------|---------------|---------------|-----------------|-------------------------|
| Up to 1A | 25°C | 99.4% | 99.0% | 98.9% | 98.3% | > 2.4M |
| | 40°C | 98.7% | 98.3% | 98.1% | 97.4% | > 1.9M |
| | 50°C | 98.2% | 97.2% | 96.8% | 95.2% | > 851,000 |
| 1.2A | 25°C | 99.4% | 99.0% | 98.9% | 98.3% | > 2.4M |
| | 40°C | 98.5% | 97.9% | 97.7% | 96.7% | > 1.3M |

Lumen Multiplier

| Ambient Temperature | Lumen Multiplier |
|---------------------|------------------|
| 10°C | 1.02 |
| 15°C | 1.01 |
| 25°C | 1.00 |
| 40°C | 0.99 |

* Supported by IES TM-21 standards

** Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, explaining proper use of IES TM-21 and LM-80.

Control Options

0-10V

This fixture is offered standard with 0-10V dimming driver(s).

Photocontrol (BPC and PR7)

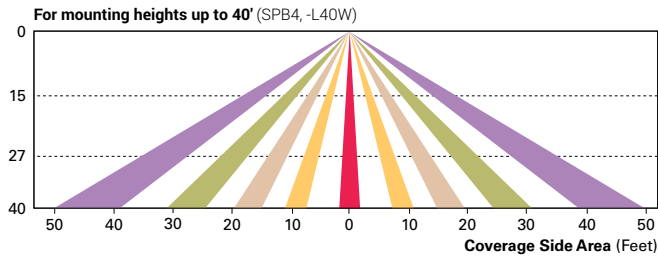
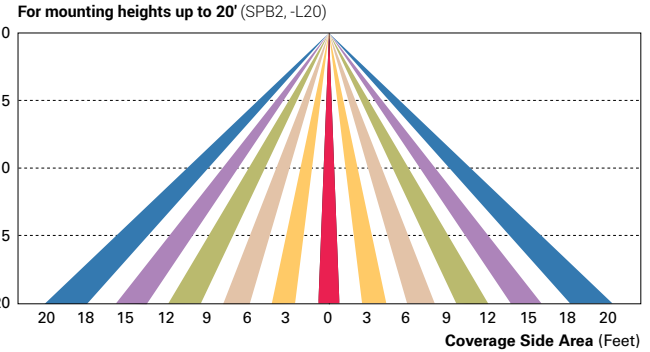
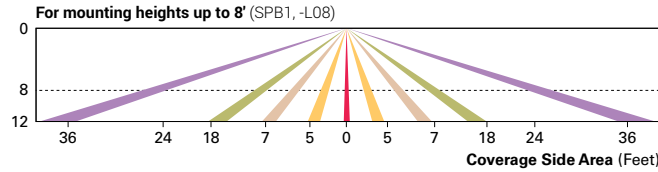
Optional button-type photocontrol provides a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels.

After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

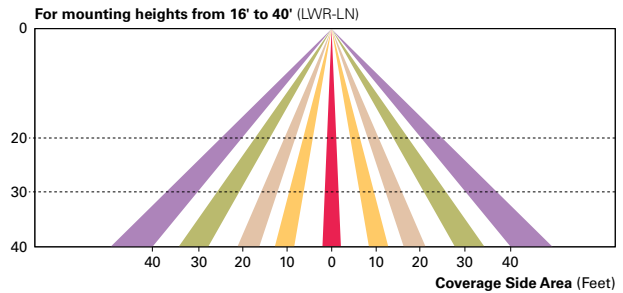
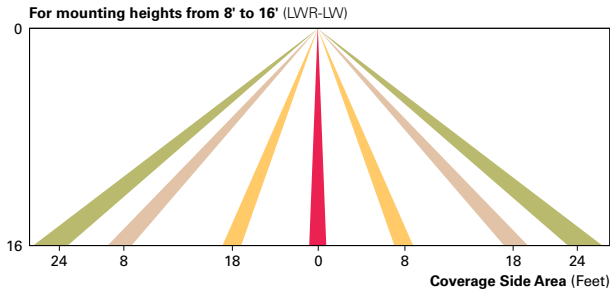
Dimming Occupancy Sensor (SPB, MS/DIM-LXX)

These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN)

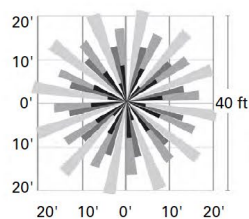
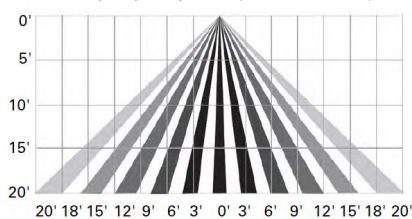
Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



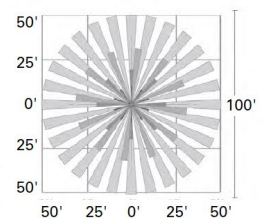
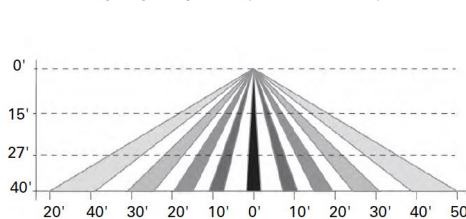
WaveLinx Wireless Control and Monitoring System

Operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. WaveLinx and WaveLinx Lite sensors utilize the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW), while the WOLC control module utilizes a 7-PIN receptacle. ZW option provides 4-PIN receptacle and control module to enable future installation of WaveLinx sensors. ZD option provides 4-PIN receptacle and sensor-ready (SR) driver to enable future installation of WaveLinx sensors, power monitoring, and advanced functionality. WaveLinx (SWPD4 to SWPD5) outdoor wireless sensors offer passive infrared (PIR) occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinx mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets). WaveLinx Lite (WOF and WOB) outdoor wireless sensors provide PIR occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinx Lite mobile application for set-up and configuration. WAC not required. WaveLinx Outdoor Control Module (WOLC-7P-10A) accessory provides a photocontrol enabling astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

For mounting heights up to 15' (SWPD4 and WOB)



For mounting heights up to 40' (SWPD5 and WOF)



| | | | | | |
|-------------|--|-----------|--|------|--|
| Project | | Catalog # | | Type | |
| Prepared by | | Notes | | Date | |



McGraw-Edison

GLEON Galleon

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Distributions [page 4](#)
- Product Specifications [page 4](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 9](#)

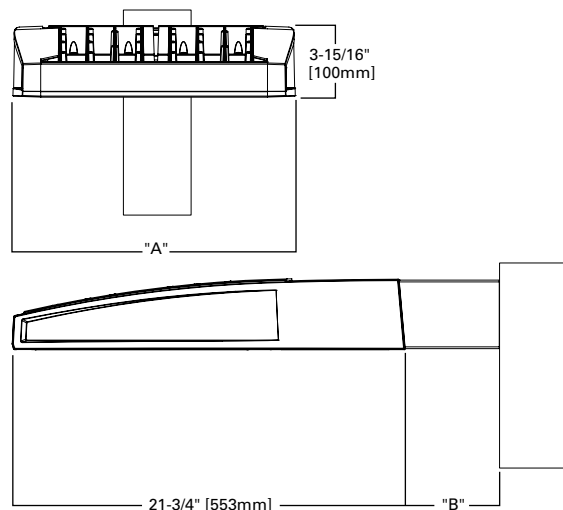
Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

Connected Systems

- WaveLinX
- Enlighted

Dimensional Details



| Number of Light Squares | "A" Width | "B" Standard Arm Length | "B" Extended Arm Length ¹ | "B" QM Arm Length | "B" QML Length | "B" QMEA Length |
|-------------------------|-----------|-------------------------|--------------------------------------|-------------------|----------------|-----------------|
| 1-4 | 15-1/2" | 7" | 10" | 10-5/8" | -- | 16-9/16" |
| 5-6 | 21-5/8" | 7" | 10" | 10-5/8" | -- | 16-9/16" |
| 7-8 | 27-5/8" | 7" | 13" | 10-5/8" | 10-5/16" | -- |
| 9-10 | 33-3/4" | 7" | 16" | -- | 10-5/16" | -- |

NOTES:
For arm selection requirements and additional line art, see Mounting Details section.


NOTES:
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: GLEON-SA4C-740-U-T4FT-GM

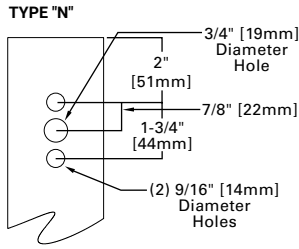
| Product Family ^{1,2} | Light Engine | | Color Temperature | Voltage | Distribution | Mounting | Finish |
|--|--|--|--|---|--|---|--|
| | Configuration | Drive Current | | | | | |
| GLEON =Galleon BAA-GLEON =Galleon, Buy American Act Compliant ³⁵ TAA-GLEON =Galleon, Trade Agreements Act Compliant ³⁵ | SA1 =1 Square SA2 =2 Squares SA3 =3 Squares SA4 =4 Squares SA5 =5 Squares ⁴ SA6 =6 Squares ⁵ SA7 =7 Squares ⁵ SA8 =8 Squares ⁵ SA9 =9 Squares ⁶ SA0 =10 Squares ⁶ | A =600mA B =800mA C =1000mA D =1200mA ¹⁶ | 722 =70CRI, 2200K 727 =70CRI, 2700K 730 =70CRI, 3000K 735 =70CRI, 3500K 740 =70CRI, 4000K 750 =70CRI, 5000K 760 =70CRI, 6000K 827 =80CRI, 2700K 830 =80CRI, 3000K AMB =Amber, 590nm ^{14, 16} | U =120-277V 1 =120V 2 =208V 3 =240V 4 =277V 8 =480V ^{7, 8} 9 =347V ⁷ | T2 =Type II T2R =Type II Roadway T3 =Type III T3R =Type III Roadway T4FT =Type IV Forward Throw T4W =Type IV Wide 5NQ =Type V Narrow 5MQ =Type V Square Medium 5WQ =Type V Square Wide SL2 =Type II w/Spill Control SL3 =Type III w/Spill Control SL4 =Type IV w/Spill Control SLL =90° Spill Light Eliminator Left SLR =90° Spill Light Eliminator Right RW =Rectangular Wide Type I AFL =Automotive Frontline | [Blank] =Arm for Round or Square Pole EA =Extended Arm ⁹ MA =Mast Arm Adapter ¹⁰ WM =Wall Mount QM =Quick Mount Arm (Standard Length) ¹¹ QMEA =Quick Mount Arm (Extended Length) ¹² QML =Quick Mount Arm (Standard Length, Large) ³⁷ | AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White RALXX =Custom Color |
| Options (Add as Suffix) | | | Controls and Systems Options (Add as Suffix) | | | Accessories (Order Separately) ³⁶ | |
| DIM =External 0-10V Dimming Leads ^{19, 20} F =Single Fuse (120, 277 or 347V Specify Voltage) FF =Double Fuse (208, 240 or 480V Specify Voltage) 20K =Series 20kV UL 1449 Surge Protective Device 2L =Two Circuits ^{17, 18} HA =50°C High Ambient HSS =Installed House Side Shield ²⁸ GRSBK =Glare Reducing Shield, Black ²³ GRSWH =Glare Reducing Shield, White ²³ LCF =Light Square Trim Painted to Match Housing ²⁷ MT =Installed Mesh Top TH =Tool-less Door Hardware CC =Coastal Construction finish ³ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right CE =CE Marking ²⁹ AHD145 =After Hours Dim, 5 Hours ²² AHD245 =After Hours Dim, 6 Hours ²² AHD255 =After Hours Dim, 7 Hours ²² AHD355 =After Hours Dim, 8 Hours ²² DALI =DALI Drivers | | | BPC =Button Type Photocontrol PR =NEMA 3-PIN Photocontrol Receptacle PR7 =NEMA 7-PIN Photocontrol Receptacle ²¹ SPB2 =Dimming Occupancy Sensor with Bluetooth Interface, 8' - 20' Mounting ³⁴ SPB4 =Dimming Occupancy Sensor with Bluetooth Interface, 21' - 40' Mounting ³⁴ MS-L20 =Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ²⁴ MS-L40W =Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ²⁴ MS/X-L20 =Bi-Level Motion Sensor, 9' - 20' Mounting Height ^{24, 25} MS/X-L40W =Bi-Level Motion Sensor, 21' - 40' Mounting Height ^{24, 25} MS/DIM-L20 =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ²⁴ MS/DIM-L40W =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ²⁴ ZW =WaveLinX-enabled 4-PIN Twistlock Receptacle ZD =SR Driver-enabled 4-PIN Twistlock Receptacle ZW-WOBXX =WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{13,32,33} ZW-WOFXX =WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{13,32,33} ZD-WOBXX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{13,32} ZD-WOFXX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{13,32} ZW-SWPD4XX =WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{13,32,33} ZW-SWPD5XX =WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{13,32,33} ZD-SWPD4XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{13,32,33} ZD-SWPD5XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{13,32,33} LWR-LW =Enlighted Sensor, 8' - 16' Mounting Height ²⁶ LWR-LN =Enlighted Sensor, 16' - 40' Mounting Height ²⁶ DIM10-L08 =Synapse Occupancy Sensor (<8' Mounting) ¹⁹ DIM10-L20 =Synapse Occupancy Sensor (9'-20' Mounting) ¹⁹ DIM10-L40 =Synapse Occupancy Sensor (21'-40' Mounting) ¹⁹ | | | OA/RA1013 =Photocontrol Shorting Cap MA1252 =10kV Surge Module Replacement MA1036-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX =3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX =4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX =2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX =3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX =2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX =3@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX =3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX =4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX =2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX =3@90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁴ GLEON-MT1 =Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2 =Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3 =Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4 =Field Installed Mesh Top for 9-10 Light Squares GLEON-QM =Quick Mount Arm Kit ¹¹ GLEON-QMEA =Quick Mount Extended Arm Kit ¹² LS/HSS =Field Installed House Side Shield ^{28, 30} LS/GRSBK-2PK =Glare Reducing Shield, Black ^{23, 30} LS/GRSWH-2PK =Glare Reducing Shield, White ^{23, 30} LS/PFS =Perimeter Shield, Black ¹⁵ WOLC-7P-10A =WaveLinX Outdoor Control Module ^{18, 31} WOB-XX =WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{13,32} WOF-XX =WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{13,32} SWPD4-XX =WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{13,19,32,33} SWPD5-XX =WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{13,19,32,33} | |
| NOTES: 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WPS13001EN for additional support information. 2. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 3. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. Not available with TH option. 4. Not compatible with MS/4-LXX or MS/1-LXX sensors. 5. Not compatible with extended quick mount arm (QMEA). 6. Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA). 7. Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A. 8. 480V must utilize Wye system only. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems.) 9. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table. 10. Factory installed. 11. Maximum 8 light squares. 12. Maximum 6 light squares. 13. Requires ZW or ZD receptacle. 14. Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option. 15. Set of 4 pcs. One set required per Light Square. 16. Not available with HA option. 17. 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in SA2 through SA4 requires a larger housing, normally used for SA5 or SA6. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 18. Not available with Enlighted wireless sensors. 19. Cannot be used with other control options. 20. Low voltage control lead brought out 18" outside fixture. 21. Not available if any "MS" sensor is selected. Motion sensor has an integral photocell. 22. Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information. 23. Not for use with T4FT, T4W or SL4 optics. See IES files for details. 24. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information. 25. Replace X with number of Light Squares operating in low output mode. 26. Enlighted wireless sensors are factory installed only requiring network components LWP-EM-1, LWP-GW-1 and LWP-PoE in appropriate quantities. 27. Not available with house side shield (HSS). 28. Not for use with 5NQ, 5MQ, 5WQ or RW optics. A black trim plate is used when HSS is selected. 29. CE is not available with the LWR, MS, MS/X, MS/DIM, BPC, PR or PR7 options. Available in 120-277V only. 30. One required for each Light Square. 31. Requires PR7. 32. Replace XX with sensor color (WH, BZ or BK.) 33. WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10W to PoE injector) power supply if needed. 34. Smart device with mobile application required to change system defaults. See controls section for details. 35. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 36. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 37. Available for 7 - 10 squares. | | | | | | | |

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

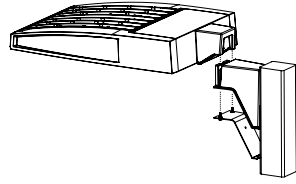
| Product Family | Camera Type | Data Backhaul |
|---|---|--|
| L =LumenSafe Technology  | D =Standard Dome Camera H =Hi-Res Dome Camera Z =Remote PTZ Camera | C =Cellular, No SIM A =Cellular, AT&T V =Cellular, Verizon S =Cellular, Sprint R =Cellular, Rogers W =Wi-Fi Networking w/ Omni-Directional Antenna E =Ethernet Networking |

Mounting Details

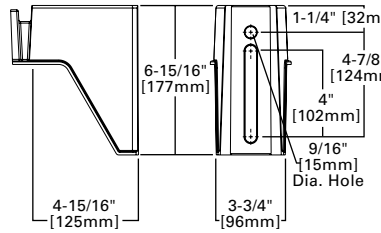
Standard Arm (Drilling Pattern)



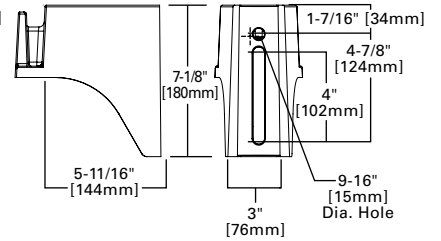
Quick Mount Arm (Includes fixture adapter)



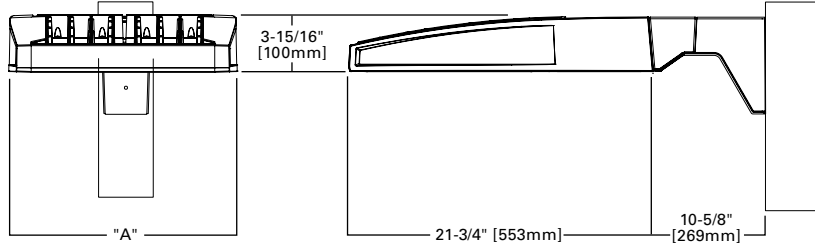
QM and QMEA Pole Mount (1 - 8 squares)



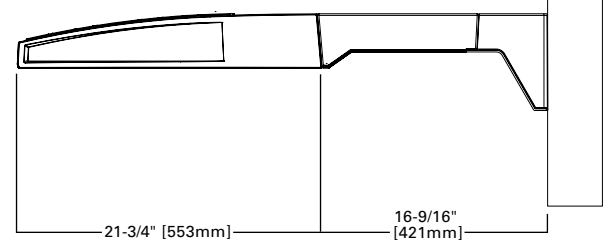
QML Pole Mount (7 - 10 squares)



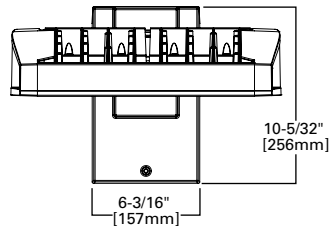
QM Quick Mount Arm (Standard, 1-8 squares)



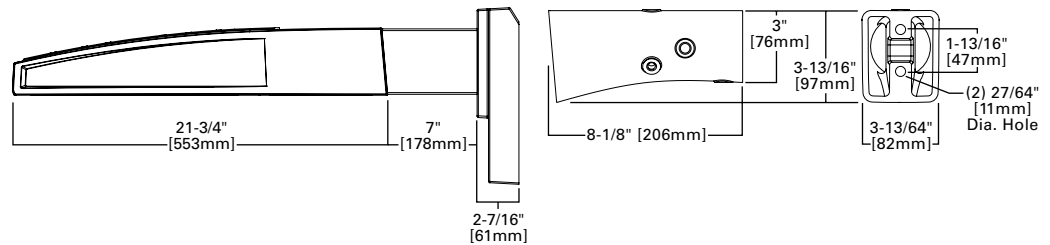
QMEA Quick Mount Arm (Extended, 1 - 6 squares)



Standard Wall Mount

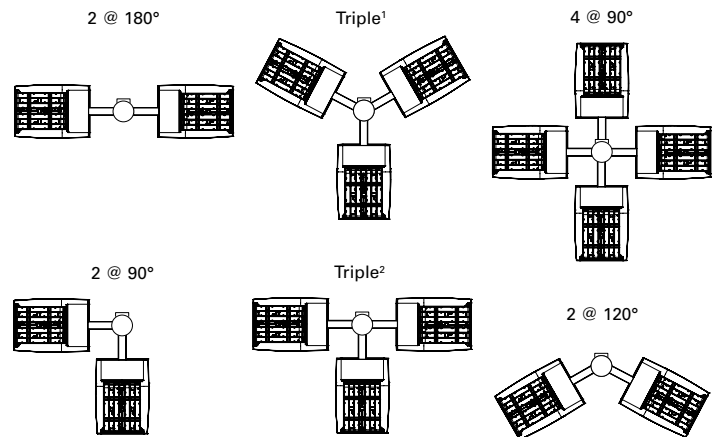


Mast Arm Mount



Arm Mounting Requirements

| Number of Light Squares | Standard Arm @ 90° Apart | Standard Arm @ 120° Apart | Quick Mount Arm @ 90° Apart | Quick Mount Arm @ 120° Apart |
|-------------------------|--------------------------|---------------------------|-----------------------------|------------------------------|
| 1 | Standard | Standard | QM Extended | Quick Mount |
| 2 | Standard | Standard | QM Extended | Quick Mount |
| 3 | Standard | Standard | QM Extended | Quick Mount |
| 4 | Standard | Standard | QM Extended | Quick Mount |
| 5 | Extended | Standard | QM Extended | Quick Mount |
| 6 | Extended | Standard | QM Extended | Quick Mount |
| 7 | Extended | Extended | -- | Quick Mount |
| 8 | Extended | Extended | -- | Quick Mount |
| 9 | Extended | Extended | -- | -- |
| 10 | Extended | Extended | -- | -- |

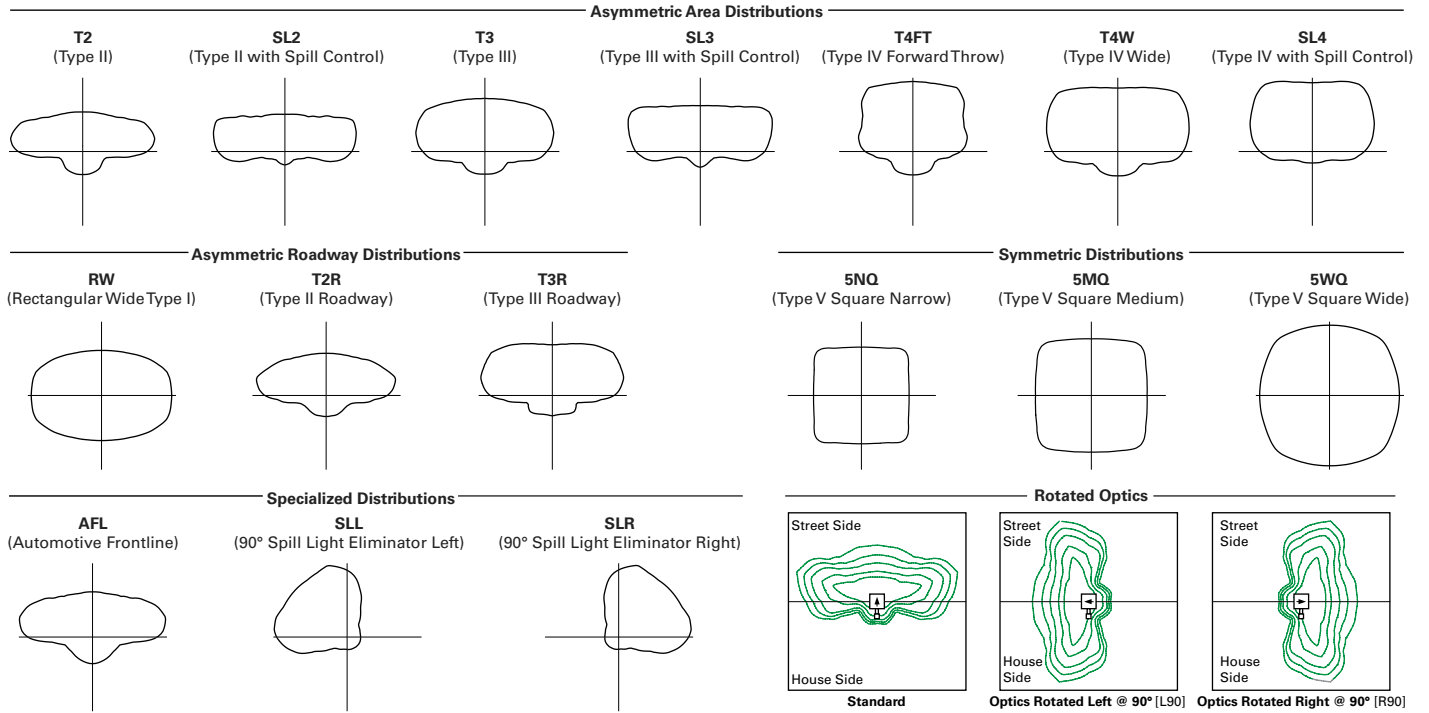


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°. 3 Shown with 4 square configurations.

Fixture Weights and EPAs

| Number of Light Squares | Weight with Standard and Extended Arm (lbs.) | EPA with Standard and Extended Arm (Sq. Ft.) | Weight with QM Arm (lbs.) | EPA with QM Arm (Sq. Ft.) | Weight with QML (lbs.) | EPA with QML (Sq. Ft.) | Weight with QMEA (lbs.) | EPA with QMEA (Sq. Ft.) |
|-------------------------|--|--|---------------------------|---------------------------|------------------------|------------------------|-------------------------|-------------------------|
| 1-4 | 33 | 0.96 | 35 | 1.11 | -- | -- | 38 | 1.11 |
| 5-6 | 44 | 1.00 | 46 | 1.11 | -- | -- | 49 | 1.11 |
| 7-8 | 54 | 1.07 | 56 | 1.11 | 58 | 1.11 | -- | -- |
| 9-10 | 63 | 1.12 | -- | -- | 67 | 1.11 | -- | -- |

Optical Distributions



Product Specifications

Construction

- Extruded aluminum driver enclosure
- Heavy-wall, die-cast aluminum end caps
- Die-cast aluminum heat sinks
- Patent pending interlocking housing and heat sink

Optics

- Patented, high-efficiency injection-molded AccuLED Optics technology
- 16 optical distributions
- 3 shielding options including HSS, GRS and PFS
- IDA Certified (3000K CCT and warmer only)

Electrical

- LED drivers are mounted to removable tray

assembly for ease of maintenance

- Standard with 0-10V dimming
- Standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.

Mounting

- Standard extruded arm includes internal bolt guides and round pole adapter
- Extended arms (EA and QMEA) may be required in 90° or 120° pole mount configurations, see arm mounting requirements table

- Mast arm (MA) factory installed
- Wall mount (WM) option available
- Quick mount arm (QM and QMEA) includes pole adapter and factory installed fixture mount for fast installation to square or round poles

Finish

- Super housing durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Heat sink is powder coated black
- RAL and custom color matches available
- Coastal Construction (CC) option available

Warranty

- Five year warranty

Energy and Performance Data

Lumen Maintenance (TM-21)

| Drive Current | Ambient Temperature | 25,000 hours* | 50,000 hours* | 60,000 hours* | 100,000 hours** | Theoretical L70 hours** |
|---------------|---------------------|---------------|---------------|---------------|-----------------|-------------------------|
| Up to 1A | 25°C | 99.4% | 99.0% | 98.9% | 98.3% | > 2.4M |
| | 40°C | 98.7% | 98.3% | 98.1% | 97.4% | > 1.9M |
| | 50°C | 98.2% | 97.2% | 96.8% | 95.2% | > 851,000 |
| 1.2A | 25°C | 99.4% | 99.0% | 98.9% | 98.3% | > 2.4M |
| | 40°C | 98.5% | 97.9% | 97.7% | 96.7% | > 1.3M |

Lumen Multiplier

| Ambient Temperature | Lumen Multiplier |
|---------------------|------------------|
| 0°C | 1.02 |
| 10°C | 1.01 |
| 25°C | 1.00 |
| 40°C | 0.99 |
| 50°C | 0.97 |

* Supported by IES TM-21 standards

** Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, explaining proper use of IES TM-21 and LM-80.

View GLEON IES files

Nominal Power Lumens (1.2A)

 Supplemental Performance Guide**

| Number of Light Squares | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | |
|---------------------------------|-----------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Nominal Power (Watts) | 67 | 129 | 191 | 258 | 320 | 382 | 448 | 511 | 575 | 640 | |
| Input Current @ 120V (A) | 0.58 | 1.16 | 1.78 | 2.31 | 2.94 | 3.56 | 4.09 | 4.71 | 5.34 | 5.87 | |
| Input Current @ 208V (A) | 0.33 | 0.63 | 0.93 | 1.27 | 1.57 | 1.87 | 2.22 | 2.52 | 2.8 | 3.14 | |
| Input Current @ 240V (A) | 0.29 | 0.55 | 0.80 | 1.10 | 1.35 | 1.61 | 1.93 | 2.18 | 2.41 | 2.71 | |
| Input Current @ 277V (A) | 0.25 | 0.48 | 0.70 | 0.96 | 1.18 | 1.39 | 1.69 | 1.90 | 2.09 | 2.36 | |
| Input Current @ 347V (A) | 0.20 | 0.39 | 0.57 | 0.78 | 0.96 | 1.15 | 1.36 | 1.54 | 1.72 | 1.92 | |
| Input Current @ 480V (A) | 0.15 | 0.30 | 0.43 | 0.60 | 0.73 | 0.85 | 1.03 | 1.16 | 1.28 | 1.45 | |
| Optics | | | | | | | | | | | |
| T2 | 4000K Lumens | 7,972 | 15,580 | 23,245 | 30,714 | 38,056 | 45,541 | 53,857 | 61,024 | 68,072 | 75,366 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 119 | 121 | 122 | 119 | 119 | 119 | 120 | 119 | 118 | 118 |
| T2R | 4000K Lumens | 8,462 | 16,539 | 24,680 | 32,609 | 40,401 | 48,348 | 57,176 | 64,783 | 72,266 | 80,010 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 126 | 128 | 129 | 126 | 126 | 127 | 128 | 127 | 126 | 125 |
| T3 | 4000K Lumens | 8,125 | 15,879 | 23,693 | 31,307 | 38,787 | 46,417 | 54,893 | 62,197 | 69,381 | 76,818 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 121 | 123 | 124 | 121 | 121 | 122 | 123 | 122 | 121 | 120 |
| T3R | 4000K Lumens | 8,306 | 16,232 | 24,220 | 32,001 | 39,651 | 47,447 | 56,114 | 63,580 | 70,924 | 78,523 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 124 | 126 | 127 | 124 | 124 | 124 | 125 | 124 | 123 | 123 |
| T4FT | 4000K Lumens | 8,173 | 15,970 | 23,831 | 31,488 | 39,014 | 46,686 | 55,212 | 62,558 | 69,783 | 77,261 |
| | BUG Rating | B1-U0-G3 | B2-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 122 | 124 | 125 | 122 | 122 | 122 | 123 | 122 | 121 | 121 |
| T4W | 4000K Lumens | 8,067 | 15,764 | 23,522 | 31,080 | 38,510 | 46,082 | 54,499 | 61,751 | 68,881 | 76,263 |
| | BUG Rating | B2-U0-G2 | B3-U0-G3 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 120 | 122 | 123 | 120 | 120 | 121 | 122 | 121 | 120 | 119 |
| SL2 | 4000K Lumens | 7,958 | 15,552 | 23,206 | 30,662 | 37,989 | 45,462 | 53,763 | 60,920 | 67,952 | 75,235 |
| | BUG Rating | B2-U0-G3 | B3-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 119 | 121 | 121 | 119 | 119 | 119 | 120 | 119 | 118 | 118 |
| SL3 | 4000K Lumens | 8,124 | 15,877 | 23,690 | 31,302 | 38,784 | 46,410 | 54,885 | 62,189 | 69,372 | 76,805 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 121 | 123 | 124 | 121 | 121 | 121 | 123 | 122 | 121 | 120 |
| SL4 | 4000K Lumens | 7,719 | 15,085 | 22,510 | 29,741 | 36,850 | 44,097 | 52,148 | 59,089 | 65,913 | 72,977 |
| | BUG Rating | B1-U0-G3 | B2-U0-G4 | B2-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 115 | 117 | 118 | 115 | 115 | 115 | 116 | 116 | 115 | 114 |
| 5NQ | 4000K Lumens | 8,380 | 16,375 | 24,436 | 32,287 | 40,003 | 47,870 | 56,610 | 64,144 | 71,552 | 79,221 |
| | BUG Rating | B3-U0-G1 | B3-U0-G2 | B4-U0-G2 | B5-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 |
| | Lumens per Watt | 125 | 127 | 128 | 125 | 125 | 125 | 126 | 126 | 124 | 124 |
| 5MQ | 4000K Lumens | 8,534 | 16,676 | 24,885 | 32,881 | 40,739 | 48,752 | 57,653 | 65,326 | 72,868 | 80,679 |
| | BUG Rating | B3-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 127 | 129 | 130 | 127 | 127 | 128 | 129 | 128 | 127 | 126 |
| 5WQ | 4000K Lumens | 8,556 | 16,723 | 24,951 | 32,968 | 40,847 | 48,881 | 57,808 | 65,499 | 73,063 | 80,894 |
| | BUG Rating | B3-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 128 | 130 | 131 | 128 | 128 | 128 | 129 | 128 | 127 | 126 |
| SLL/SLR | 4000K Lumens | 7,140 | 13,951 | 20,817 | 27,506 | 34,081 | 40,783 | 48,231 | 54,649 | 60,959 | 67,492 |
| | BUG Rating | B1-U0-G3 | B2-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 107 | 108 | 109 | 107 | 107 | 107 | 108 | 107 | 106 | 105 |
| RW | 4000K Lumens | 8,304 | 16,228 | 24,215 | 31,994 | 39,641 | 47,437 | 56,100 | 63,566 | 70,907 | 78,504 |
| | BUG Rating | B3-U0-G1 | B4-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 124 | 126 | 127 | 124 | 124 | 124 | 125 | 124 | 123 | 123 |
| AFL | 4000K Lumens | 8,335 | 16,287 | 24,302 | 32,110 | 39,784 | 47,610 | 56,303 | 63,796 | 71,163 | 78,790 |
| | BUG Rating | B1-U0-G1 | B2-U0-G2 | B3-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3 | B4-U0-G4 | B4-U0-G4 | B4-U0-G4 | B4-U0-G5 |
| | Lumens per Watt | 124 | 126 | 127 | 124 | 124 | 124 | 125 | 126 | 125 | 123 |

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Nominal Power Lumens (1A)

 Supplemental Performance Guide**

| Number of Light Squares | | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 |
|---------------------------------|-----------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Nominal Power (Watts) | | 59 | 113 | 166 | 225 | 279 | 333 | 391 | 445 | 501 | 558 |
| Input Current @ 120V (A) | | 0.51 | 1.02 | 1.53 | 2.03 | 2.55 | 3.06 | 3.56 | 4.08 | 4.60 | 5.07 |
| Input Current @ 208V (A) | | 0.29 | 0.56 | 0.82 | 1.11 | 1.37 | 1.64 | 1.93 | 2.19 | 2.46 | 2.75 |
| Input Current @ 240V (A) | | 0.26 | 0.48 | 0.71 | 0.96 | 1.19 | 0.41 | 1.67 | 1.89 | 2.12 | 2.39 |
| Input Current @ 277V (A) | | 0.23 | 0.42 | 0.61 | 0.83 | 1.03 | 1.23 | 1.45 | 1.65 | 1.84 | 2.09 |
| Input Current @ 347V (A) | | 0.17 | 0.32 | 0.50 | 0.64 | 0.82 | 1.00 | 1.14 | 1.32 | 1.50 | 1.68 |
| Input Current @ 480V (A) | | 0.14 | 0.24 | 0.37 | 0.48 | 0.61 | 0.75 | 0.91 | 0.99 | 1.12 | 1.28 |
| Optics | | | | | | | | | | | |
| T2 | 4000K Lumens | 7,267 | 14,201 | 21,190 | 28,000 | 34,692 | 41,515 | 49,096 | 55,627 | 62,053 | 68,703 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 123 | 126 | 128 | 124 | 124 | 125 | 126 | 125 | 124 | 123 |
| T2R | 4000K Lumens | 7,715 | 15,077 | 22,497 | 29,725 | 36,829 | 44,073 | 52,122 | 59,056 | 65,876 | 72,937 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 131 | 133 | 136 | 132 | 132 | 132 | 133 | 133 | 131 | 131 |
| T3 | 4000K Lumens | 7,408 | 14,475 | 21,598 | 28,539 | 35,358 | 42,313 | 50,039 | 56,698 | 63,246 | 70,024 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 126 | 128 | 130 | 127 | 127 | 127 | 128 | 127 | 126 | 125 |
| T3R | 4000K Lumens | 7,571 | 14,798 | 22,078 | 29,172 | 36,145 | 43,253 | 51,153 | 57,959 | 64,653 | 71,581 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 128 | 131 | 133 | 130 | 130 | 130 | 131 | 130 | 129 | 128 |
| T4FT | 4000K Lumens | 7,451 | 14,559 | 21,725 | 28,703 | 35,564 | 42,558 | 50,330 | 57,027 | 63,613 | 70,430 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 126 | 129 | 131 | 128 | 127 | 128 | 129 | 128 | 127 | 126 |
| T4W | 4000K Lumens | 7,354 | 14,371 | 21,442 | 28,333 | 35,105 | 42,007 | 49,681 | 56,291 | 62,792 | 69,521 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 125 | 127 | 129 | 126 | 126 | 126 | 127 | 126 | 125 | 125 |
| SL2 | 4000K Lumens | 7,254 | 14,178 | 21,155 | 27,951 | 34,631 | 41,443 | 49,011 | 55,533 | 61,944 | 68,584 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 123 | 125 | 127 | 124 | 124 | 124 | 125 | 125 | 124 | 123 |
| SL3 | 4000K Lumens | 7,406 | 14,474 | 21,596 | 28,534 | 35,355 | 42,307 | 50,033 | 56,690 | 63,237 | 70,014 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 126 | 128 | 130 | 127 | 127 | 127 | 128 | 127 | 126 | 125 |
| SL4 | 4000K Lumens | 7,037 | 13,751 | 20,519 | 27,112 | 33,592 | 40,198 | 47,538 | 53,864 | 60,087 | 66,524 |
| | BUG Rating | B1-U0-G3 | B2-U0-G4 | B2-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 119 | 122 | 124 | 120 | 120 | 121 | 122 | 121 | 120 | 119 |
| 5NQ | 4000K Lumens | 7,640 | 14,928 | 22,275 | 29,431 | 36,465 | 43,637 | 51,606 | 58,472 | 65,226 | 72,218 |
| | BUG Rating | B3-U0-G1 | B3-U0-G2 | B4-U0-G2 | B5-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 |
| | Lumens per Watt | 129 | 132 | 134 | 131 | 131 | 131 | 132 | 131 | 130 | 129 |
| 5MQ | 4000K Lumens | 7,779 | 15,203 | 22,684 | 29,973 | 37,137 | 44,441 | 52,555 | 59,549 | 66,427 | 73,545 |
| | BUG Rating | B3-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 132 | 135 | 137 | 133 | 133 | 133 | 134 | 134 | 133 | 132 |
| 5WQ | 4000K Lumens | 7,800 | 15,243 | 22,744 | 30,052 | 37,236 | 44,560 | 52,697 | 59,708 | 66,603 | 73,742 |
| | BUG Rating | B3-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 132 | 135 | 137 | 134 | 133 | 134 | 135 | 134 | 133 | 132 |
| SLL/SLR | 4000K Lumens | 6,510 | 12,719 | 18,977 | 25,075 | 31,067 | 37,176 | 43,967 | 49,817 | 55,569 | 61,525 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B2-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 110 | 113 | 114 | 111 | 111 | 112 | 112 | 112 | 111 | 110 |
| RW | 4000K Lumens | 7,570 | 14,793 | 22,073 | 29,165 | 36,137 | 43,243 | 51,140 | 57,945 | 64,637 | 71,564 |
| | BUG Rating | B3-U0-G1 | B4-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 |
| | Lumens per Watt | 128 | 131 | 133 | 130 | 130 | 130 | 131 | 130 | 129 | 128 |
| AFL | 4000K Lumens | 7,598 | 14,847 | 22,154 | 29,272 | 36,267 | 43,400 | 51,326 | 58,156 | 64,872 | 71,824 |
| | BUG Rating | B1-U0-G1 | B2-U0-G2 | B3-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3 | B4-U0-G4 | B4-U0-G4 | B4-U0-G4 | B4-U0-G4 |
| | Lumens per Watt | 129 | 131 | 133 | 130 | 130 | 130 | 131 | 131 | 129 | 129 |

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Nominal Power Lumens (800mA)

 Supplemental Performance Guide**

| Number of Light Squares | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | |
|---------------------------------|-----------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Nominal Power (Watts) | 44 | 85 | 124 | 171 | 210 | 249 | 295 | 334 | 374 | 419 | |
| Input Current @ 120V (A) | 0.39 | 0.77 | 1.13 | 1.54 | 1.90 | 2.26 | 2.67 | 3.03 | 3.39 | 3.80 | |
| Input Current @ 208V (A) | 0.22 | 0.44 | 0.62 | 0.88 | 1.06 | 1.24 | 1.50 | 1.68 | 1.87 | 2.12 | |
| Input Current @ 240V (A) | 0.19 | 0.38 | 0.54 | 0.76 | 0.92 | 1.08 | 1.30 | 1.46 | 1.62 | 1.84 | |
| Input Current @ 277V (A) | 0.17 | 0.36 | 0.47 | 0.72 | 0.83 | 0.95 | 1.19 | 1.31 | 1.42 | 1.67 | |
| Input Current @ 347V (A) | 0.15 | 0.24 | 0.38 | 0.49 | 0.63 | 0.77 | 0.87 | 1.01 | 1.15 | 1.52 | |
| Input Current @ 480V (A) | 0.11 | 0.18 | 0.29 | 0.37 | 0.48 | 0.59 | 0.66 | 0.77 | 0.88 | 0.96 | |
| Optics | | | | | | | | | | | |
| T2 | 4000K Lumens | 5,871 | 11,474 | 17,121 | 22,622 | 28,029 | 33,542 | 39,667 | 44,944 | 50,134 | 55,508 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 133 | 135 | 138 | 132 | 133 | 135 | 134 | 135 | 134 | 132 |
| T2R | 4000K Lumens | 6,233 | 12,181 | 18,176 | 24,016 | 29,756 | 35,608 | 42,111 | 47,714 | 53,224 | 58,929 |
| | BUG Rating | B1-U0-G1 | B2-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 142 | 143 | 147 | 140 | 142 | 143 | 143 | 143 | 142 | 141 |
| T3 | 4000K Lumens | 5,986 | 11,695 | 17,450 | 23,057 | 28,568 | 34,186 | 40,430 | 45,809 | 51,099 | 56,576 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 136 | 138 | 141 | 135 | 136 | 137 | 137 | 137 | 137 | 135 |
| T3R | 4000K Lumens | 6,117 | 11,955 | 17,838 | 23,569 | 29,203 | 34,946 | 41,328 | 46,827 | 52,235 | 57,832 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 139 | 141 | 144 | 138 | 139 | 140 | 140 | 140 | 140 | 138 |
| T4FT | 4000K Lumens | 6,019 | 11,763 | 17,551 | 23,190 | 28,734 | 34,384 | 40,663 | 46,074 | 51,396 | 56,904 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 137 | 138 | 142 | 136 | 137 | 138 | 138 | 138 | 137 | 136 |
| T4W | 4000K Lumens | 5,942 | 11,610 | 17,324 | 22,891 | 28,363 | 33,940 | 40,138 | 45,480 | 50,732 | 56,169 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 135 | 137 | 140 | 134 | 135 | 136 | 136 | 136 | 136 | 134 |
| SL2 | 4000K Lumens | 5,862 | 11,454 | 17,091 | 22,583 | 27,980 | 33,484 | 39,598 | 44,867 | 50,048 | 55,411 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 133 | 135 | 138 | 132 | 133 | 134 | 134 | 134 | 134 | 132 |
| SL3 | 4000K Lumens | 5,985 | 11,694 | 17,447 | 23,053 | 28,565 | 34,182 | 40,424 | 45,804 | 51,092 | 56,568 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 136 | 138 | 141 | 135 | 136 | 137 | 137 | 137 | 137 | 135 |
| SL4 | 4000K Lumens | 5,685 | 11,111 | 16,577 | 21,905 | 27,140 | 32,478 | 38,409 | 43,520 | 48,546 | 53,748 |
| | BUG Rating | B1-U0-G2 | B1-U0-G3 | B2-U0-G4 | B2-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 |
| | Lumens per Watt | 129 | 131 | 134 | 128 | 129 | 130 | 130 | 130 | 130 | 128 |
| 5NQ | 4000K Lumens | 6,172 | 12,061 | 17,997 | 23,778 | 29,462 | 35,256 | 41,694 | 47,242 | 52,699 | 58,347 |
| | BUG Rating | B2-U0-G1 | B3-U0-G1 | B4-U0-G2 | B4-U0-G2 | B5-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 |
| | Lumens per Watt | 140 | 142 | 145 | 139 | 140 | 142 | 141 | 141 | 141 | 139 |
| 5MQ | 4000K Lumens | 6,285 | 12,283 | 18,328 | 24,217 | 30,004 | 35,907 | 42,462 | 48,112 | 53,669 | 59,421 |
| | BUG Rating | B3-U0-G1 | B4-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 143 | 145 | 148 | 142 | 143 | 144 | 144 | 144 | 144 | 142 |
| 5WQ | 4000K Lumens | 6,303 | 12,317 | 18,377 | 24,281 | 30,085 | 36,001 | 42,575 | 48,241 | 53,812 | 59,579 |
| | BUG Rating | B3-U0-G1 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 143 | 145 | 148 | 142 | 143 | 145 | 144 | 144 | 144 | 142 |
| SLL/SLR | 4000K Lumens | 5,260 | 10,276 | 15,332 | 20,259 | 25,101 | 30,037 | 35,522 | 40,249 | 44,898 | 49,708 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B2-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 |
| | Lumens per Watt | 120 | 121 | 124 | 118 | 120 | 121 | 120 | 121 | 120 | 119 |
| RW | 4000K Lumens | 6,116 | 11,952 | 17,834 | 23,563 | 29,196 | 34,938 | 41,317 | 46,817 | 52,224 | 57,819 |
| | BUG Rating | B3-U0-G1 | B3-U0-G2 | B4-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 |
| | Lumens per Watt | 139 | 141 | 144 | 138 | 139 | 140 | 140 | 140 | 140 | 138 |
| AFL | 4000K Lumens | 6,139 | 11,996 | 17,899 | 23,650 | 29,302 | 35,064 | 41,468 | 46,987 | 52,412 | 58,030 |
| | BUG Rating | B1-U0-G1 | B2-U0-G2 | B2-U0-G2 | B3-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3 | B4-U0-G4 | B4-U0-G4 |
| | Lumens per Watt | 140 | 141 | 144 | 138 | 140 | 141 | 141 | 141 | 140 | 138 |

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Nominal Power Lumens (600mA)

 Supplemental Performance Guide**

| Number of Light Squares | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | |
|---------------------------------|-----------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Nominal Power (Watts) | 34 | 66 | 96 | 129 | 162 | 193 | 226 | 257 | 290 | 323 | |
| Input Current @ 120V (A) | 0.30 | 0.58 | 0.86 | 1.16 | 1.44 | 1.73 | 2.03 | 2.33 | 2.59 | 2.89 | |
| Input Current @ 208V (A) | 0.17 | 0.34 | 0.49 | 0.65 | 0.84 | 0.99 | 1.14 | 1.30 | 1.48 | 1.63 | |
| Input Current @ 240V (A) | 0.15 | 0.30 | 0.43 | 0.56 | 0.74 | 0.87 | 1.00 | 1.13 | 1.30 | 1.43 | |
| Input Current @ 277V (A) | 0.14 | 0.28 | 0.41 | 0.52 | 0.69 | 0.81 | 0.93 | 1.04 | 1.22 | 1.33 | |
| Input Current @ 347V (A) | 0.11 | 0.19 | 0.30 | 0.39 | 0.49 | 0.60 | 0.69 | 0.77 | 0.90 | 0.99 | |
| Input Current @ 480V (A) | 0.08 | 0.15 | 0.24 | 0.30 | 0.38 | 0.48 | 0.53 | 0.59 | 0.71 | 0.77 | |
| Optics | | | | | | | | | | | |
| T2 | 4000K Lumens | 4,787 | 9,357 | 13,961 | 18,448 | 22,856 | 27,353 | 32,347 | 36,651 | 40,884 | 45,265 |
| | BUG Rating | B1-U0-G1 | B2-U0-G2 | B2-U0-G3 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 |
| | Lumens per Watt | 141 | 142 | 145 | 143 | 141 | 142 | 143 | 143 | 141 | 140 |
| T2R | 4000K Lumens | 5,083 | 9,934 | 14,822 | 19,585 | 24,266 | 29,038 | 34,341 | 38,911 | 43,404 | 48,055 |
| | BUG Rating | B1-U0-G1 | B1-U0-G2 | B2-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 |
| | Lumens per Watt | 150 | 151 | 154 | 152 | 150 | 150 | 152 | 151 | 150 | 149 |
| T3 | 4000K Lumens | 4,880 | 9,537 | 14,231 | 18,803 | 23,296 | 27,878 | 32,970 | 37,358 | 41,671 | 46,137 |
| | BUG Rating | B1-U0-G1 | B2-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 144 | 145 | 148 | 146 | 144 | 144 | 146 | 145 | 144 | 143 |
| T3R | 4000K Lumens | 4,988 | 9,749 | 14,547 | 19,220 | 23,814 | 28,497 | 33,703 | 38,188 | 42,598 | 47,162 |
| | BUG Rating | B1-U0-G2 | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 |
| | Lumens per Watt | 147 | 148 | 152 | 149 | 147 | 148 | 149 | 149 | 147 | 146 |
| T4FT | 4000K Lumens | 4,909 | 9,591 | 14,312 | 18,911 | 23,432 | 28,040 | 33,161 | 37,574 | 41,913 | 46,404 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 144 | 145 | 149 | 147 | 145 | 145 | 147 | 146 | 145 | 144 |
| T4W | 4000K Lumens | 4,845 | 9,468 | 14,128 | 18,668 | 23,130 | 27,678 | 32,732 | 37,088 | 41,371 | 45,805 |
| | BUG Rating | B1-U0-G2 | B2-U0-G2 | B2-U0-G3 | B3-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 143 | 143 | 147 | 145 | 143 | 143 | 145 | 144 | 143 | 142 |
| SL2 | 4000K Lumens | 4,779 | 9,341 | 13,937 | 18,416 | 22,818 | 27,305 | 32,292 | 36,589 | 40,813 | 45,188 |
| | BUG Rating | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 |
| | Lumens per Watt | 141 | 142 | 145 | 143 | 141 | 141 | 143 | 142 | 141 | 140 |
| SL3 | 4000K Lumens | 4,879 | 9,536 | 14,229 | 18,800 | 23,294 | 27,874 | 32,965 | 37,351 | 41,666 | 46,130 |
| | BUG Rating | B1-U0-G2 | B1-U0-G3 | B2-U0-G3 | B2-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 |
| | Lumens per Watt | 144 | 144 | 148 | 146 | 144 | 144 | 146 | 145 | 144 | 143 |
| SL4 | 4000K Lumens | 4,637 | 9,059 | 13,519 | 17,863 | 22,132 | 26,486 | 31,322 | 35,490 | 39,589 | 43,831 |
| | BUG Rating | B1-U0-G2 | B1-U0-G3 | B2-U0-G4 | B2-U0-G4 | B2-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 |
| | Lumens per Watt | 136 | 137 | 141 | 138 | 137 | 137 | 139 | 138 | 137 | 136 |
| 5NQ | 4000K Lumens | 5,033 | 9,835 | 14,676 | 19,392 | 24,026 | 28,751 | 34,002 | 38,526 | 42,975 | 47,581 |
| | BUG Rating | B2-U0-G1 | B3-U0-G1 | B3-U0-G2 | B4-U0-G2 | B4-U0-G2 | B4-U0-G2 | B5-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G3 |
| | Lumens per Watt | 148 | 149 | 153 | 150 | 148 | 149 | 150 | 150 | 148 | 147 |
| 5MQ | 4000K Lumens | 5,126 | 10,015 | 14,946 | 19,747 | 24,468 | 29,281 | 34,628 | 39,236 | 43,766 | 48,457 |
| | BUG Rating | B3-U0-G1 | B3-U0-G2 | B4-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 |
| | Lumens per Watt | 151 | 152 | 156 | 153 | 151 | 152 | 153 | 153 | 151 | 150 |
| 5WQ | 4000K Lumens | 5,139 | 10,043 | 14,985 | 19,801 | 24,533 | 29,359 | 34,721 | 39,339 | 43,883 | 48,586 |
| | BUG Rating | B3-U0-G1 | B4-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 | B5-U0-G4 | B5-U0-G5 | B5-U0-G5 |
| | Lumens per Watt | 151 | 152 | 156 | 153 | 151 | 152 | 154 | 153 | 151 | 150 |
| SLL/SLR | 4000K Lumens | 4,289 | 8,380 | 12,502 | 16,520 | 20,469 | 24,494 | 28,967 | 32,823 | 36,613 | 40,537 |
| | BUG Rating | B1-U0-G2 | B1-U0-G3 | B2-U0-G3 | B2-U0-G4 | B3-U0-G4 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 |
| | Lumens per Watt | 126 | 127 | 130 | 128 | 126 | 127 | 128 | 128 | 126 | 126 |
| RW | 4000K Lumens | 4,987 | 9,746 | 14,543 | 19,215 | 23,808 | 28,491 | 33,695 | 38,178 | 42,587 | 47,151 |
| | BUG Rating | B2-U0-G1 | B3-U0-G1 | B4-U0-G2 | B4-U0-G2 | B4-U0-G2 | B5-U0-G3 | B5-U0-G3 | B5-U0-G3 | B5-U0-G4 | B5-U0-G4 |
| | Lumens per Watt | 147 | 148 | 151 | 149 | 147 | 148 | 149 | 149 | 147 | 146 |
| AFL | 4000K Lumens | 5,007 | 9,782 | 14,597 | 19,285 | 23,896 | 28,594 | 33,817 | 38,317 | 42,742 | 47,322 |
| | BUG Rating | B1-U0-G1 | B1-U0-G1 | B2-U0-G2 | B2-U0-G2 | B3-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3 |
| | Lumens per Watt | 147 | 148 | 152 | 149 | 148 | 148 | 150 | 149 | 147 | 147 |

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Control Options

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (BPC, PR and PR7)

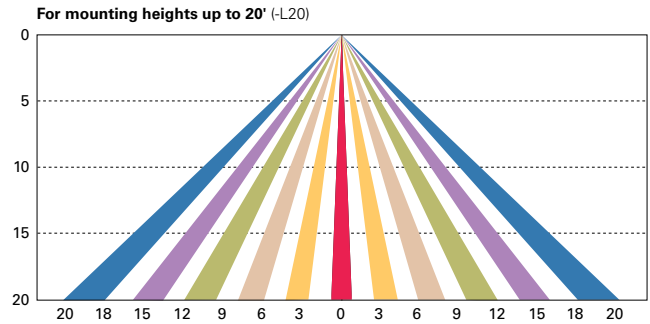
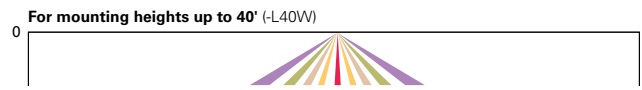
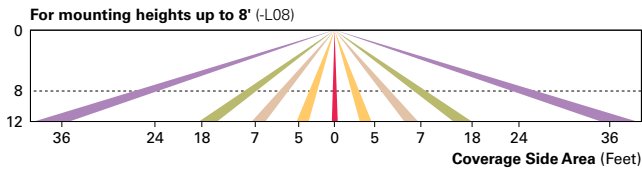
Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

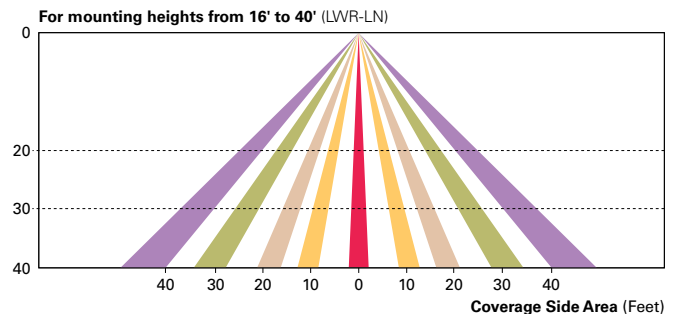
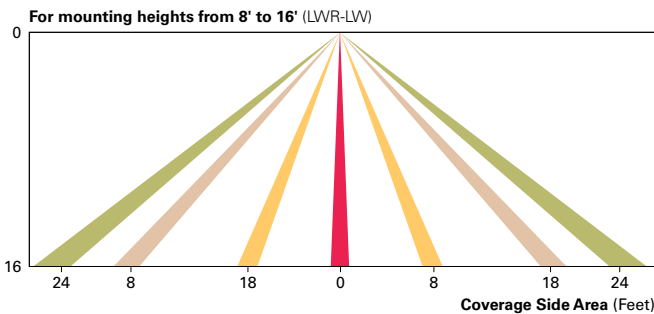
Dimming Occupancy Sensor (SPB, MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN)

Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

LumenSafe Integrated Network Security Camera (LD)

Cooper Lighting Solutions brings ease of camera deployment to a whole new level. No additional wiring is needed beyond providing line power to the luminaire. A variety of networking options allows security integrators to design the optimal solution for active surveillance. As the ideal solution to meet the needs for active surveillance, the LumenSafe integrated network camera is a streamlined, outdoor-ready fixed dome that provides HDTV 1080p video. This IP camera is optimally designed for deployment in the video management system or security software platform of choice.

Synapse (DIM10)

SimplySNAP integrated wireless controls system by Synapse. Includes factory installed DIM10 Synapse control module and FSP-201 motion sensor; requires additional Synapse system components for operation. Contact Synapse at www.synapsewireless.com for product support, warranty and terms and conditions.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 12, 2023
APPLICANT: Lynn Rowland; *Claymoore Engineering*
CASE NUMBER: SP2023-030; *Site Plan for 1540 E. IH-30 (Clay Cooley)*

SUMMARY

Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site Plan for the expansion of an existing *Motor Vehicle Dealership* (i.e. *Clay Cooley Hyundai*) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (i.e. *Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* on property. The changes to the exterior of the building were approved by site plan under *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (i.e. 256 SF) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013.

In 2017, the current owner (i.e. *Clay Cooley Hyundai*) purchased the property. In 2021, staff engaged the property owner about building a metal fence without a permit around an area being used for outside storage. At this time, outside storage was not permitted on the subject property. In addition, automotive work was being done on vehicles in this unenclosed area, which is expressly prohibited by the Unified Development Code (UDC) and the Specific Use Permit (SUP) that was in effect at the time. On January 3, 2022, a Specific Use Permit (SUP) [*Case No. Z2021-049; Ordinance No. 22-02*] was approved by City Council allowing the expansion of the *New Motor Vehicle Dealership*, and adding the *Minor Automotive Repair Garage, Car Wash, and Outside Storage* land uses to the subject property. On February 15, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-003*] allowing the expansion of the *New Motor Vehicle Dealership* and adding the two (3) accessory uses (i.e. a *Car Wash, Outside Storage, and a Minor Auto Repair Garage*) in compliance with the approved Specific Use Permit (SUP) [*Ordinance No. 22-02*].

Recently, the applicant approached staff about increasing the size of the proposed expansion of the *New Motor Vehicle Dealership* and changing the proposed *Minor Automotive Repair Garage* to a *Major Automotive Repair Garage*. Staff explained to the applicant that since this would constitute a major change to the approved conceptual site plan and building elevations and the land uses permitted in the approved Specific Use Permit (SUP), the current Specific Use Permit (SUP)

would need to be superseded with a new Specific Use Permit (SUP). On September 5, 2023, the City Council approved the amended Specific Use Permit (SUP) to allow for further expansion of the existing *New Motor Vehicle Dealership*, and changing the proposed accessory land use from a *Minor Automotive Repair Garage* to *Major Automotive Repair Garage*.

PURPOSE

The applicant -- *Lynn Rowland of Claymoore Engineering* -- is requesting to amend the previously approved Site Plan to allow for the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks*.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai of Rockwall)*. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a *Motor Vehicle Dealership (i.e. Rockwall Honda)*, which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership (i.e. S-189; Ordinance No. 18-22)*. Beyond this are two (2) metal buildings (*i.e. Rockwall Utility Trailers, M & P Concrete, Living Earth Rockwall, and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *New Motor Vehicle Dealership for Cars and Light Trucks* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District. With regard to the accessory land uses, according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Major Automotive Repair Garage* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District, however this land use was previously approved via *Case No. Z2023-022 [Ordinance No. 23-44; S-310]*. In addition, according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Full-Service Car Wash* is permitted with conditions in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within *Ordinance No. 23-44* and the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the variances and exceptions listed in the *Variances and Exceptions Requested by the Applicant* section of this memo. A summary of the density and dimensional requirements for the subject property are as follows:

| <i>Ordinance Provisions</i> | <i>Zoning District Standards</i> | <i>Conformance to the Standards</i> |
|---|---|---------------------------------------|
| <i>Minimum Lot Area</i> | <i>12,500 SF</i> | <i>X=7.17-acres; In Conformance</i> |
| <i>Minimum Lot frontage</i> | <i>100-Feet</i> | <i>X= 282.93-feet; In Conformance</i> |
| <i>Minimum Lot Depth</i> | <i>125-Feet</i> | <i>X=682.10-feet; In Conformance</i> |
| <i>Minimum Front Yard Setback</i> | <i>25-Feet</i> | <i>X>25-feet; In Conformance</i> |
| <i>Minimum Rear Yard Setback</i> | <i>20-Feet</i> | <i>X>20-feet; In Conformance</i> |
| <i>Minimum Side Yard Setback</i> | <i>15-Feet</i> | <i>X>15-feet; In Conformance</i> |
| <i>Maximum Building Height</i> | <i>60-Feet</i> | <i>X<60-feet; In Conformance</i> |
| <i>Max Building/Lot Coverage</i> | <i>60%</i> | <i>X=0.07%; In Conformance</i> |
| <i>Minimum Number of Parking Spaces</i> | <i>Dealership: Sales Floor: 16 Office: 5 Carwash: 4 Major Auto Repair Garage: 16 Total Required: 41</i> | <i>X=59; In Conformance</i> |
| <i>Minimum Landscaping Percentage</i> | <i>15%</i> | <i>25%; In Conformance</i> |
| <i>Maximum Impervious Coverage</i> | <i>95%</i> | <i>x<90%; In Conformance</i> |
| <i>Carwash Setback</i> | <i>50-Feet</i> | <i>X>50-feet; In Conformance</i> |

TREESCAPE PLAN

No trees are being removed from the subject property for the proposed scope of work, therefore no treescape plan is required.

CONFORMANCE WITH THE CITY’S CODES

The subject property is currently legally nonconforming as it exists today; however, the submitted proposed exterior modifications to the existing building and the proposed site improvements will bring the subject property closer into conformance with the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District and the IH-30 Overlay (IH-30 OV) District. According to Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the IH-30 Overlay (IH-30 OV) District should provide consistent development with “...the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall.” The proposed amended site plan appears to meet the intended purpose of the IH-30 Overlay (IH-30 OV) District as set forth by the Unified Development Code (UDC). Staff should also note that the applicant’s request is consistent with the Specific Use Permit (SUP) [Ordinance No. 22-02], which was approved on January 3, 2022 by the City Council.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

Staff should note that the following variances were approved by the Planning and Zoning Commission and City Council with Case No. Z2023-022 [i.e. S-310]:

- (1) Cementitious Materials. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), “(t)he use of cementitious materials (e.g. stucco) shall be limited to 50.00% of the building’s exterior façade; however, stucco shall not be used within the first four (4) feet of grade on a building’s façade.” In this case, the applicant requested to use primarily stucco on all the building’s facades but has incorporated brick and stone accents which is typical of industrial buildings.
- (2) Stone. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades.” In this case, the d building elevations for the main structure did not incorporate any stone, but the applicant did provide at least 12.00% stone on the proposed *Major Auto Repair Garage* and the *Car Wash*.
- (3) Four (4) Sided Architecture. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building.” In this case, the building

elevations did not meet the articulation standards for all four (4) facades of all buildings proposed and there is not an additional row of trees proposed at the back of the property.

- (4) Screening. According to Subsection 05.02(A), *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks and outside storage areas shall be screened from all public streets, open space, adjacent properties and any residential zoning districts or residentially used properties that abut or are directly across a public street or alley from the loading dock or outside storage area in accordance with the requirements of Subsection 02.03 (H2) of Article 08, *Landscape and Screening*, of the UDC." In this case, the applicant requested not to screen the bay doors of the *Major Auto Repair Garage*.
- (5) Garage Door Orientation. According to Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(g)arage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property." In this case, the building elevations and concept plan showed the garage doors facing on to Commerce Street.

In addition to these variances staff has identified one (1) additional exception not accounted for in *Case No. Z2023-022 [i.e. S-310]*:

- (1) Roof Design Standards. According to Subsection 04.01(A)(1), Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides." In this case, the applicant is requesting a roof pitch that is less than a 6:12 pitch. *This will require approval of an exception from the Planning and Zoning Commission.*

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception and/or variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] additional projecting elements on the front elevation of the *Major Auto Repair Garage*, [2] varied roof heights, [3] an additional canopy on the front elevation, [4] an additional articulated cornice at the top of the parapet wall, [5] addition of a brick soldier course separating the stucco from stone finish, [6] included parapet walls on all four (4) elevations to provide additional screening of the roof, [7] increased shrub size in three-tiered screening to 7 gallons, and [8] increased all canopy trees to five (5) inch caliper. Staff should note that of the listed compensatory measures, #'s 1, 2, 3, 4, & 6 are all associated with the increased design requirements of the *General Overlay District Standards*, and cannot be considered compensatory measures; however, the remaining compensatory measures do appear to off-set the previously approved variances and exceptions. With this being said, requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

STAFF ANALYSIS

The proposed building was originally converted from an existing *House of Worship*, and as a result many aspects of the site are considered to be legally non-conforming. The applicant's current request does increase the non-conformities existing on the site and does not conform to many of the standards of the *General Overlay District Requirements* and the *Conditional Land Use Standards* for the *Major Automotive Repair Garage* and *Outside Storage* land uses. Staff should point out that some of the variances listed in the above sections relating to the design standards associated with the existing buildings were granted through the recent Specific Use Permit (SUP) request, and the Planning and Zoning Commission is really only considering the exception to the roof pitch as part of this request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for a Site Plan for the expansion of an existing *Motor Vehicle Dealership*, then staff would propose the following conditions of approval:

- (1) All proposed compensatory measures shall be required to be installed and inspected prior to the issuance of a Certificate of Occupancy (CO).
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1540 I-30 Rockwall, Tx

SUBDIVISION Rockwall Recreational Addition

LOT 1&2 BLOCK 1

GENERAL LOCATION IH30 & Clay Cooley Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Auto Deal

PROPOSED ZONING

PROPOSED USE Auto Dealer

ACREAGE 7.17

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 1540 East IH 30 Rockwall LLC

APPLICANT ClayMoore Engineering

CONTACT PERSON Chase Cooley

CONTACT PERSON Lynn Rowland

ADDRESS PO Box 570809

ADDRESS 1903 Central Drive Suite 406

CITY, STATE & ZIP Dallas, Tx 75357

CITY, STATE & ZIP Bedford, Tx

PHONE 214.597.8697

PHONE 817.281.0572

E-MAIL

E-MAIL Lynn@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chase Cooley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

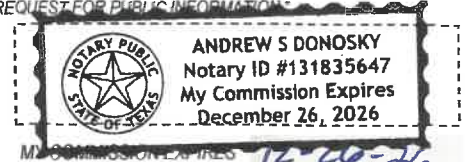
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 180 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF August 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

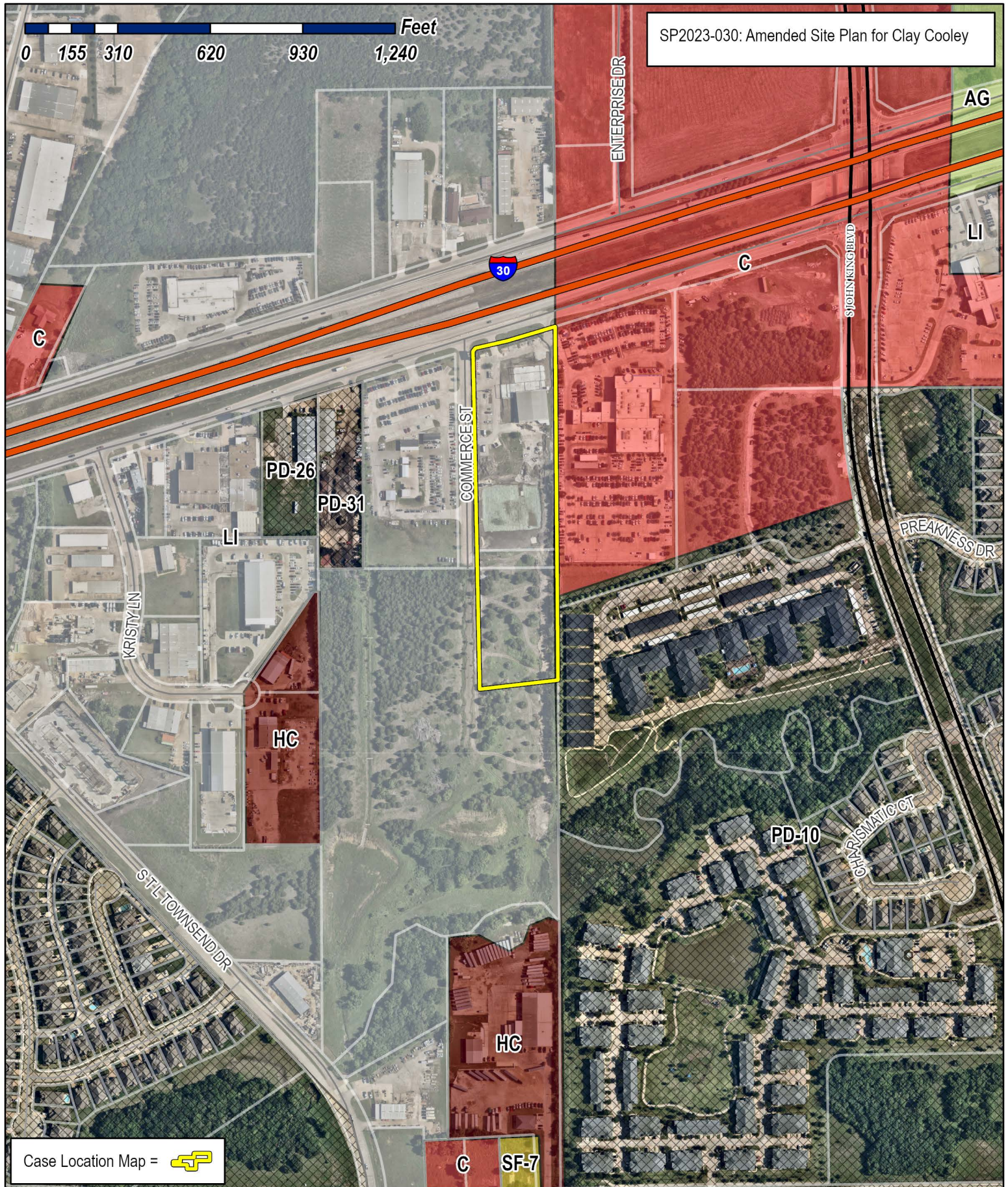
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Chase Cooley
Andrew S. Donosky





Case Location Map = 



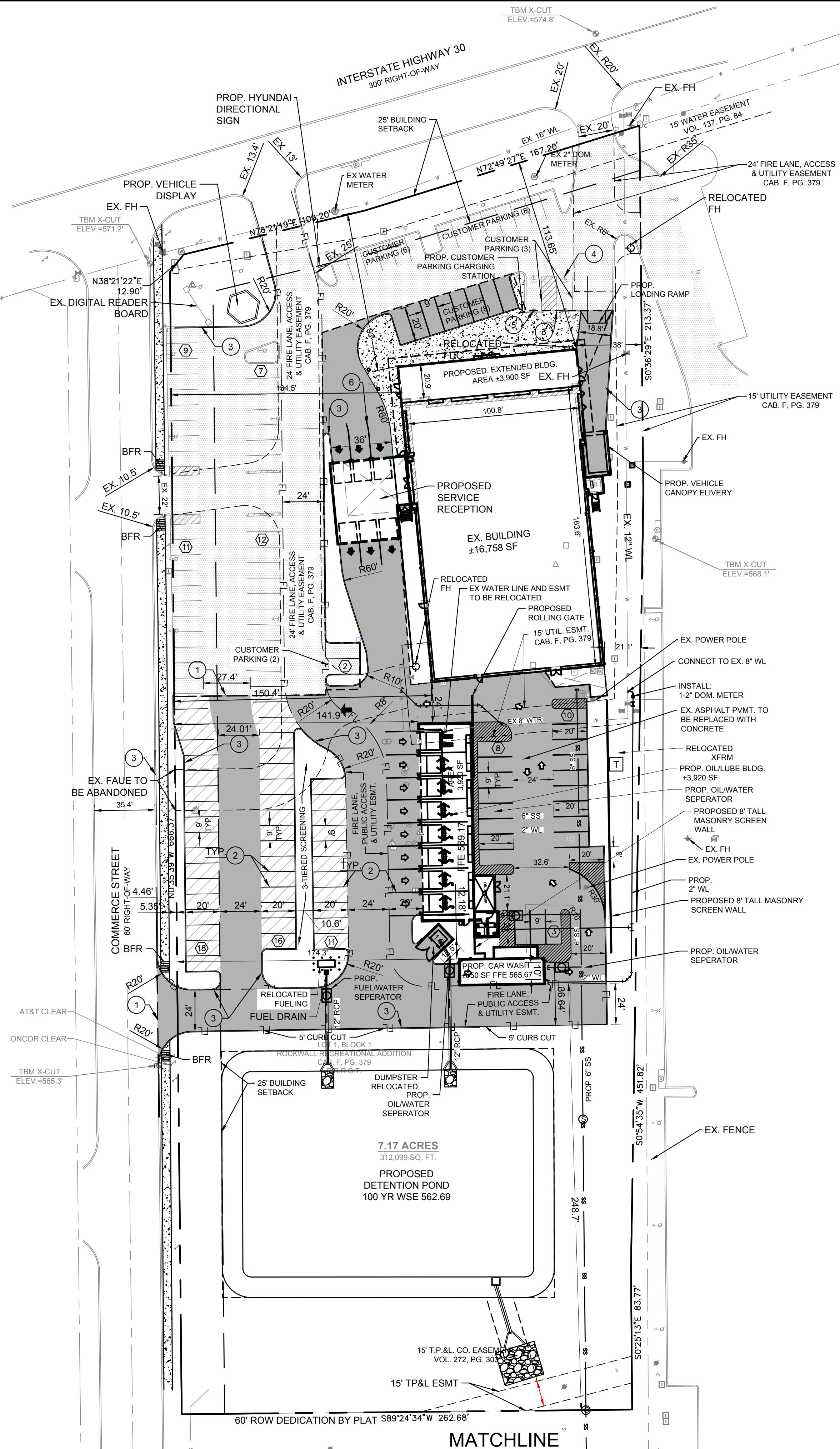
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

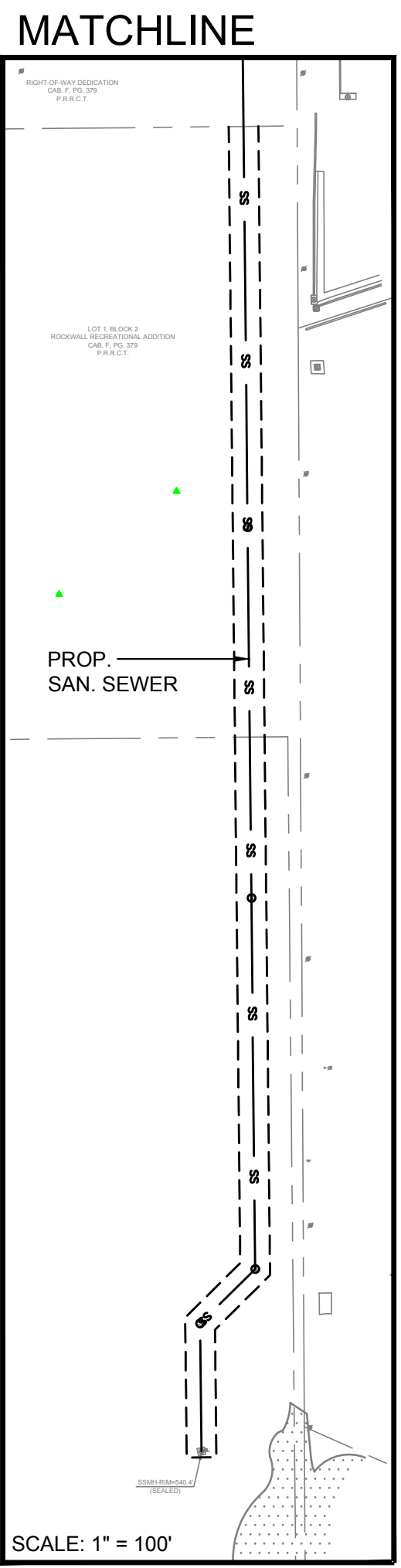


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A. HANNA SURVEY,
 ABSTRACT NO. 99

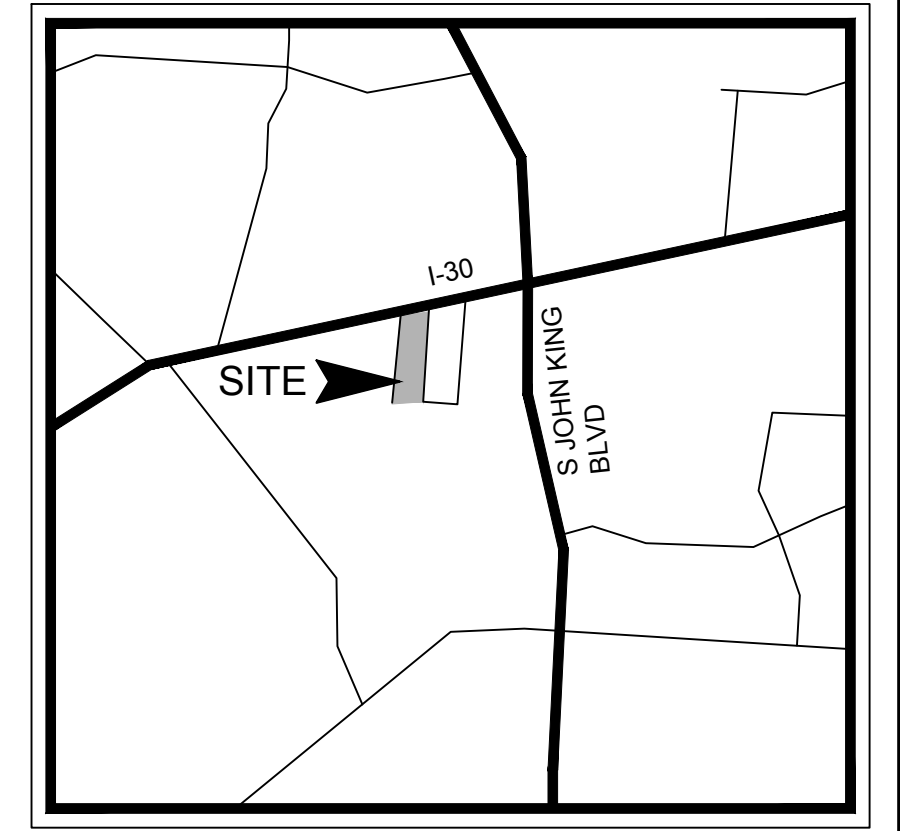
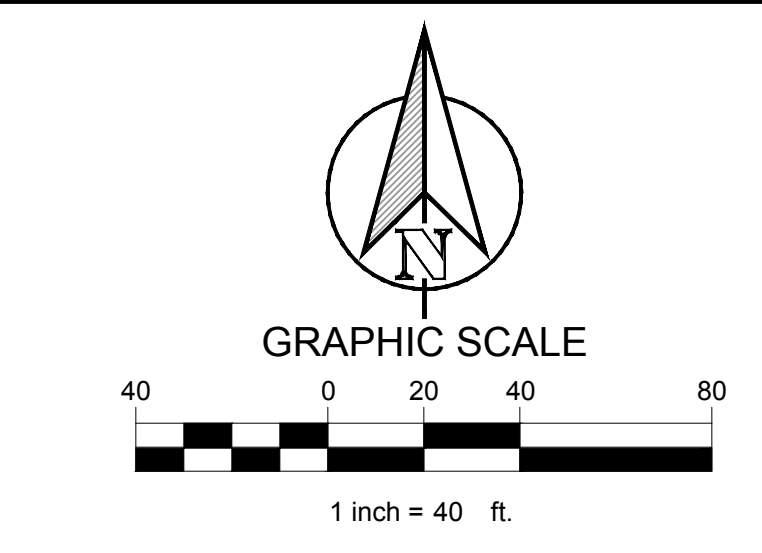
 N.M. BULLARD SURVEY,
 ABSTRACT NO. 24



| SITE DATA TABLE | |
|---------------------|------------------------|
| SITE AREA | 7.71 AC (312,099 SF) |
| ZONING | L1 |
| PROPOSED USE | AUTO DEALER |
| BUILDING SIZE | 20,658 SF (DEALERSHIP) |
| | 850 SF (CARWASH) |
| | 3,920 SF (OIL/LUBE) |
| LOT COVERAGE | 0.07 % |
| FLOOR TO AREA RATIO | 0.07 : 1 |
| BUILDING HEIGHT | 1 STORY |
| SALES FLOOR AREA | 3,928 SF |
| OFFICE AREA | 1,303 SF |
| # OF BAYS | 12 |

| PARKING DATA TABLE | |
|-------------------------|-------------------|
| PARKING REQ. | |
| SALES FLOOR 1/ 250 SF | 16 SPACES |
| OFFICE SF 1/ 300 SF | 5 SPACES |
| 1 PER 2 BAY | 8 SPACES |
| TOTAL: | 19 SPACES |
| PARKING PROVIDED | |
| DISPLAY PARKING | 66 SPACES |
| CUSTOMER PARKING | 27 (2 ADA) SPACES |
| SERVICE/STORAGE PARKING | 21 SPACES |

| CONSTRUCTION SCHEDULE | |
|-----------------------|--|
| [Symbol] | EXISTING CONCRETE PAVEMENT |
| [Symbol] | FIRE LANE AND DRIVE ASILE 6", 3600 PSI (6.5 SACK/CY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE |
| [Symbol] | PARKING 5", 3600 PSI (6.5 SACK/CY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE |
| [Symbol] | PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK |
| [Symbol] | PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-16 |
| [Symbol] | PROPERTY LINE |
| [Symbol] | PROPOSED CONCRETE CURB AND GUTTER |
| [Symbol] | PROPOSED FIRE LANE |
| [Symbol] | PROPOSED SAWCUT |
| [Symbol] | PARKING COUNT |



| CONSTRUCTION SCHEDULE | |
|-----------------------|--|
| ① | PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT |
| ② | PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP) |
| ③ | PROP. CONCRETE CURB & GUTTER |
| ④ | EX. HANDICAP SYMBOL |
| ⑤ | EX. HANDICAP SIGN |
| ⑥ | PROP. PAVEMENT STRIPING |
| ⑦ | PROP. PROPOSED BOLLARD |

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
 - ALL DUMPSTERS TO HAVE SELF LATCHING GATES.
 - ADDITIONAL LANDSCAPING SHALL BE ADDED AS A COMPENSATORY MEASURE FOR THE SITE PLAN VARIANCES.
 - OWNER RESPONSIBLE FOR MAINTENANCE OF DRAINAGE AND DETENTION SYSTEMS.

| | |
|--|--|
| CLAY COOLEY HYUNDAI ROCKWALL, TX 75087 <small>LEGAL DESCRIPTION AND/OR ADDRESS:</small> ROCKWALL RECREATION ADDITION LOT 1 BLOCK 1 7.17 AC (312,099 SF) | |
| <small>OWNER:</small> | |
| CLAY COOLEY AUTO 1251 E. AIRPORT FREEWAY IRVING, TX 75062 | |
| <small>APPLICANT:</small> | |
| CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 | |
| <small>CASE NUMBER</small> | |
| SP2023-030 | |
| I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____. | |
| WITNESS OUR HANDS THIS ____ DAY OF _____. | |
| <small>DESIGN:</small> LRR <small>DRAWN:</small> LRR <small>CHECKED:</small> CLC <small>DATE:</small> 9/8/2023 | |
| PLANNING AND ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING | |
| <small>FILE NO.</small> 2020-021 SP-1 | |

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

STATE OF TEXAS
 DREW DONOSKY
 25661
 LICENSED PROFESSIONAL ENGINEER
 9/8/2023

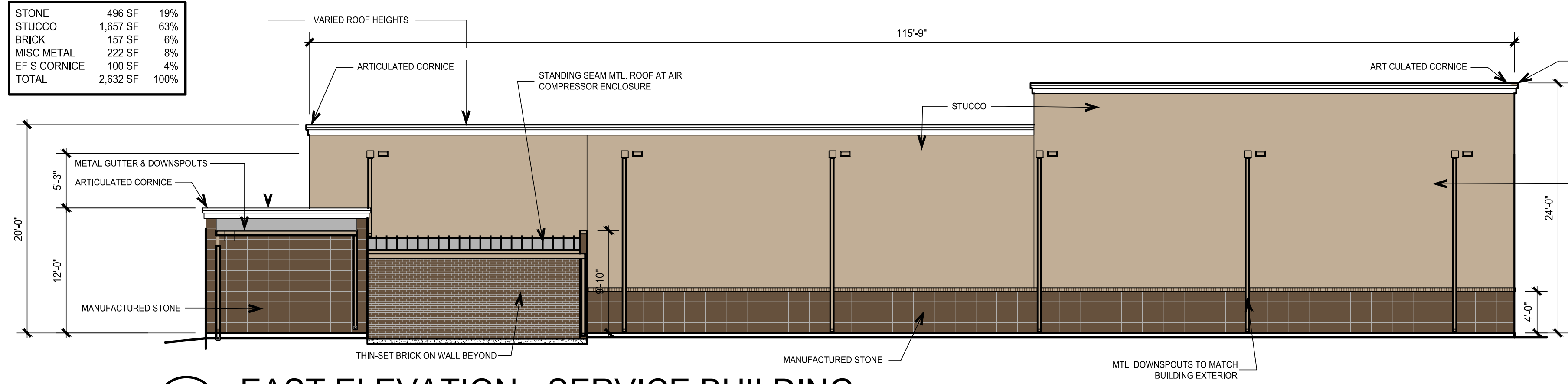
CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

CITY SITE PLAN

CITY SITE PLAN

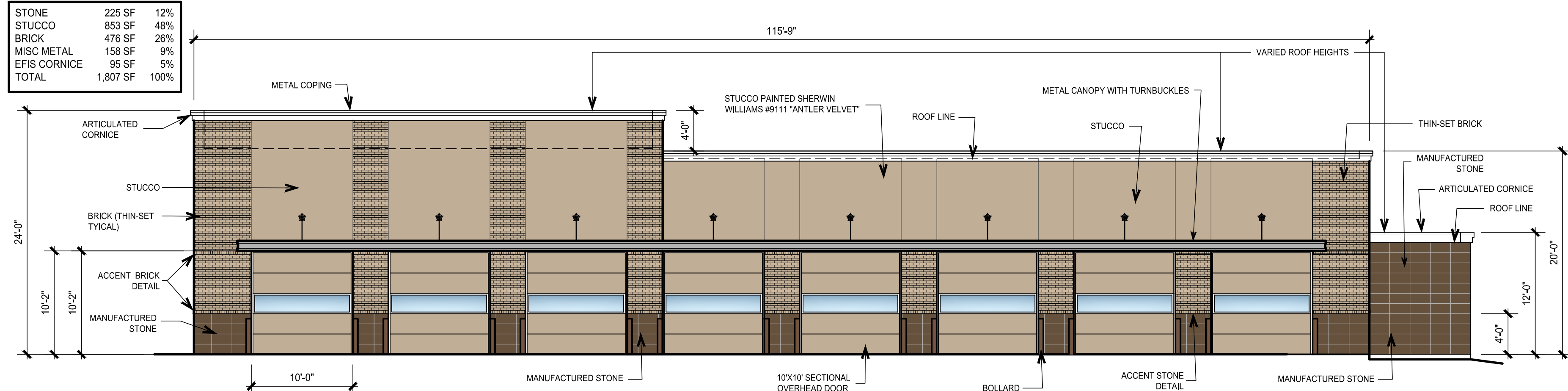
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 LAST SAVED: 9/5/2023 3:07 PM

| | | |
|--------------|----------|------|
| STONE | 496 SF | 19% |
| STUCCO | 1,657 SF | 63% |
| BRICK | 157 SF | 6% |
| MISC METAL | 222 SF | 8% |
| EFIS CORNICE | 100 SF | 4% |
| TOTAL | 2,632 SF | 100% |

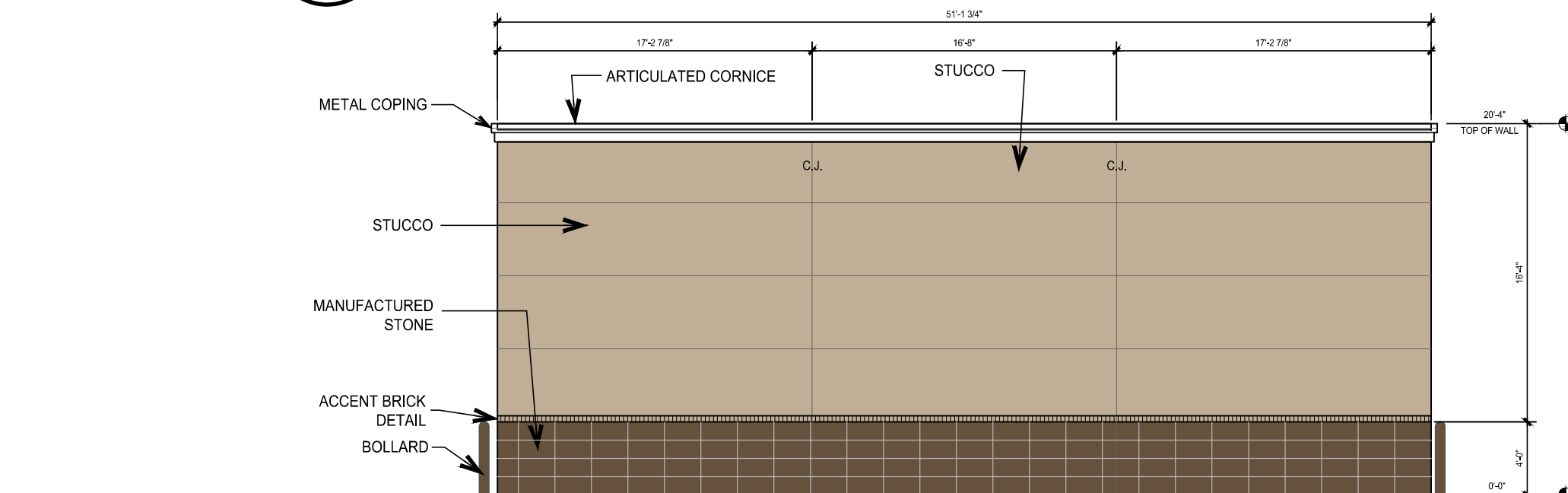


8 EAST ELEVATION - SERVICE BUILDING
SCALE 1/8"=1'-0"

| | | |
|--------------|----------|------|
| STONE | 225 SF | 12% |
| STUCCO | 853 SF | 48% |
| BRICK | 476 SF | 26% |
| MISC METAL | 158 SF | 9% |
| EFIS CORNICE | 95 SF | 5% |
| TOTAL | 1,807 SF | 100% |

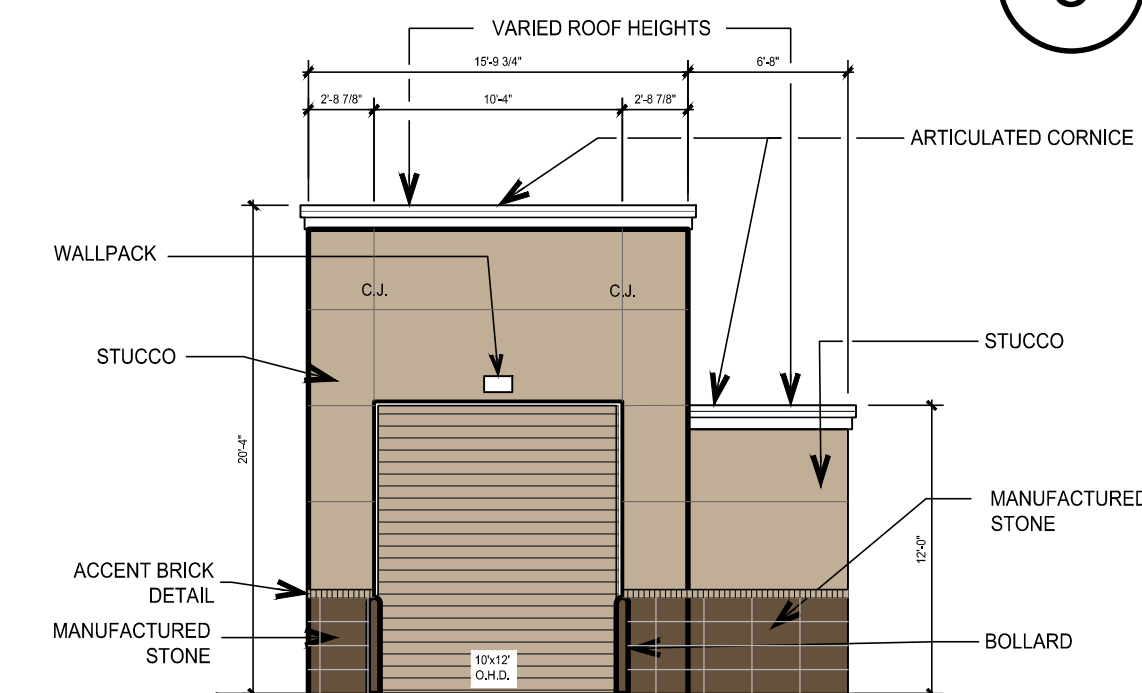


6 WEST ELEVATION - SERVICE BUILDING - FACES COMMERCE STREET
SCALE 1/8"=1'-0"



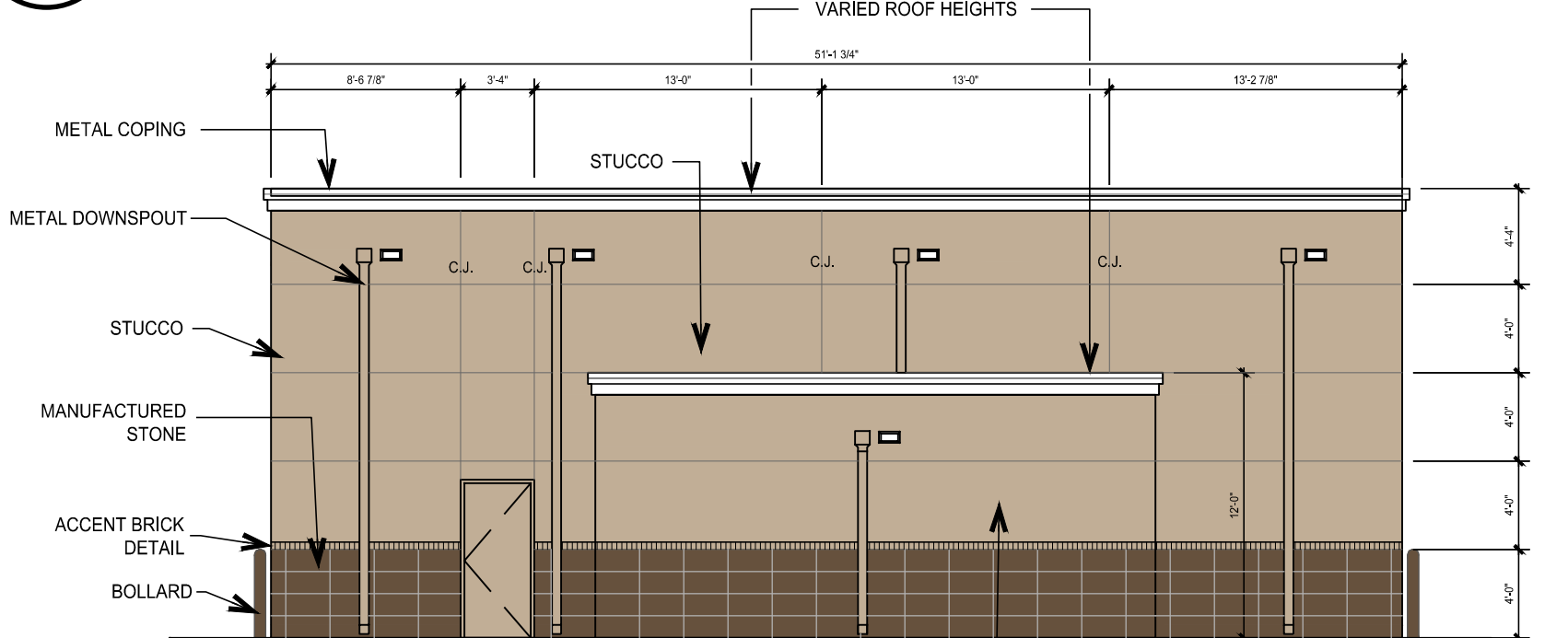
4 SOUTH ELEVATION - CAR WASH
SCALE 1/8"=1'-0"

| | | |
|--------------|----------|------|
| STONE | 205 SF | 20% |
| STUCCO | 784 SF | 75% |
| MISC METAL | 12 SF | 1% |
| EFIS CORNICE | 39 SF | 4% |
| TOTAL | 1,040 SF | 100% |



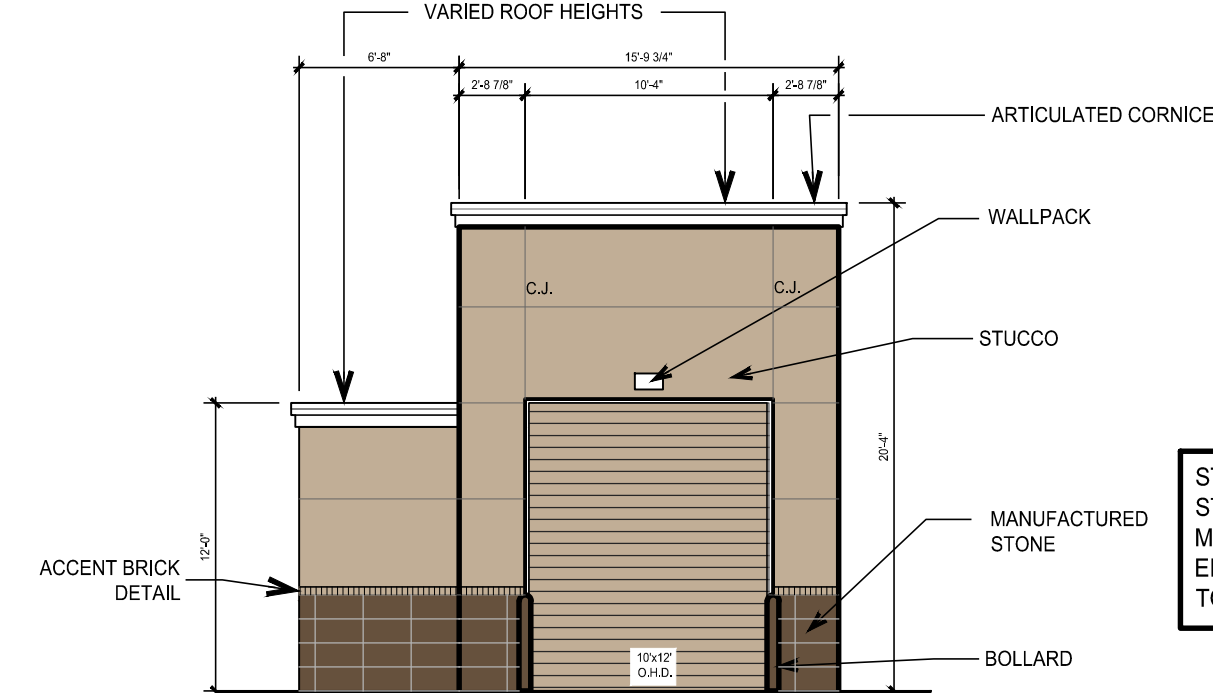
3 EAST ELEVATION - CAR WASH
SCALE 1/8"=1'-0"

| | | |
|--------------|--------|------|
| STONE | 47 SF | 17% |
| STUCCO | 204 SF | 74% |
| MISC METAL | 8 SF | 3% |
| EFIS CORNICE | 17 SF | 6% |
| TOTAL | 276 SF | 100% |



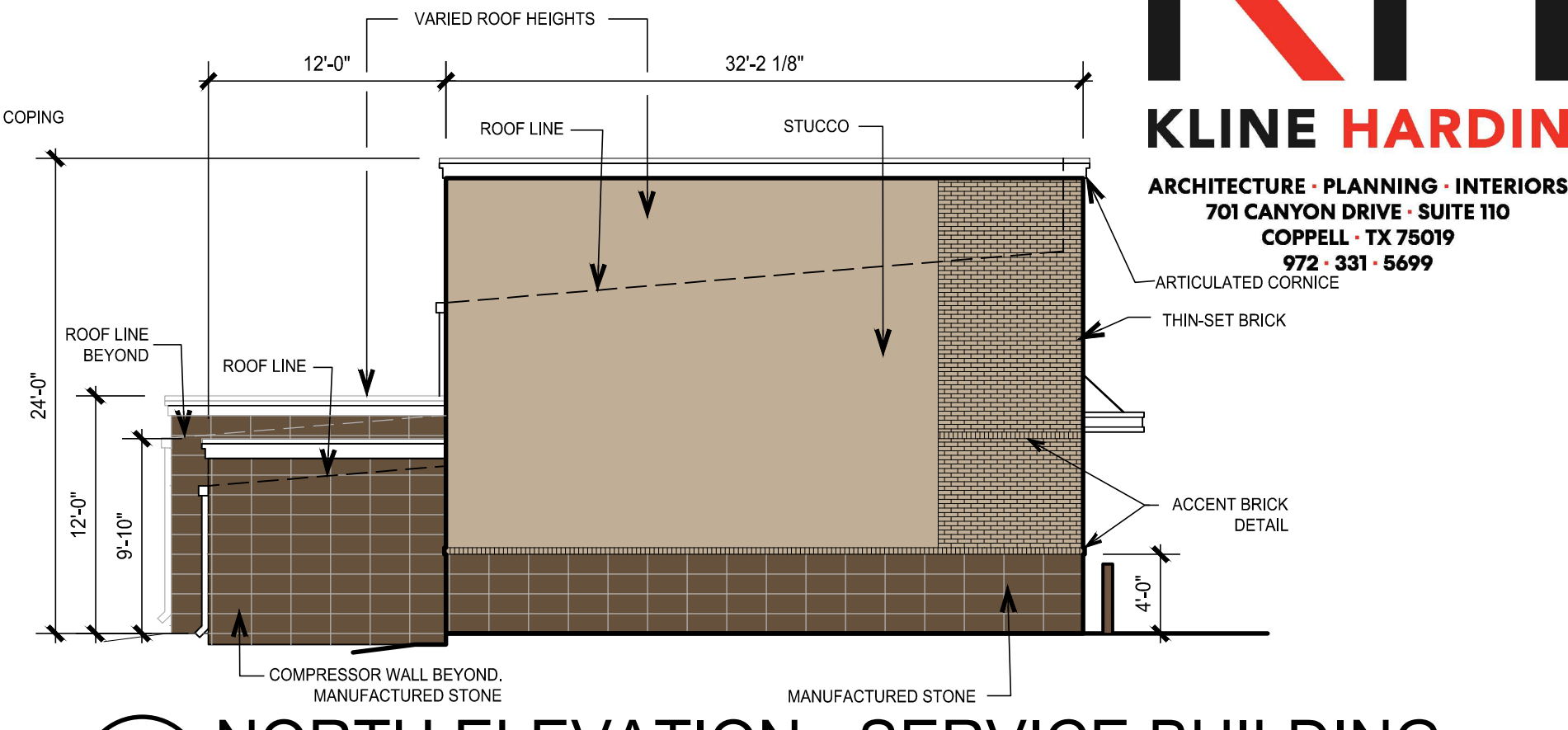
2 NORTH ELEVATION - CAR WASH
SCALE 1/8"=1'-0"

| | | |
|--------------|----------|------|
| STONE | 185 SF | 18% |
| STUCCO | 723 SF | 71% |
| MISC METAL | 50 SF | 5% |
| EFIS CORNICE | 58 SF | 6% |
| TOTAL | 1,016 SF | 100% |

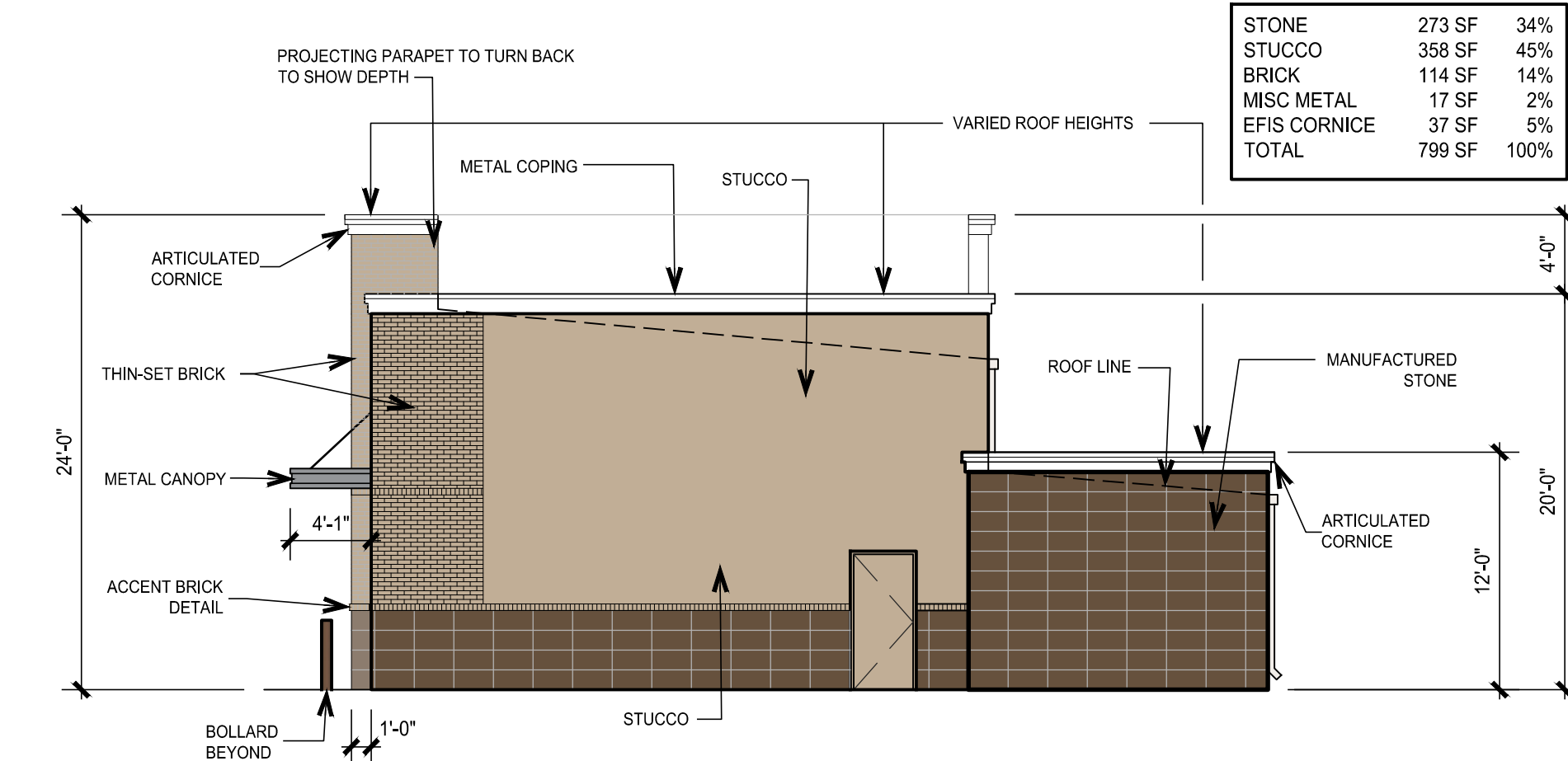


1 WEST ELEVATION - CAR WASH
SCALE 1/8"=1'-0"

| | | |
|--------------|--------|------|
| STONE | 47 SF | 17% |
| STUCCO | 204 SF | 74% |
| MISC METAL | 8 SF | 3% |
| EFIS CORNICE | 17 SF | 6% |
| TOTAL | 276 SF | 100% |



7 NORTH ELEVATION - SERVICE BUILDING
SCALE 1/8"=1'-0"



5 SOUTH ELEVATION - SERVICE BUILDING
SCALE 1/8"=1'-0"

NOTE: PARAPETS SHALL BE FINISHED WITH THE SAME MATERIAL ON BOTH SIDES. NO TPO ROOFING MATERIAL TO BE VISIBLE.

NOTE: ALL STUCCO TO BE 3-PART STUCCO

NOTE: ALL ROOF TOP EQUIPMENT TO BE SCREEN FROM VIEW.

KLINE HARDIN
ARCHITECTURE - PLANNING - INTERIORS
701 CANYON DRIVE - SUITE 110
COPPELL, TX 75019
972-331-5699

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING
REGISTERED ARCHITECT
JAMES R. MOORE
71546
STATE OF TEXAS

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

CLAY COOLEY HYUNDAI
ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:
ROCKWALL RECREATION ADDITION
LOT 1 BLOCK 1
7.17 AC (312,099 SF)

OWNER:
CLAY COOLEY AUTO
1251 E. AIRPORT FREEWAY
IRVING, TX 75062

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

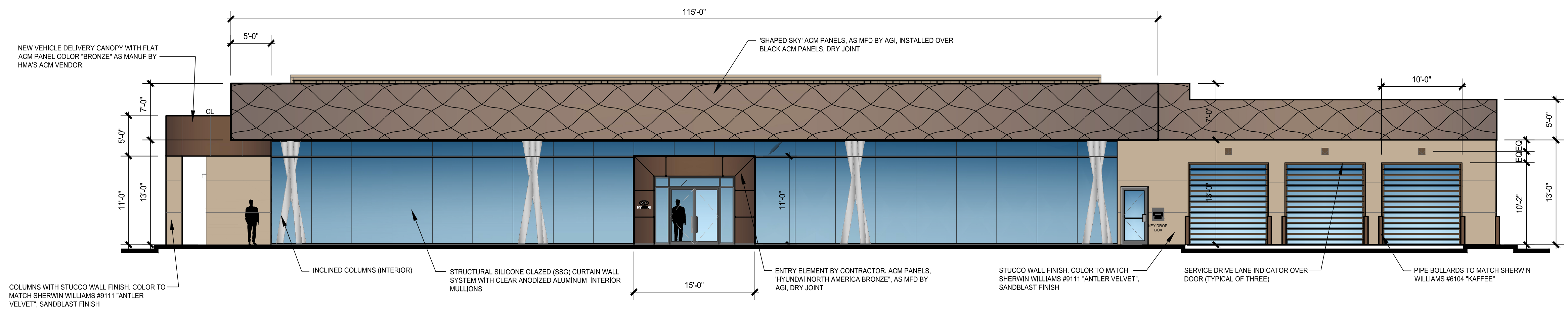
CASE NUMBER:
Z2021-049

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

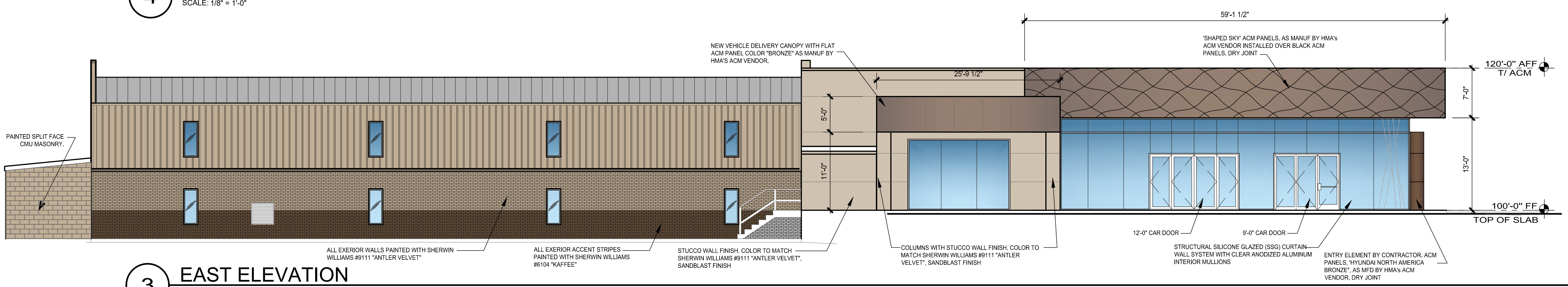
WITNESS OUR HANDS THIS ____ DAY OF ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

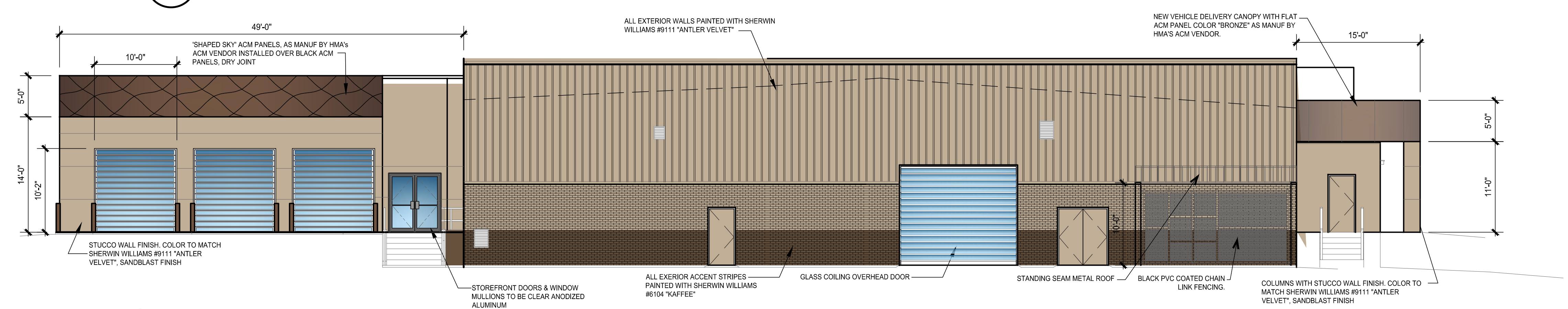
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 PLOT DATE: 9/6/2023 3:35 PM
 LOCATION: Z:\ARCHITECTURE\ACTIVE\CLAY COOLEY HYUNDAI\21034J CLAY COOLEY HYUNDAI OF ROCKWALL SERVICE\DRAWING FILES\CIVIL\ELEVATIONS FOR SITE SUBMISSION_2023-08-09\21034 CC HYUNDAI ROCKWALL S&S A4.01 ELEVATIONS_2023-08-09.DWG
 LAST SAVED: 9/5/2023 3:07 PM



4 NORTH ELEVATION - FACES I-30
SCALE: 1/8" = 1'-0"

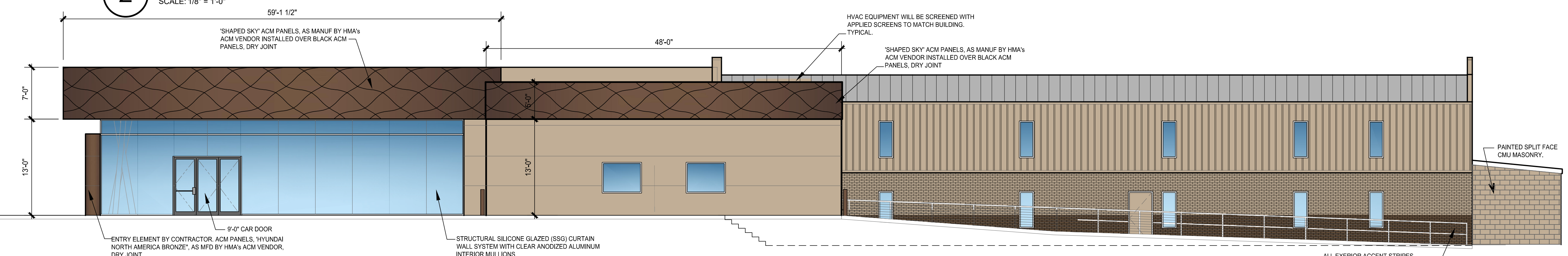


3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

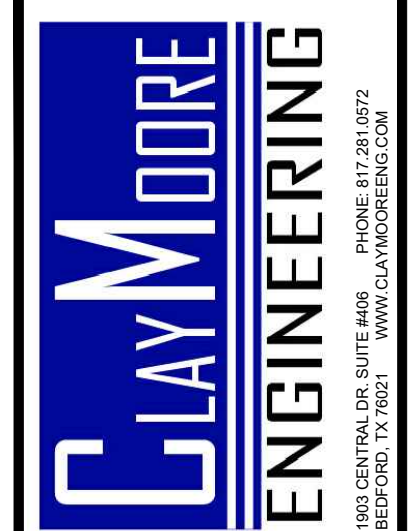


2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- NOTE: PARAPETS SHALL BE FINISHED WITH THE SAME MATERIAL ON BOTH SIDES. NO TPO ROOFING MATERIAL TO BE VISIBLE.
- NOTE: ALL STUCCO TO BE 3-PART STUCCO.
- NOTE: ALL ROOF TOP EQUIPMENT TO BE SCREENED FROM VIEW.



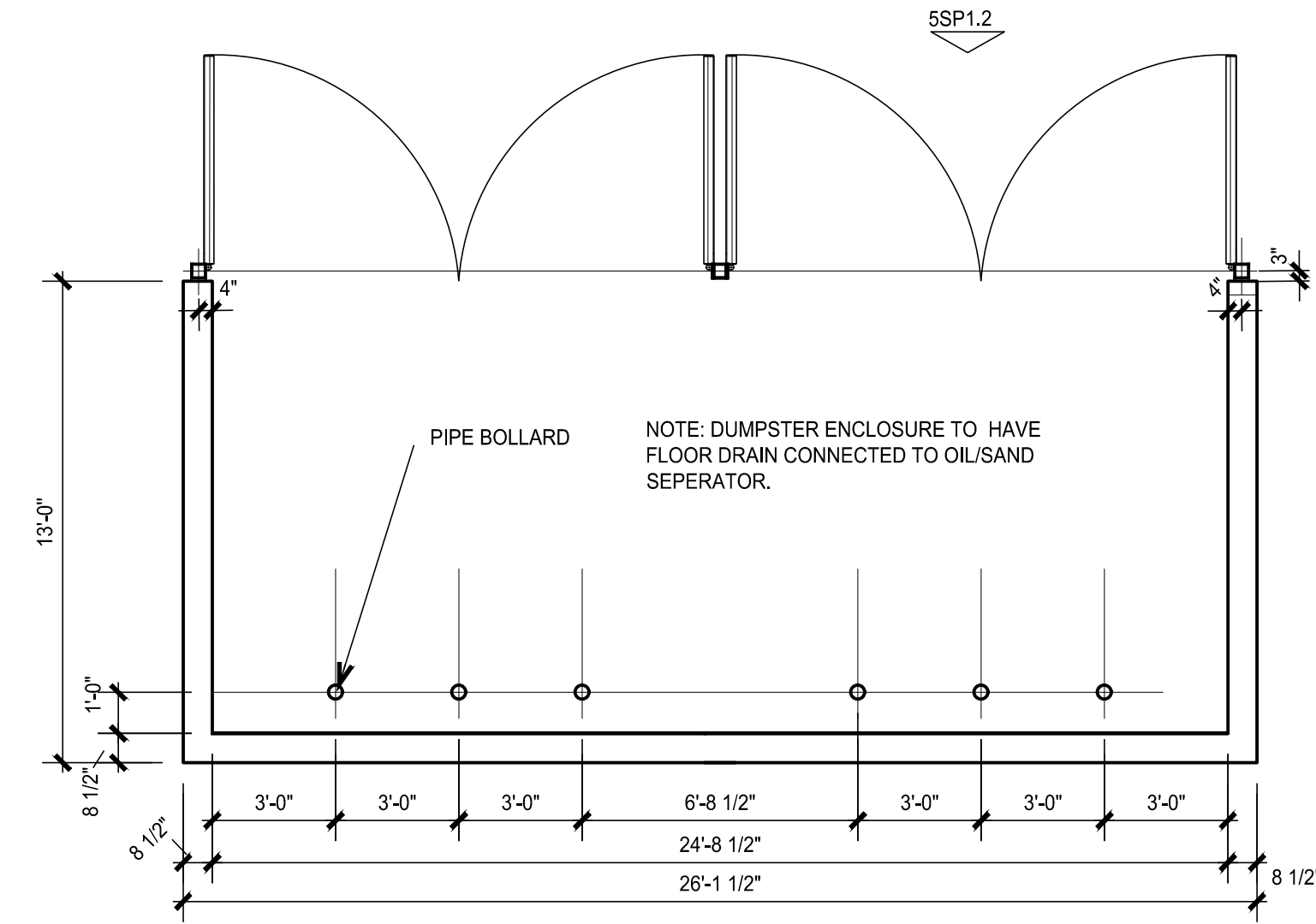
1 WEST ELEVATION - FACES COMMERCE STREET
SCALE: 1/8" = 1'-0"



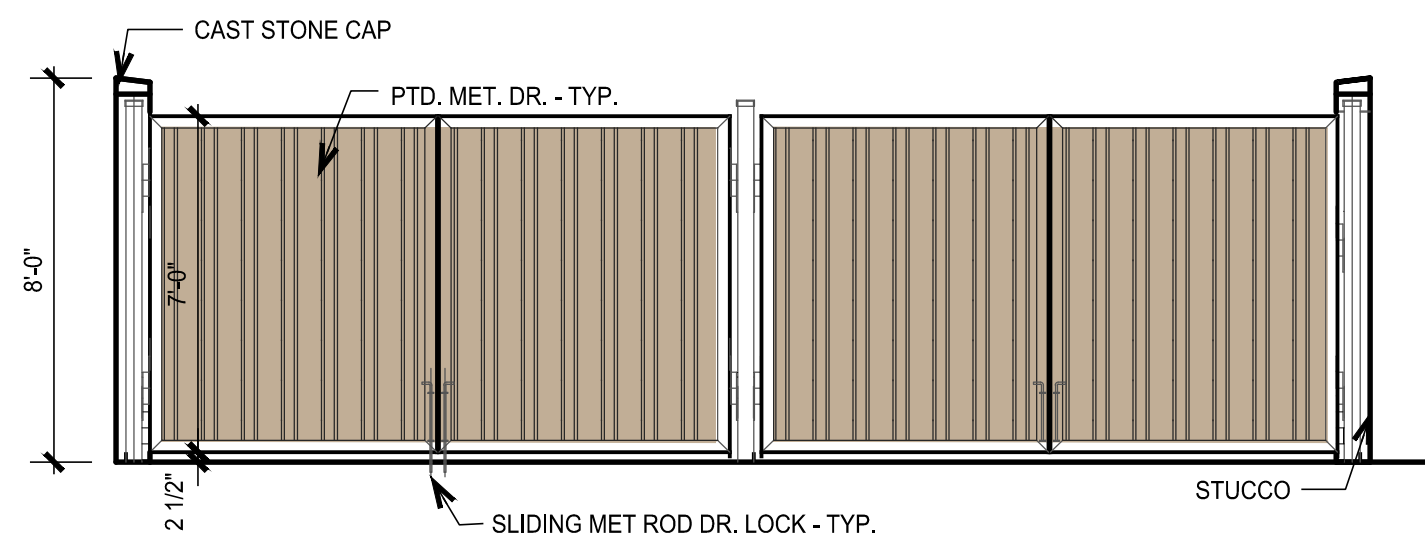
CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

| | |
|---|--|
| CLAY COOLEY HYUNDAI ROCKWALL, TX 75087 <small>LEGAL DESCRIPTION AND OR ADDRESS:</small> ROCKWALL RECREATION ADDITION LOT 1 BLOCK 1 7.17 AC (312,099 SF) | |
| <small>OWNER:</small> | |
| CLAY COOLEY AUTO 1251 E. AIRPORT FREEWAY IRVING, TX 75062 | |
| <small>APPLICANT:</small> | |
| CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 | |
| <small>CASE NUMBER</small> | |
| Z2021-049 | |
| I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____. | |
| WITNESS OUR HANDS THIS _____ DAY OF _____. | |
| PLANNING AND ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING | |

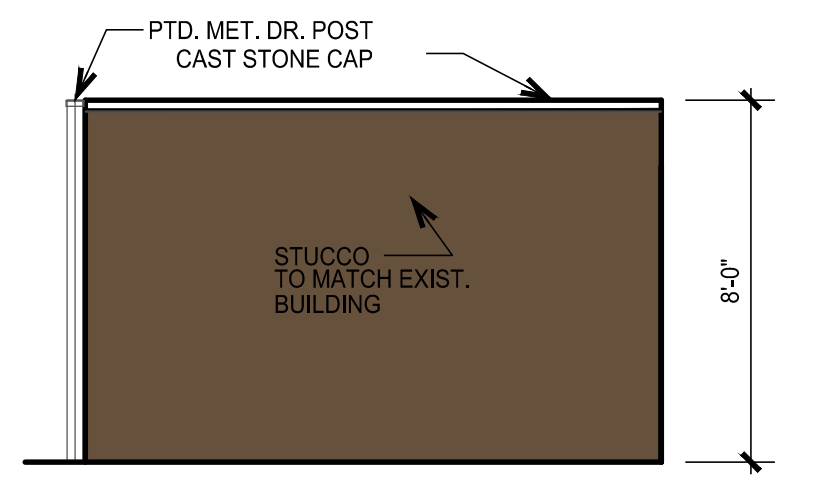
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 PLOT DATE: 9/6/2023 3:35 PM
 LOCATION: Z:\ARCHITURE\ACTIVE\CLAY COOLEY\21034-J CLAY COOLEY HYUNDAI OF ROCKWALL SERVICE\DRAWING FILES\CONSULTANTS\CIVIL\ELEVATIONS FOR SITE SUBMISSION 2023-08-09\21034 CC HYUNDAI ROCKWALL S&S A4.01 ELEVATIONS_2023-08-09.DWG
 LAST SAVED: 9/5/2023 3:07 PM



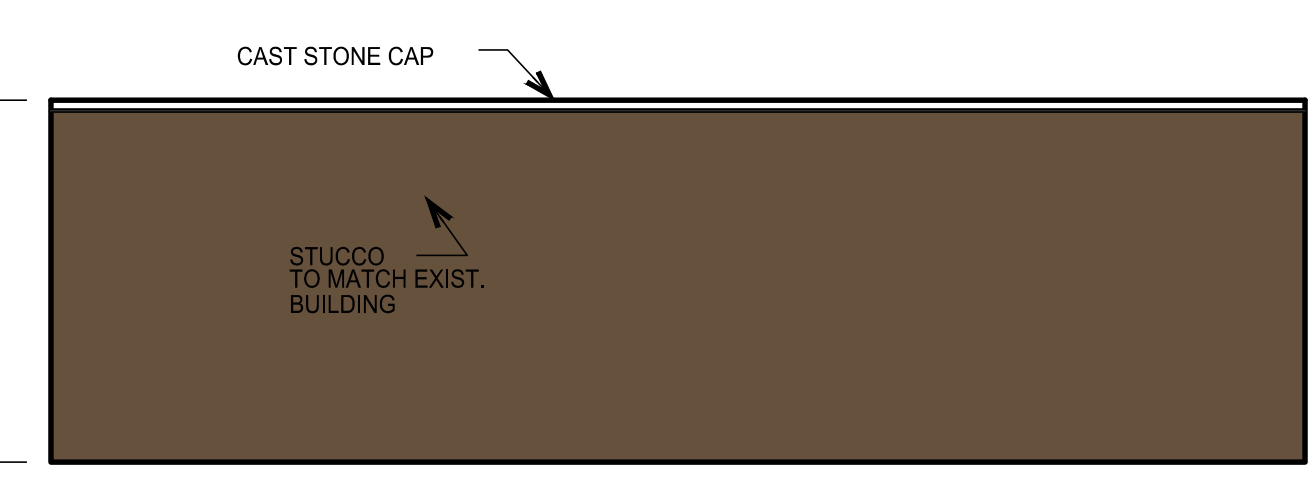
4
DUMPSTER PLAN
 SCALE: 1/4" = 1'-0"



1
DUMPSTER FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2
DUMPSTER SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

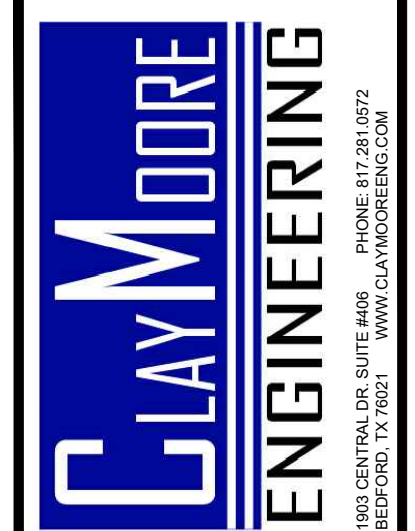


3
DUMPSTER REAR ELEVATION
 SCALE: 1/4" = 1'-0"

NOTE: ALL STUCCO TO BE 3-PART STUCCO.



GATE LATCH - HILLMASTER HEAVY DUTY SELF-LATCHING



CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

| | |
|--|--|
| CLAY COOLEY HYUNDAI ROCKWALL, TX 75087 | |
| LEGAL DESCRIPTION AND OR ADDRESS: ROCKWALL RECREATION ADDITION LOT 1 BLOCK 1 7.17 AC (312,099 SF) | |
| OWNER: CLAY COOLEY AUTO 1251 E. AIRPORT FREEWAY IRVING, TX 75062 | APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 |
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| WITNESS OUR HANDS THIS ____ DAY OF ____ | |
| PLANNING AND ZONING COMMISSION, CHAIRMAN | |
| DIRECTOR OF PLANNING AND ZONING | |

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE UDC. (ARTICLE 08, SUBSECTION 05.04)

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

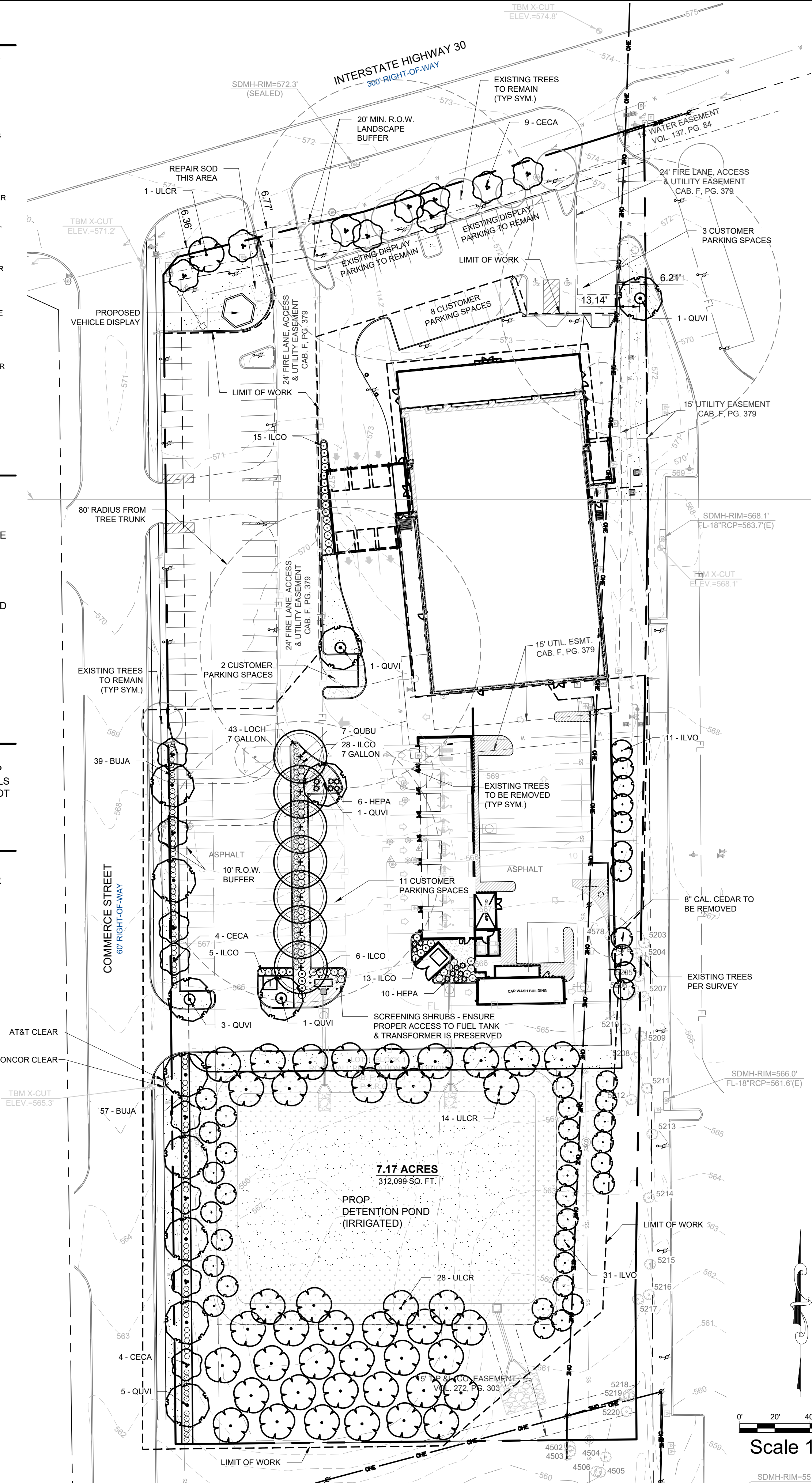
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE DATA TABLE

| | |
|---------------------|--|
| SITE AREA | 7.71 AC / 312,099 SF |
| ZONING | LI (Light Industrial) |
| PROPOSED USE | AUTO DEALER |
| BUILDING SIZE | 20,658 SF (DEALERSHIP) 850 SF (CAR WASH) 1,175 SF (OIL/LUBE) |
| LOT COVERAGE | 0.07% |
| FLOOR TO AREA RATIO | 0.07:1 |
| BUILDING HEIGHT | 1-STORY |
| SALES FLOOR AREA | 3,928 SF |
| OFFICE AREA | 1,303 SF |
| # OF BAYS | 12 |

PARKING DATA TABLE

| PARKING REQUIRED | |
|----------------------|-------------------|
| SALES FLOOR 1/250 SF | 16 SPACES |
| OFFICE SF 1/300 SF | 5 SPACES |
| 1 SPACE PER 2 BAY | 6 PARKING |
| TOTAL | 27 SPACES |
| PARKING PROVIDED | |
| DISPLAY PARKING | 87 SPACES |
| CUSTOMER PARKING | 27 (2 ADA) SPACES |



PLANTING LEGEND

| SYMBOL | BOTANIC NAME | COMMON NAME | MIN. SIZE | SPACING | QUANTITY | REMARKS |
|--------------|----------------------------|---------------|-----------------------|----------|----------|-------------|
| TREES | | | | | | |
| CECA | Cercis canadensis 'Texana' | Texas Redbud | 6'-8' high | Per plan | 17 | Accent Tree |
| ILVO | Ilex vomitoria | Yaupon Holly | 6'-8' high | Per plan | 42 | Accent Tree |
| QUBU | Quercus buckleyi | Texas Red Oak | 5" cal., 12'-15' high | Per plan | 7 | Canopy Tree |
| QUVI | Quercus virginiana | Live Oak | 5" cal., 12'-15' high | Per plan | 12 | Canopy Tree |
| ULCR | Ulmus crassifolia | Cedar Elm | 5" cal., 12'-15' high | Per plan | 43 | Canopy Tree |

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

SHRUBS

| | | | | | | |
|------|--------------------------------------|-----------------------------|---------------------|---------|---------|-------------------------------|
| BUJA | Buxus micro. japonica 'Green Beauty' | Green Beauty Boxwood | 5 gallon | 3' o.c. | 96 | |
| HEPA | Hesperaloe parviflora 'Brakelights' | Red Yucca | 5 gallon | 4' o.c. | 16 | |
| ILCO | Ilex cornuta 'Burfordii Nana' | Dwarf Burford Holly | 5 gallon / 7 gallon | 4' o.c. | 39 / 28 | See plan for 7 gal. locations |
| LOCH | Loropetalum chinense 'PILC-III' | Purple Daydream Loropetalum | 7 gallon | 3' o.c. | 43 | |

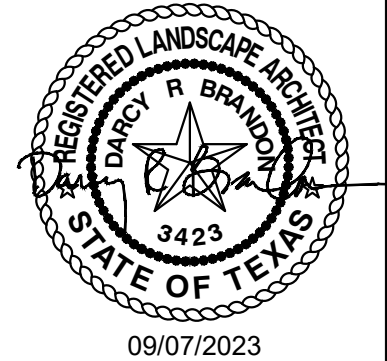
TURF AND SEED

| | | | | |
|--|-----------------------------|------------|---------------|-------------|
| Cynodon 'Tifway 419' | Tifway Hybrid Bermuda Grass | Sod | - - - | ~ 24,885 SF |
| Dam Slope Mix (Contact Native American Seed) | | Hydromulch | 20 lbs / acre | ~ 20,481 SF |

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

LANDSCAPE STANDARDS

- 08.05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:**
 - 10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
- COMMERCE STREET: ±398' OF STREET FRONTAGE**
 - 10' WIDE BUFFER REQUIRED W/ 1 CANOPY & 1 ACCENT TREE PER 50' OF FRONTAGE
- PROVIDED IN 10' BUFFER:**
 - 8 OAKS, 8 REDBUDS, SHRUBS, & GROUND COVER
- 05.06 GENERAL OVERLAY DISTRICT STANDARDS - IH-30 OVERLAY REQ. LANDSCAPE BUFFER:**
 - 20' WIDE W/ GROUND COVER & BUILT-UP BERM & SHRUBBERY ALONG ENTIRE LENGTH OF FRONTAGE, 30"-48" HIGH; 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FT. OF PRIMARY ROADWAY
 - 4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES
 - 4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY 1 CEDAR ELM + 9 REDBUDS
- ±237 ROADWAY FRONTAGE REQ. PLANTING: PROVIDED IN 20' BUFFER, EXISTING: PROPOSED IN 20' BUFFER:**
 - 4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES
 - 4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY 1 CEDAR ELM + 9 REDBUDS
- 05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING:**
 - HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
 - BOXWOOD SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGE TO MATCH EXISTING SHRUBS
- PROVIDED SCREENING:**
 - A WROUGHT IRON FENCE AND THREE (3) TIERED SCREENING (I.E. SMALL TO MID-SIZED SHRUBS, LARGE SHRUBS OR ACCENT TREES, AND CANOPY TREES) ALONG THE ENTIRE LENGTH OF THE ADJACENCY. THE CANOPY TREES SHALL BE PLACED ON 20-FOOT CENTERS.
- REQUIRED SCREENING OF SERVICE BAYS:**
 - TEXAS RED OAK TREES, DWARF BURFORD HOLLY, AND PURPLE DAYDREAM LOROPETALUM ARE PROPOSED TO PROVIDE THE THREE-TIER PLANTING SCREEN.
- 05.03 LANDSCAPE REQUIREMENTS - L-1 DISTRICT**
 - TOTAL SITE AREA: 312,099 SF
 - LANDSCAPE AREA REQUIRED TOTAL SITE: 62,420 SF (20%)
 - LANDSCAPE PROVIDED, TOTAL SITE: ±79,574 SF (25%)
- LOCATION OF LANDSCAPING:**
 - MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
- MIN. SIZE OF AREAS**
 - ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
- DETENTION BASINS**
 - DETENTION BASIN AREA: ±31,539 SF
 - REQUIRED TREES: 42 CANOPY TREES & 42 ACCENT TREES
 - PROVIDED TREES: 42 CEDAR ELM & 42 YAUPON HOLLY
- PARKING LOT LANDSCAPING**
 - MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
 - 27 (2 ADA) SPACES. ±20,759 SF
 - 87 SPACES, ±27,124 SF
 - 1,038 SF (5%)
 - 3,734 SF (18%)
 - REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
- PROPOSED CUSTOMER PARKING AREA:** 27 (2 ADA) SPACES. ±20,759 SF
- PROPOSED DISPLAY PARKING AREA:** 87 SPACES, ±27,124 SF
- REQ. PARKING LOT LANDSCAPING:** 1,038 SF (5%)
- PROPOSED PARKING LOT LANDSCAPING:** 3,734 SF (18%)



I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
DREW DONOSKY
Engineer, No. 125651, Date: 9/7/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

LANDSCAPE PLANTING PLAN

DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 02-02-2020

SHEET
LP-1

File No. 2020-021

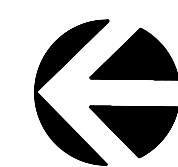
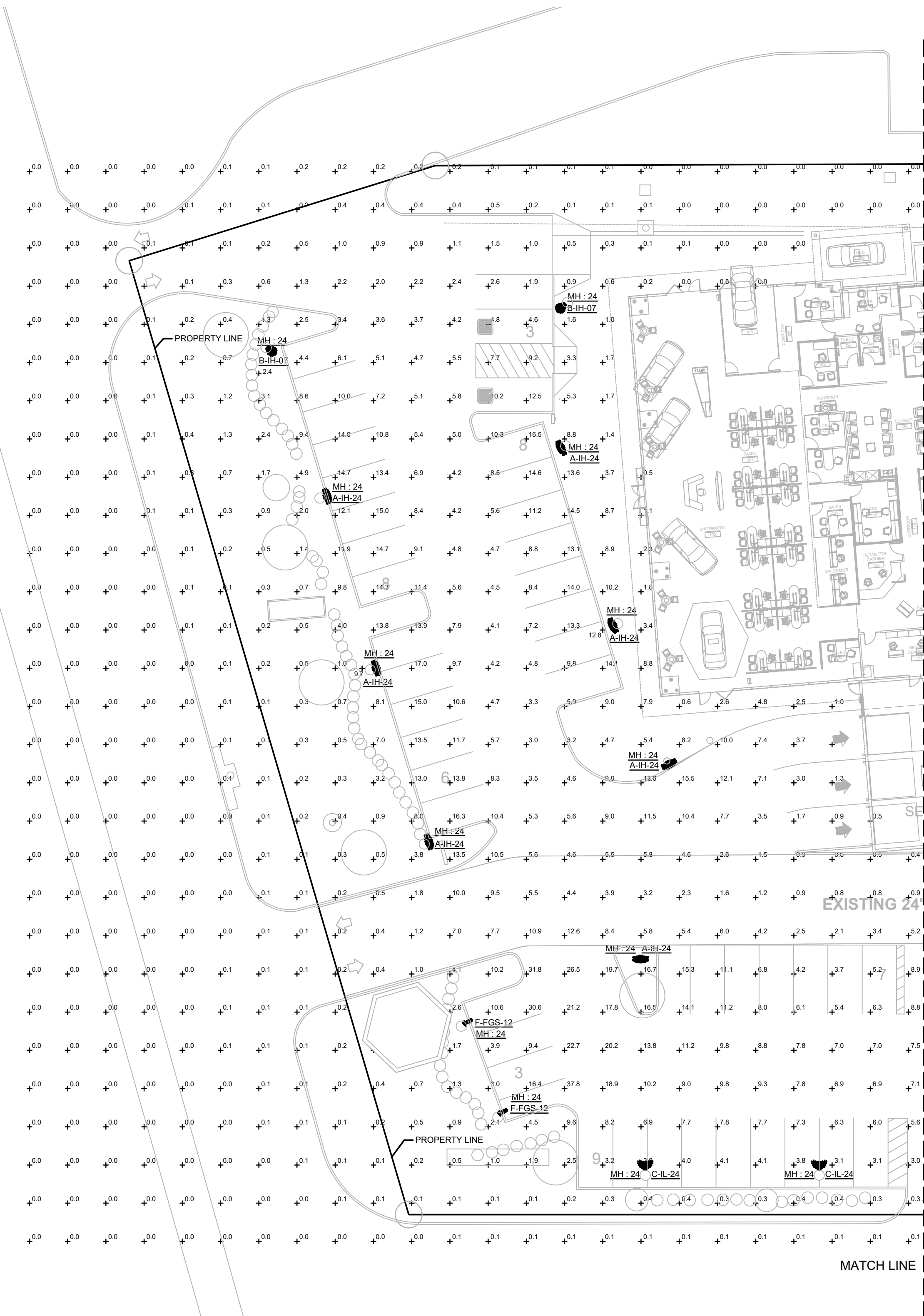
PLOTTED BY: DARCY BRANDON
 PLOT DATE: 9/7/2023 12:32 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\UBLA_PROJECTS\2021\EDG\COOLEY HYUNDAI - ROCKWALL, TX\COOLEY HYUNDAI - ROCKWALL LP_2023-09-07.DWG
 LAST SAVED: 9/7/2023 12:32 PM

| Schedule | | | | | | | | |
|----------|----------|----------|----------------------|--|--------------|-----------------|-------------------|---------|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage |
| □ | A-IH-24 | 12 | LSI INDUSTRIES, INC. | MRM-LED-24L-SIL-FTA-50-70CRI-IH | 1 | 19613 | .9 | 176 |
| □ | B-IH-07 | 2 | LSI INDUSTRIES, INC. | MRM-LED-07L-SIL-AM-50-70CRI-IH | 1 | 5944 | .9 | 48 |
| □ | C-IL-24 | 8 | LSI INDUSTRIES, INC. | MRM-LED-24L-SIL-FT-50-70CRI-IL | 1 | 16438 | .9 | 176 |
| □ | D-36 | 2 | LSI INDUSTRIES, INC. | MRM-LED-36L-SIL-FT-50-70CRI | 1 | 38298 | .9 | 288 |
| □ | D-IL-36 | 1 | LSI INDUSTRIES, INC. | MRM-LED-36L-SIL-FT-50-70CRI-IL | 1 | 24246 | .9 | 288 |
| □ | F-FGS-12 | 2 | LSI INDUSTRIES, INC. | PFL-LED-12L-PC-MF-50-80FGS FLOOD LIGHT MOUNTED @ 45 DEGREE ROTATION | 1 | 12380 | .9 | 102 |
| □ | W | 10 | LSI INDUSTRIES, INC. | XWM-FT-LED-03L-50 | 1 | 3296 | .9 | 23 |

| Statistics | | | | | |
|--------------|--------|--------|---------|--------|------------------|
| Description | Symbol | Avg | Max | Min | Mounting Heights |
| Calc Zone #1 | + | 3.4 fc | 37.8 fc | 0.1 fc | 24' |

NOTES:

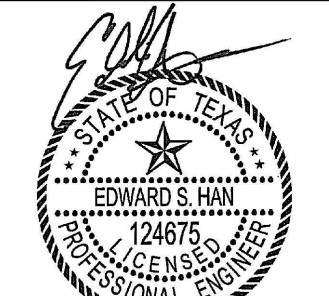
1. ALL SITE LIGHTING SHALL COMPLY WITH CITY OF ROCKWALL EXTERIOR ILLUMINATION ORDINANCES AND REGULATIONS.
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH 2018 IECC REQUIREMENTS AND REGULATIONS.
3. PHOTOMETRIC CALCULATIONS INCLUDE NEW LIGHT POLES, ALONG WITH REPLACEMENT LED HEADS ON EXISTING POLES.
4. ALL PARKING LOT POLE LIGHTING SHALL BE LED.



1

SITE PLAN - PHOTOMETRICS - AREA A

SCALE: 1" = 20'-0"



08/18/2023

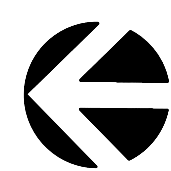
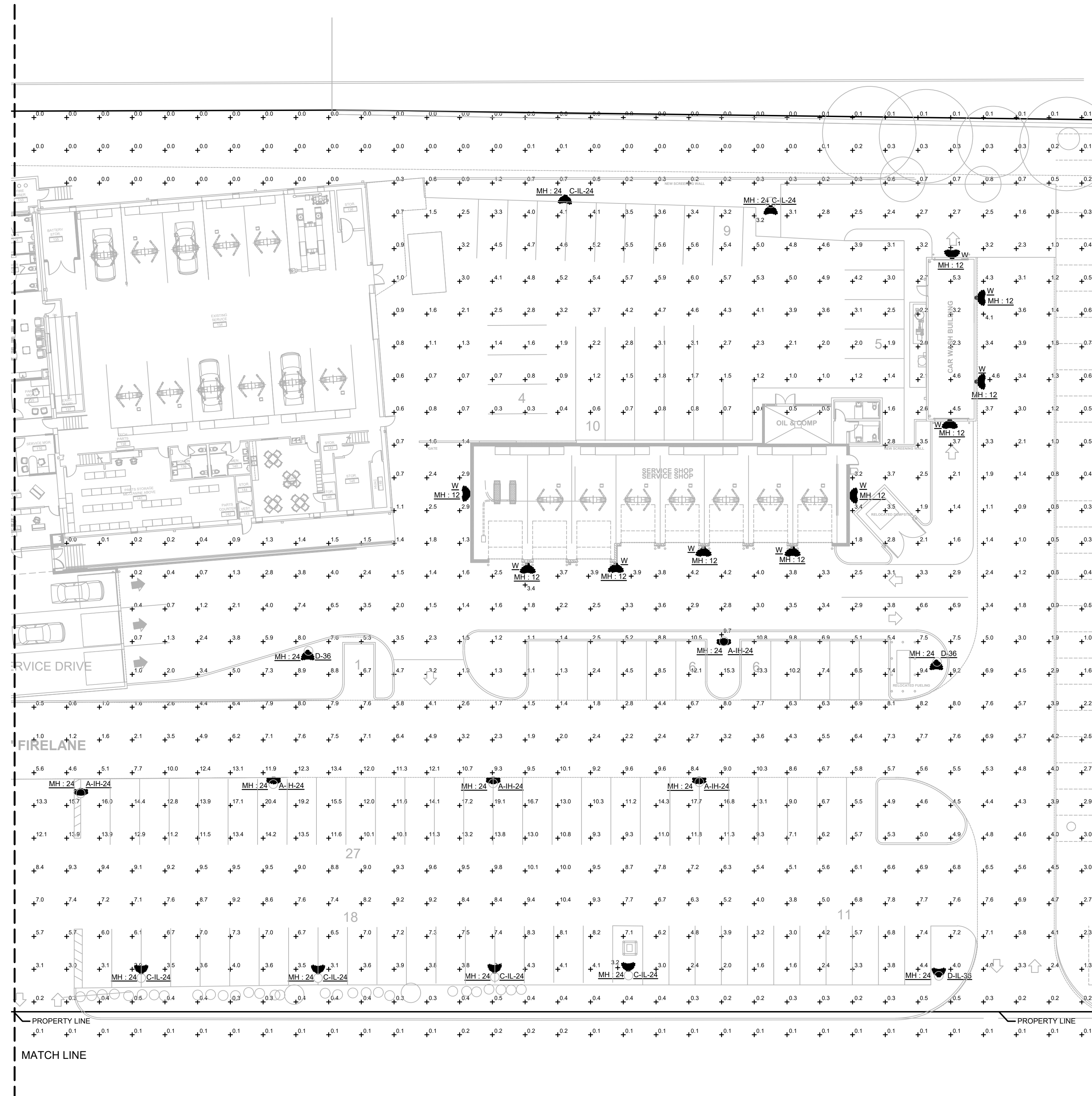
CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

COUNSEL

MEP Engineering Services
5757 Alpha Rd., Suite 450
Dallas, Texas 75240
972.707.3540
TX Firm No. F-18894
CE #21070

DESIGN:
DRAWN:
CHECKED:
DATE: 08/18/2023

SHEET
E1.02A

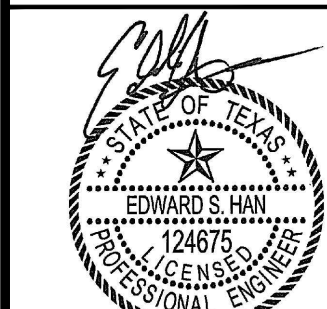


1

SITE PLAN - PHOTOMETRICS - AREA B

SCALE: 1" = 20'-0"

TEXAS REGISTRATION #14199



08/18/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

COUNSEL

M&P Engineering Services
 5757 Alpha Rd., Suite 450
 Dallas, Texas 75240
 972.707.3540
 TX Firm No. F-18994
 CE #21070

DESIGN:
 DRAWN:
 CHECKED:
 DATE: 08/18/2023

SHEET
E1.02B

File No. 2 OF 2



PFL (12L & 16L) LED High Performance Flood

The PFL is a high performance flood ideal for a wide variety of commercial and landscape environments such as parking areas, pathways, building facades, loading docks, and general site lighting applications. Multiple mounting options, color temperatures and lumen packages provide superior performance to meet most specifications.

Features & Specifications

Optical System

- LSI flood lights utilize individual lenses for maximum light intensity.
- Lenses are made of optical grade polycarbonate guaranteeing more footcandles, less glare and less wasted light.
- Standard distribution is NEMA floodlight (7H x 7V) Wide Flood.
- Available in 4000K and 5000K color temperatures.
- Minimum CRI of 80

Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: > 100k Hours (See Lumen Maintenance on Page 3)
- Total harmonic distortion: <20%
- Operating temperature: -20°C to +45°C (-4°F to 113°C)
- Power factor: >.90
- High-efficacy LEDs with integrated circuit board mount directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed. Note: FCC Part 15, class B standards.
- Minimum 6kV surge rating.

Construction

- Precision Die cast-aluminum housing for durability and consistency.
- Heat and impact resistant polycarbonate lens (IK 9 rated).
- IP66 rated luminaire protects integral components from harsh environments.
- Wireway enclosure is sealed with a water-tight, silicon rubber gasket.
- Optional glare shields (full & half) & wire guards are available.
- Optional NEMA photocell installation kit provides watertight photocell attachment to driver enclosure clover.
- Rated for 3G protection.
- Salt fog tested for 1,000 hours (ASTM B117). After salt fog testing, paint rated at 9 per ASTM D1654-05 scratch test.



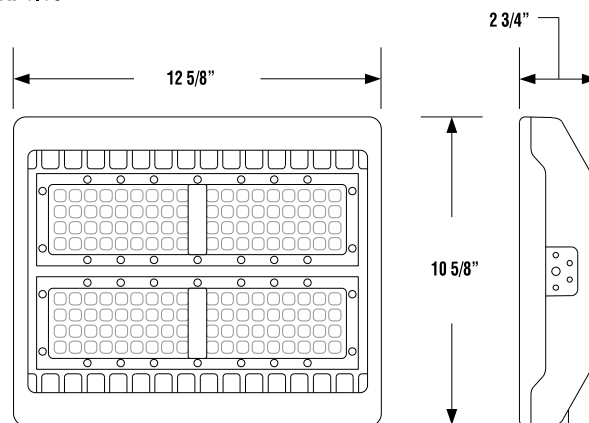
IP66



Dimensions

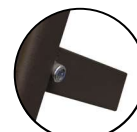
Shipping Weight: 10.8 lbs (12L) & 11 lbs (16L)

EPA: 1.10



Mounting Options

- Slip-fitter mount provides attachment to poles 2 3/8" O.D. tenon).
- Adjustable Steel Arm Mount Option provides secure attachment to flat surfaces.

Slip-Fitter
Mount OptionAdjustable Steel
Arm MountTrunnion
Mount



PFL (12L & 16L) LED High Performance Flood

Features & Specifications (cont.)

Installation

- Easy installation in new construction or retrofit applications.
- Slip-fitter mount provides attachment to poles 2 3/8" O.D. tenon).
- Adjustable Steel Arm Mount Option provides secure attachment to flat surfaces.

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- DesignLights Consortium® (DLC Premium) qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/GPL to confirm which versions are qualified.
- Suitable For Wet Locations.
- IP66 rated Luminaire.
- Complies with EN61000-4-5, surge immunity (6kV).

Luminaire Ordering Guide

TYPICAL ORDER EXAMPLE: **PFL LED 12L PC WF UNV DIM 40 80 CR3P BRZ SF**

| Luminaire Prefix | LED Technology | Lumen Package | Lens Type | Distribution | Line Voltage | Driver | Color Temp | CRI | Controls | Finish | Options |
|-------------------------------|----------------|--------------------------------------|--------------------|-----------------|-------------------------|--------------------------|--------------------------|-------------|---------------------|--------------|---|
| PFL - Performance Flood Light | LED | 12L - 12,000 lms 16L - 16,000 lms | PC - Polycarbonate | WF - Wide Flood | UNV - Universal Voltage | DIM - Dim to 10% (0-10V) | 40 - 4000K 50 - 5000K | 80 - 80 CRI | CR3P - Photocontrol | BRZ - Bronze | TR - Trunion Mount SF - Slip Fitter Mount SA - Adjustable Steel Arm Mount |

Accessory Ordering Information (Accessories are field installed)

| Description | Order Number |
|--|--------------|
| PFL 12L/16L WG - Wire Guard for 12L, 16L | 698627 |
| PFL 12L/16L HGS - Half Glare Shield for 12L, 16L | 698493 |
| PFL 12L/16L FGS - Full Glare Shield for 12L 16L | 698640 |



Full Glare Shield



Half Glare Shield



Wire Guard



PFL (12L & 16L) LED High Performance Flood

Performance

| ELECTRICAL DATA (AMPS)* | | | | |
|-------------------------|-------|------|------|------|
| Lumen Package | Watts | 120V | 208V | 240V |
| 12L | 100 | 0.83 | 0.48 | 0.42 |
| 16L | 136 | 1.13 | 0.65 | 0.56 |

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

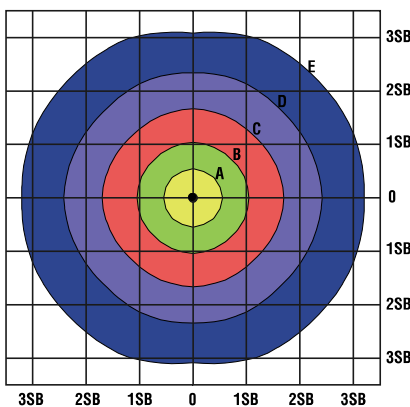
| RECOMMENDED LUMEN MAINTENANCE (12L-16L) ¹ | | | | |
|--|----------------------|-----------------------|-----------------------|-----------------------|
| Ambient Temperature | Initial ² | 25K hrs. ² | 50K hrs. ² | 75K hrs. ³ |
| 0-40C | 99% | 97% | 95% | 92% |

- 1 - Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- 2 - In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- 3 - Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing times the IESNA LM-80-08 total test duration for the device under testing

Photometry

| DELIVERED LUMENS* | | | | | | | |
|-------------------------|------------------|---------------|---------------|--------|--------|-------|-----|
| Catalog Number | Nema Type(H x V) | Field (H x V) | Beam (H x V) | Max Cd | Lumens | Watts | LPW |
| PFL-LED-12L-PC-WF-40-80 | 7 x 7 | 150 x 176.2 | 120.2 x 163.5 | 3,581 | 11,787 | 100 | 118 |
| PFL-LED-12L-PC-WF-50-80 | 7 x 7 | 150 x 176.2 | 120.2 x 163.5 | 3,333 | 10,970 | 100 | 110 |
| PFL-LED-16L-PC-WF-40-80 | 7 x 7 | 150 x 176.2 | 120.2 x 163.5 | 4,933 | 16,238 | 136 | 119 |
| PFL-LED-16L-PC-WF-50-80 | 7 x 7 | 150 x 176.2 | 120.2 x 163.5 | 4,591 | 15,112 | 135 | 112 |

*LED Chips are frequently updated therefore values are nominal.



| 20' Set Back - Foot-Candle Values from Chart | | | | | |
|--|------|------|------|------|------|
| Flood Configuration | A | B | C | D | E |
| PFL-LED-12L-PC-WF-40-80CRI | 2.34 | 1.56 | 0.78 | 0.39 | 0.19 |
| PFL-LED-12L-PC-WF-50-80CRI | 2.18 | 1.45 | 0.73 | 0.36 | 0.18 |
| PFL-LED-16L-PC-WF-40-80CRI | 3.22 | 2.15 | 1.07 | 0.54 | 0.27 |
| PFL-LED-16L-PC-WF-50-80CRI | 3.00 | 2.00 | 1.00 | 0.50 | 0.25 |

Multiply the FC values on the 20' Set Back chart by the Alternate Set Back factors to obtain the corresponding values for the Set Back desired.

| Multipliers for Alternate Set Backs | |
|-------------------------------------|--------|
| SetBack | Factor |
| 12 | 2.78 |
| 14 | 2.04 |
| 16 | 1.56 |
| 18 | 1.23 |
| 20 | 1.00 |
| 22 | 0.83 |
| 24 | 0.69 |
| 26 | 0.59 |
| 28 | 0.51 |
| 30 | 0.44 |



Mirada Medium (MRM)

Outdoor LED Area Light



OVERVIEW

| | |
|----------------------|----------------|
| Lumen Package | 7,000 - 48,000 |
| Wattage Range | 48 - 401 |
| Efficacy Range (LPW) | 117 - 160 |
| Weight lbs(kg) | 30 (13.6) |

QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10KV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth[™] motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink[™] wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details).

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

Specifications and dimensions subject to change without notice.





Mirada Medium Outdoor LED Area Light

ORDERING GUIDE

[Back to Quick Links](#)TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

| Luminaire Prefix | Light Source | Lumen Package | Light Output | Distribution | Orientation ² | Voltage | Driver |
|--|--------------|---|-----------------------|--|---|---|------------------------------------|
| MRM - Mirada | LED | 7L - 7,000 lms 9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms Custom Lumen Packages ¹ | SIL - Silicone | 2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise | (blank) - standard L - Optics rotated left 90° R - Optics rotated right 90° | UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V) | DIM - 0-10V Dimming (0-10%) |
| Color Temp | | Color Rendering | | Finish | | Options | |
| 50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber ¹² | | 70CRI - 70 CRI | | BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White | | (Blank) - None IH - Integral Houseside Shield² IL - Integral Louver (Sharp Spill Light Cutoff) ² | |

Controls (Choose One)

| | | |
|---|---|---|
| (Blank) - None | Stand-Alone Controls EXT - 0-10v Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle ANSI C136.41 ⁶ IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24" MH) ⁵ IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40" MH) ⁵ | Lutron Limelight Controls LLC - LimeLight Integral Wireless Radio Control by Lutron ⁴ LLCS1 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 8-15' mt height ⁴ LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 16-30' mt height ⁴ LLCS3 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 31-40' mt height ⁴ |
| Wireless Controls System ALSC - AirLink Synapse Control System ALSCH - AirLink Synapse Control System Host / Satellite ³ ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALSCS02 - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor ³ ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor ALSCS04 - AirLink Synapse Control System Host / Satellite with 20-40' Motion Sensor ³ ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) | Button Type Photocells PCI120 - 120V PCI208-277 - 208 - 277V PCI347 - 347V | |

Accessory Ordering Information⁷

| Controls Accessories | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| PC120 Photocell for use with CR7P option (120V) ⁸ | 122514 |
| PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) ⁸ | 122515 |
| Twist Lock Photocell (347V) for use with CR7P ⁸ | 122516 |
| Twist Lock Photocell (480V) for use with CR7P ⁸ | 122518 |
| AirLink 5 Pin Twist Lock Controller ⁸ | 661409 |
| AirLink 7 Pin Twist Lock Controller ⁸ | 661410 |
| PMOS24-24V Pole-Mounted Occupancy Sensor (24V) | 663284CLR |
| Shorting Cap for use with CR7P | 149328 |

| Mounting Accessories ⁹ | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| Universal Mounting Bracket | 684616CLR |
| Adjustable Slip Fitter (2" - 2 3/8" Tenon) | 688138CLR |
| Horizontal Slip Fitter (2" - 2 3/8" Tenon) | 652761CLR |
| Quick Mount Pole Bracket (Square Pole) | 687073CLR |
| Quick Mount Pole Bracket (4-5" Round Pole) | 689903CLR |
| 15 Tilt Quick Mount Pole Bracket (Square Pole) | 688003CLR |
| 15 Tilt Quick Mount Pole Bracket (4-5" Round Pole) | 689905CLR |
| Wall Mount Bracket | 382132CLR |
| Wood Pole Bracket (6" Minimum Pole Diameter) | 751219CLR |

| Fusing Options ¹¹ | | Shielding Options | |
|------------------------------|--|-------------------|-------------------------------------|
| Description | Order Number | | |
| Single Fusing (120V) | See Fusing Accessory Guide | Mirada Small | See Shielding Guide |
| Single Fusing (277V) | | Mirada Medium | |
| Double Fusing (208V, 240V) | | Mirada Large | |
| Double Fusing (480V) | | Zone Medium | |
| Double Fusing (347V) | | Zone Large | |
| | | Slice Medium | |

| Miscellaneous Accessories | |
|--|--------------|
| Description | Order Number |
| Integral Louver/Shield | 690981 |
| Integral House Side Shield | 743415 |
| 10' Linear Bird Spike Kit (3' Recommended per Luminaire) | 751632 |

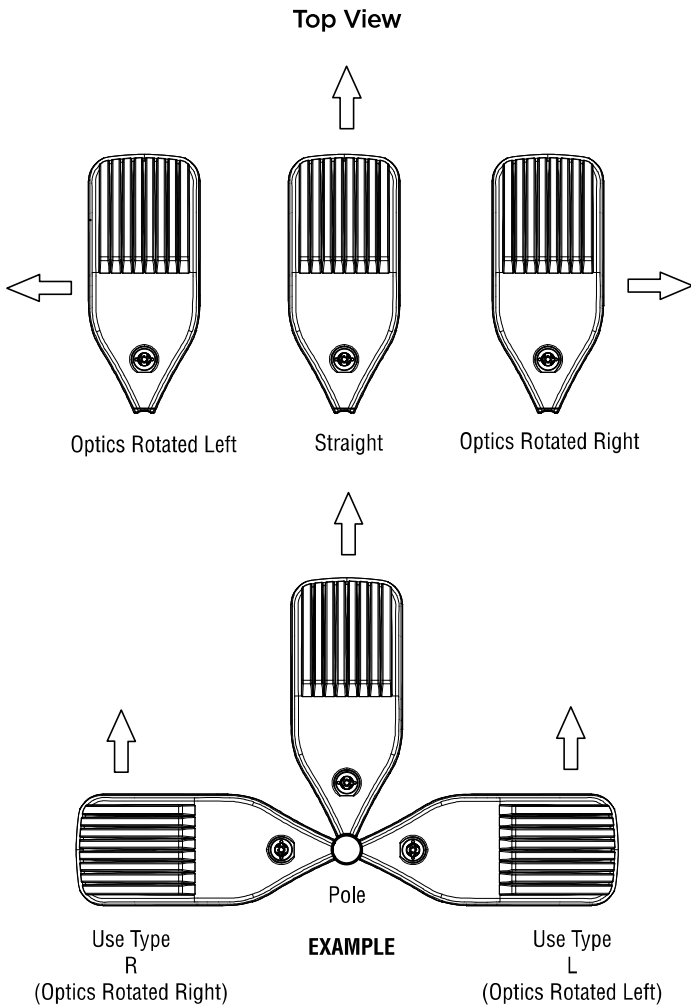
FOOTNOTES:

- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available with 5W distribution
- Consult Factory for availability.
- Not available in HV.
- IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
- Accessories are shipped separately and field installed.
- Factory installed CR7P option required. See Options.
- "CLR" denotes finish. See Finish options.
- Only available with ALSC/ALSCH control options.
- Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
- Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.



Mirada Medium Outdoor LED Area Light

OPTICS ROTATION



ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with IMSBT & IL/IH Options



7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with PCR 7P





Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PERFORMANCE

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 7L | 2 | 70 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 48 |
| | 3 | | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | |
| | 5W | | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | |
| | FT | | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | |
| | FTA | | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | |
| | AM | | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | |
| 9L | 2 | 70 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 62 |
| | 3 | | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | |
| | 5W | | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | |
| | FT | | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | |
| | FTA | | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | |
| | AM | | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | |
| 12L | 2 | 70 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 85 |
| | 3 | | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | |
| | 5W | | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | |
| | FT | | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | |
| | FTA | | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | |
| | AM | | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | |
| 18L | 2 | 70 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 135 |
| | 3 | | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | |
| | 5W | | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | |
| | FT | | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | |
| | FTA | | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | |
| | AM | | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | |
| 24L | 2 | 70 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 176 |
| | 3 | | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | |
| | 5W | | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | |
| | FT | | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | |
| | FTA | | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | |
| | AM | | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | |
| 30L | 2 | 70 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 232 |
| | 3 | | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | |
| | 5W | | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | |
| | FT | | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | |
| | FTA | | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | |
| | AM | | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | |
| 36L | 2 | 70 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 288 |
| | 3 | | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | |
| | 5W | | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | |
| | FT | | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | |
| | FTA | | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | |
| | AM | | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | |





Mirada Medium Outdoor LED Area Light

PERFORMANCE (CONT.)

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 42L | 2 | 70 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 354 |
| | 3 | | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | |
| | 5W | | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | |
| | FT | | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | |
| | FTA | | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | |
| | AM | | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | |
| 48L | 2 | 70 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 401 |
| | 3 | | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | |
| | 5W | | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | |
| | FT | | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | |
| | FTA | | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | |
| | AM | | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | |

| ELECTRICAL DATA (AMPS)* | | | | | | |
|-------------------------|------|------|------|------|------|------|
| Lumens | 120V | 208V | 240V | 277V | 347V | 480V |
| 7L | 0.40 | 0.23 | 0.20 | 0.17 | 0.14 | 0.10 |
| 9L | 0.52 | 0.30 | 0.26 | 0.22 | 0.18 | 0.13 |
| 12L | 0.71 | 0.41 | 0.35 | 0.31 | 0.24 | 0.18 |
| 18L | 1.13 | 0.65 | 0.56 | 0.49 | 0.39 | 0.28 |
| 24L | 1.47 | 0.85 | 0.73 | 0.64 | 0.51 | 0.37 |
| 30L | 1.93 | 1.12 | 0.97 | 0.84 | 0.67 | 0.48 |
| 36L | 2.40 | 1.38 | 1.20 | 1.04 | 0.83 | 0.60 |
| 42L | 2.95 | 1.70 | 1.48 | 1.28 | 1.02 | 0.74 |
| 48L | 3.4A | 1.9A | 1.7A | 1.5A | 1.2A | 0.8A |

| ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)* | | | | | | | |
|--|-------|------|------|------|------|------|------|
| Lumens | Watts | 120V | 208V | 240V | 277V | 347V | 480V |
| 9L | 74.3 | 0.6A | 0.4A | 0.3A | 0.3A | 0.2A | 0.2A |
| 12L | 102.9 | 0.9A | 0.5A | 0.4A | 0.4A | 0.3A | 0.2A |

*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

| RECOMMENDED LUMEN MAINTENANCE ¹ (7-18L) | | | | | |
|--|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-50 C | 100% | 96% | 92% | 88% | 84% |

| RECOMMENDED LUMEN MAINTENANCE ¹ (24-48L) | | | | | |
|---|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-40 C | 100% | 100% | 97% | 94% | 92% |

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

| DELIVERED LUMENS* | | | | | |
|-------------------|--------------|---------------------------------------|----------|------------|---------|
| Lumen Package | Distribution | Phosphor Converted Amber (Peak 610nm) | | | Wattage |
| | | Delivered Lumens | Efficacy | BUG Rating | |
| 9L | 2 | 5848 | 80 | B2-U0-G2 | 74 |
| | 2 - IL | 3644 | 50 | B0-U0-G1 | |
| | 3 | 6018 | 82 | B1-U0-G2 | |
| | 3 - IL | 4468 | 61 | B0-U0-G2 | |
| | 5W | 5471 | 74 | B3-U0-G1 | |
| | FT | 5801 | 79 | B1-U0-G2 | |
| | FT - IL | 3649 | 50 | B0-U0-G1 | |
| | FTA | 5924 | 81 | B1-U0-G1 | |
| 12L | 2 | 7530 | 74 | B2-U0-G2 | 102 |
| | 2 - IL | 4692 | 46 | B0-U0-G1 | |
| | 3 | 7749 | 76 | B1-U0-G2 | |
| | 3 - IL | 5753 | 57 | B0-U0-G2 | |
| | 5W | 7045 | 69 | B3-U0-G2 | |
| | FT | 7470 | 73 | B2-U0-G2 | |
| | FT - IL | 4699 | 46 | B0-U0-G2 | |
| | FTA | 7628 | 75 | B2-U0-G2 | |
| FTA-IL | 5464 | 54 | B1-U0-G1 | | |

*LEDs are frequently updated therefore values are nominal.





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <https://www.lsicorp.com/product/mirada-medium/> for detailed photometric data.

MRM-LED-30L-SIL-2-40-70CRI

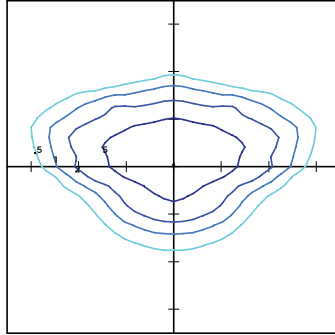
LUMINAIRE DATA

| Type 2 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,416 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type II - Short |
| BUG Rating | B4-U0-G3 |

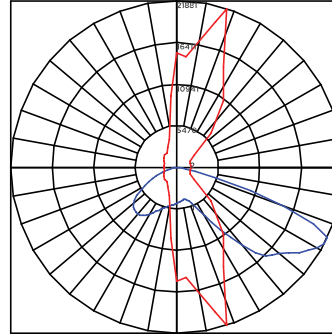
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 4796 | 15% |
| Medium (30-60)° | 19811 | 61% |
| High (60-80)° | 7474 | 23% |
| Very High (80-90)° | 335 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32416 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-3-40-70CRI

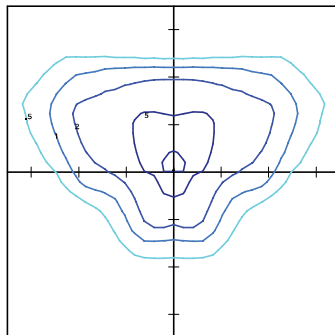
LUMINAIRE DATA

| Type 3 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,656 |
| Watts | 232 |
| Efficacy | 141 |
| IES Type | Type III - Short |
| BUG Rating | B3-U0-G4 |

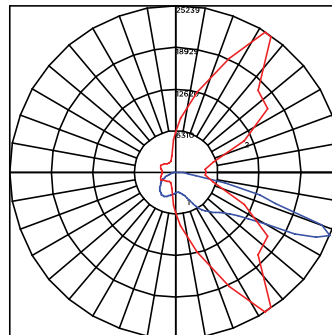
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3385 | 10% |
| Medium (30-60)° | 16250 | 50% |
| High (60-80)° | 12430 | 38% |
| Very High (80-90)° | 591 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32656 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-FT-40-70CRI

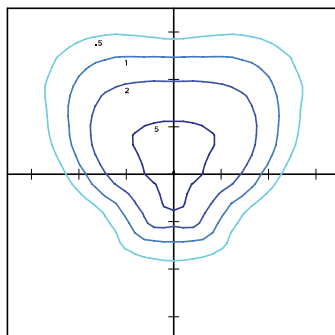
LUMINAIRE DATA

| Type FT Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,424 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type IV - Short |
| BUG Rating | B3-U0-G4 |

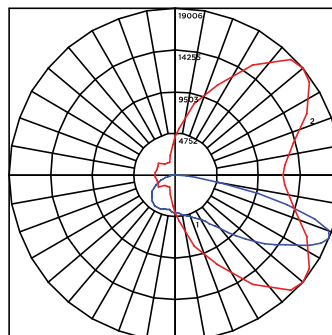
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3952 | 12% |
| Medium (30-60)° | 15505 | 48% |
| High (60-80)° | 12279 | 38% |
| Very High (80-90)° | 688 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32424 | 100% |

ISO FOOTCANDLE



POLAR CURVE



20' Mounting Height/ 15' Grid Spacing

■ 20 FC ■ 10 FC ■ 5 FC ■ 2 FC





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS (CONT)

MRM-LED-30L-SIL-5W-40-70CRI

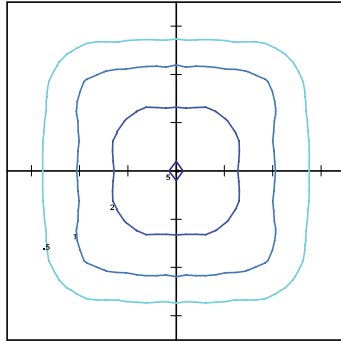
LUMINAIRE DATA

| Type 5W Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 31,267 |
| Watts | 232 |
| Efficacy | 135 |
| IES Type | Type VS - Short |
| BUG Rating | B5-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3138 | 10% |
| Medium (30-60)° | 13193 | 42% |
| High (60-80)° | 14641 | 47% |
| Very High (80-90)° | 296 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 31267 | 100% |

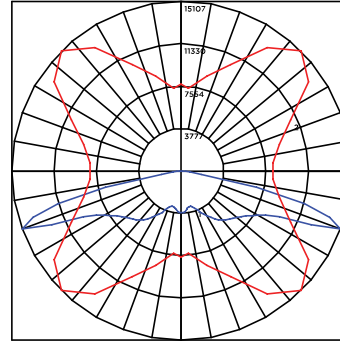
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC
 ■ 2 FC
 ■ 1 FC
 ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-FTA-40-70CRI

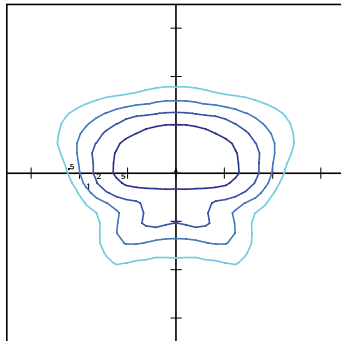
LUMINAIRE DATA

| Type FTA Distribution | |
|-----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,566 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type VS - Short |
| BUG Rating | B4-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6986 | 21% |
| Medium (30-60)° | 19172 | 59% |
| High (60-80)° | 5875 | 18% |
| Very High (80-90)° | 534 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32566 | 100% |

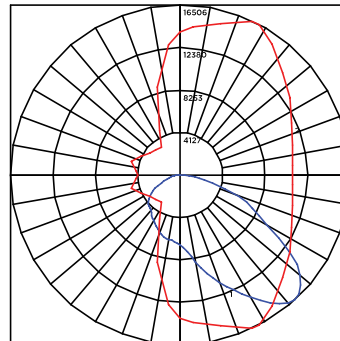
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC
 ■ 2 FC
 ■ 1 FC
 ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-AM-40-70CRI

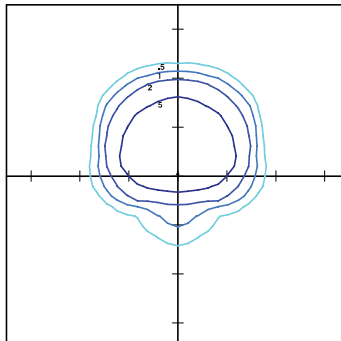
LUMINAIRE DATA

| Type AM Distribution | |
|----------------------|-----------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,960 |
| Watts | 232 |
| Efficacy | 142 |
| IES Type | Type III - Very Short |
| BUG Rating | B3-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6363 | 9% |
| Medium (30-60)° | 22026 | 43% |
| High (60-80)° | 4192 | 48% |
| Very High (80-90)° | 379 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32960 | 100% |

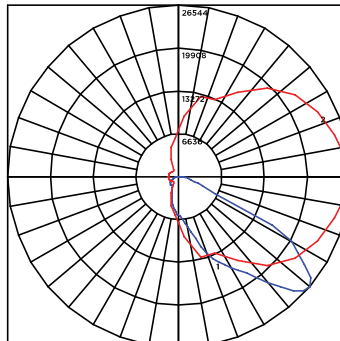
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC
 ■ 2 FC
 ■ 1 FC
 ■ 0.5 FC

POLAR CURVE

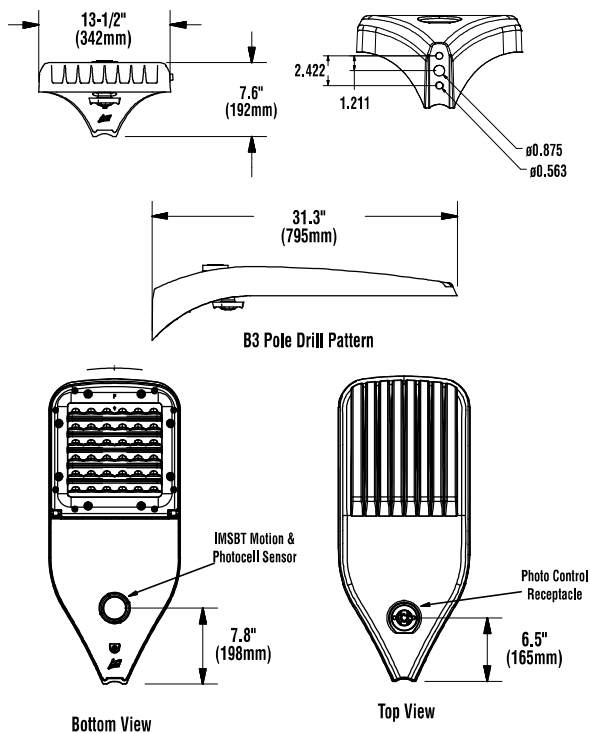




Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PRODUCT DIMENSIONS



| LUMINAIRE EPA CHART - MRM | | | | | | | | | |
|---------------------------|--|-----|-----|-----|-------------|--|-----|-----|-----|
| Tilt Degree | | 0° | 30° | 45° | Tilt Degree | | 0° | 30° | 45° |
| Single | | 0.5 | 1.5 | 1.9 | T90° | | 1.0 | 2.5 | 2.8 |
| D180° | | 1.0 | 1.5 | 1.9 | TN120° | | 1.0 | 3.3 | 3.9 |
| D90° | | 0.8 | 1.9 | 2.3 | Q90° | | 1.0 | 2.5 | 2.8 |

CONTROLS

AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

<https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf>

Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

<https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf>

AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

<https://www.lsicorp.com/product/airlink-blue/>





Mirada Medium Outdoor LED Area Light

POLES & BRACKETS

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our oven baked DuraGrip Protection System. Also available with our DuraGrip+ Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

<https://www.lsicorp.com/products/poles-brackets/>



BKA UMB CLR

The 3G rated UMB allows for seamless integration of LSI luminaires onto existing/ retrofit or new construction poles. The UMB was designed for square or round (tapered or straight) poles with two mounting hole spacings between 3.5" – 5".



BKS PQM15 CLR

The Pole Quick Mount Bracket allows for preset 15° up tilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.



BKA ASF CLR

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a 2" iron pipe, 2 3/8 OD tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



BKS PQMH CLR

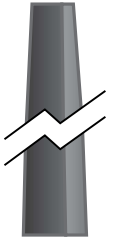
The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's B3 or B5 standard pole bolt patterns.



Square Pole
14'-39'



Round Pole
10'-30'



Tapered Pole
20'-39'





Mirada Medium (MRM)

Outdoor LED Area Light



OVERVIEW

| | |
|----------------------|----------------|
| Lumen Package | 7,000 - 48,000 |
| Wattage Range | 48 - 401 |
| Efficacy Range (LPW) | 117 - 160 |
| Weight lbs(kg) | 30 (13.6) |

QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10KV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth[™] motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink[™] wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details).

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

Specifications and dimensions subject to change without notice.





Mirada Medium Outdoor LED Area Light

ORDERING GUIDE

[Back to Quick Links](#)TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

| Luminaire Prefix | Light Source | Lumen Package | Light Output | Distribution | Orientation ² | Voltage | Driver |
|--|--------------|---|-----------------------|--|---|---|------------------------------------|
| MRM - Mirada | LED | 7L - 7,000 lms 9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms Custom Lumen Packages ¹ | SIL - Silicone | 2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise | (blank) - standard L - Optics rotated left 90° R - Optics rotated right 90° | UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V) | DIM - 0-10V Dimming (0-10%) |
| Color Temp | | Color Rendering | | Finish | | Options | |
| 50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber ¹² | | 70CRI - 70 CRI | | BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White | | (Blank) - None IH - Integral Houseside Shield² IL - Integral Louver (Sharp Spill Light Cutoff) ² | |

Controls (Choose One)

| | | |
|--|---|---|
| (Blank) - None | Stand-Alone Controls EXT - 0-10v Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle ANSI C136.41 ⁶ IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24" MH) ⁵ IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40" MH) ⁵ | Lutron Limelight Controls LLC - LimeLight Integral Wireless Radio Control by Lutron ⁴ LLCS1 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 8-15' mt height ⁴ LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 16-30' mt height ⁴ LLCS3 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 31-40' mt height ⁴ |
| Wireless Controls System ALSC - AirLink Synapse Control System ALSCH - AirLink Synapse Control System Host / Satellite ³ ALSCHS02 - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor ALSCHS02 - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor ³ ALSCHS04 - AirLink Synapse Control System with 20-40' Motion Sensor ALSCHS04 - AirLink Synapse Control System Host / Satellite with 20-40' Motion Sensor ³ ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) | Button Type Photocells PCI120 - 120V PCI208-277 - 208 - 277V PCI347 - 347V | |

Accessory Ordering Information⁷

| Controls Accessories | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| PC120 Photocell for use with CR7P option (120V) ⁸ | 122514 |
| PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) ⁸ | 122515 |
| Twist Lock Photocell (347V) for use with CR7P ⁸ | 122516 |
| Twist Lock Photocell (480V) for use with CR7P ⁸ | 1225180 |
| AirLink 5 Pin Twist Lock Controller ⁸ | 661409 |
| AirLink 7 Pin Twist Lock Controller ⁸ | 661410 |
| PMOS24-24V Pole-Mounted Occupancy Sensor (24V) | 663284CLR |
| Shorting Cap for use with CR7P | 149328 |

| Mounting Accessories ⁹ | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| Universal Mounting Bracket | 684616CLR |
| Adjustable Slip Fitter (2" - 2 3/8" Tenon) | 688138CLR |
| Horizontal Slip Fitter (2" - 2 3/8" Tenon) | 652761CLR |
| Quick Mount Pole Bracket (Square Pole) | 687073CLR |
| Quick Mount Pole Bracket (4-5" Round Pole) | 689903CLR |
| 15 Tilt Quick Mount Pole Bracket (Square Pole) | 688003CLR |
| 15 Tilt Quick Mount Pole Bracket (4-5" Round Pole) | 689905CLR |
| Wall Mount Bracket | 382132CLR |
| Wood Pole Bracket (6" Minimum Pole Diameter) | 751219CLR |

| Fusing Options ¹¹ | | Shielding Options | |
|------------------------------|----------------------------|-------------------|---------------------|
| Description | Order Number | | |
| Single Fusing (120V) | See Fusing Accessory Guide | Mirada Small | See Shielding Guide |
| Single Fusing (277V) | | Mirada Medium | |
| Double Fusing (208V, 240V) | | Mirada Large | |
| Double Fusing (480V) | | Zone Medium | |
| Double Fusing (347V) | | Zone Large | |
| | | Slice Medium | |

| Miscellaneous Accessories | |
|--|--------------|
| Description | Order Number |
| Integral Louver/Shield | 690981 |
| Integral House Side Shield | 743415 |
| 10' Linear Bird Spike Kit (3' Recommended per Luminaire) | 751632 |

FOOTNOTES:

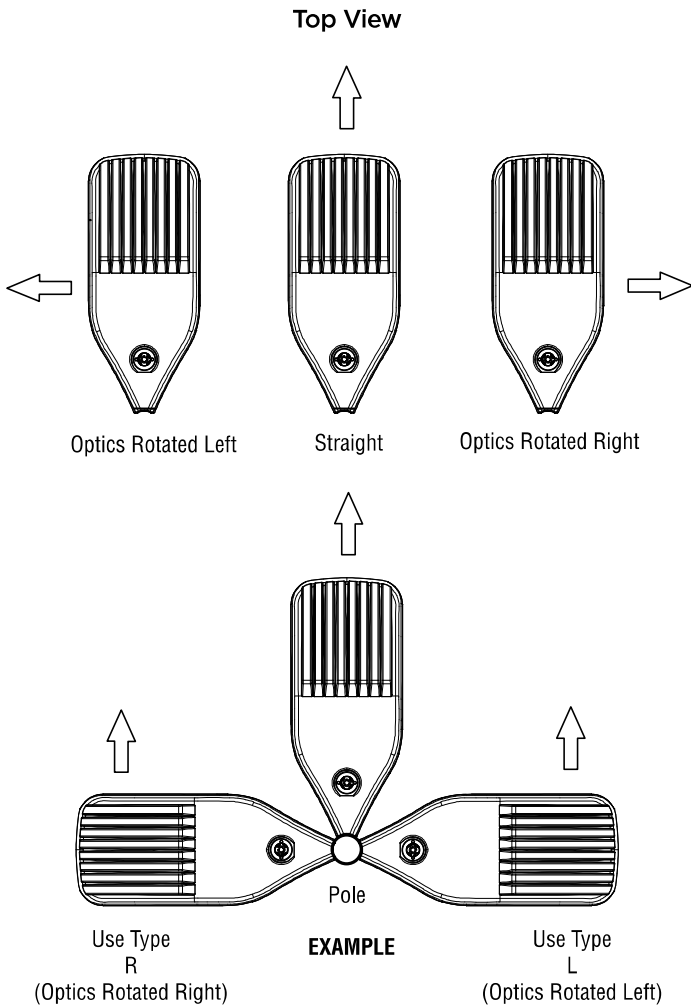
- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available with 5W distribution
- Consult Factory for availability.
- Not available in HV.
- IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
- Accessories are shipped separately and field installed.
- Factory installed CR7P option required. See Options.
- "CLR" denotes finish. See Finish options.
- Only available with ALSC/ALSCH control options.
- Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
- Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.





Mirada Medium Outdoor LED Area Light

OPTICS ROTATION



ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with IMSBT & IL/IH Options



7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with PCR 7P





Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PERFORMANCE

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 7L | 2 | 70 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 48 |
| | 3 | | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | |
| | 5W | | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | |
| | FT | | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | |
| | FTA | | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | |
| | AM | | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | |
| 9L | 2 | 70 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 62 |
| | 3 | | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | |
| | 5W | | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | |
| | FT | | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | |
| | FTA | | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | |
| | AM | | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | |
| 12L | 2 | 70 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 85 |
| | 3 | | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | |
| | 5W | | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | |
| | FT | | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | |
| | FTA | | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | |
| | AM | | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | |
| 18L | 2 | 70 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 135 |
| | 3 | | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | |
| | 5W | | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | |
| | FT | | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | |
| | FTA | | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | |
| | AM | | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | |
| 24L | 2 | 70 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 176 |
| | 3 | | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | |
| | 5W | | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | |
| | FT | | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | |
| | FTA | | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | |
| | AM | | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | |
| 30L | 2 | 70 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 232 |
| | 3 | | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | |
| | 5W | | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | |
| | FT | | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | |
| | FTA | | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | |
| | AM | | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | |
| 36L | 2 | 70 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 288 |
| | 3 | | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | |
| | 5W | | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | |
| | FT | | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | |
| | FTA | | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | |
| | AM | | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | |



Mirada Medium Outdoor LED Area Light

PERFORMANCE (CONT.)

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 42L | 2 | 70 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 354 |
| | 3 | | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | |
| | 5W | | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | |
| | FT | | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | |
| | FTA | | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | |
| | AM | | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | |
| 48L | 2 | 70 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 401 |
| | 3 | | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | |
| | 5W | | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | |
| | FT | | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | |
| | FTA | | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | |
| | AM | | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | |

| ELECTRICAL DATA (AMPS)* | | | | | | |
|-------------------------|------|------|------|------|------|------|
| Lumens | 120V | 208V | 240V | 277V | 347V | 480V |
| 7L | 0.40 | 0.23 | 0.20 | 0.17 | 0.14 | 0.10 |
| 9L | 0.52 | 0.30 | 0.26 | 0.22 | 0.18 | 0.13 |
| 12L | 0.71 | 0.41 | 0.35 | 0.31 | 0.24 | 0.18 |
| 18L | 1.13 | 0.65 | 0.56 | 0.49 | 0.39 | 0.28 |
| 24L | 1.47 | 0.85 | 0.73 | 0.64 | 0.51 | 0.37 |
| 30L | 1.93 | 1.12 | 0.97 | 0.84 | 0.67 | 0.48 |
| 36L | 2.40 | 1.38 | 1.20 | 1.04 | 0.83 | 0.60 |
| 42L | 2.95 | 1.70 | 1.48 | 1.28 | 1.02 | 0.74 |
| 48L | 3.4A | 1.9A | 1.7A | 1.5A | 1.2A | 0.8A |

| ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)* | | | | | | | |
|--|-------|------|------|------|------|------|------|
| Lumens | Watts | 120V | 208V | 240V | 277V | 347V | 480V |
| 9L | 74.3 | 0.6A | 0.4A | 0.3A | 0.3A | 0.2A | 0.2A |
| 12L | 102.9 | 0.9A | 0.5A | 0.4A | 0.4A | 0.3A | 0.2A |

*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

| RECOMMENDED LUMEN MAINTENANCE ¹ (7-18L) | | | | | |
|--|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-50 C | 100% | 96% | 92% | 88% | 84% |

| RECOMMENDED LUMEN MAINTENANCE ¹ (24-48L) | | | | | |
|---|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-40 C | 100% | 100% | 97% | 94% | 92% |

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

| DELIVERED LUMENS* | | | | | |
|-------------------|--------------|---------------------------------------|----------|------------|---------|
| Lumen Package | Distribution | Phosphor Converted Amber (Peak 610nm) | | | Wattage |
| | | Delivered Lumens | Efficacy | BUG Rating | |
| 9L | 2 | 5848 | 80 | B2-U0-G2 | 74 |
| | 2 - IL | 3644 | 50 | B0-U0-G1 | |
| | 3 | 6018 | 82 | B1-U0-G2 | |
| | 3 - IL | 4468 | 61 | B0-U0-G2 | |
| | 5W | 5471 | 74 | B3-U0-G1 | |
| | FT | 5801 | 79 | B1-U0-G2 | |
| | FT - IL | 3649 | 50 | B0-U0-G1 | |
| | FTA | 5924 | 81 | B1-U0-G1 | |
| | FTA - IL | 4243 | 58 | B1-U0-G1 | |
| 12L | 2 | 7530 | 74 | B2-U0-G2 | 102 |
| | 2 - IL | 4692 | 46 | B0-U0-G1 | |
| | 3 | 7749 | 76 | B1-U0-G2 | |
| | 3 - IL | 5753 | 57 | B0-U0-G2 | |
| | 5W | 7045 | 69 | B3-U0-G2 | |
| | FT | 7470 | 73 | B2-U0-G2 | |
| | FT - IL | 4699 | 46 | B0-U0-G2 | |
| | FTA | 7628 | 75 | B2-U0-G2 | |
| | FTA-IL | 5464 | 54 | B1-U0-G1 | |

*LEDs are frequently updated therefore values are nominal.





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <https://www.lsicorp.com/product/mirada-medium/> for detailed photometric data.

MRM-LED-30L-SIL-2-40-70CRI

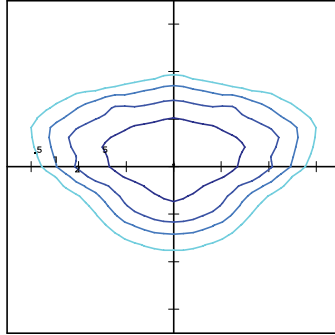
LUMINAIRE DATA

| Type 2 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,416 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type II - Short |
| BUG Rating | B4-U0-G3 |

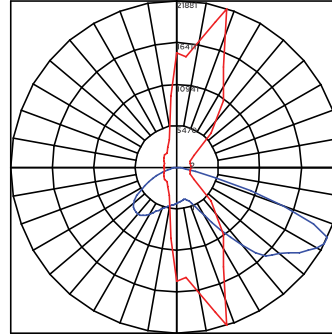
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 4796 | 15% |
| Medium (30-60)° | 19811 | 61% |
| High (60-80)° | 7474 | 23% |
| Very High (80-90)° | 335 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32416 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-3-40-70CRI

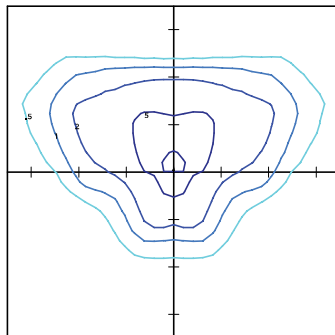
LUMINAIRE DATA

| Type 3 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,656 |
| Watts | 232 |
| Efficacy | 141 |
| IES Type | Type III - Short |
| BUG Rating | B3-U0-G4 |

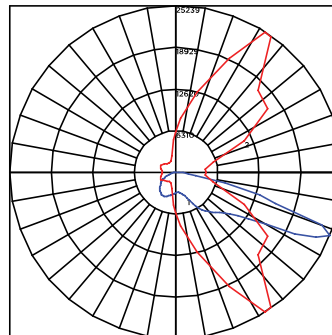
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3385 | 10% |
| Medium (30-60)° | 16250 | 50% |
| High (60-80)° | 12430 | 38% |
| Very High (80-90)° | 591 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32656 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-FT-40-70CRI

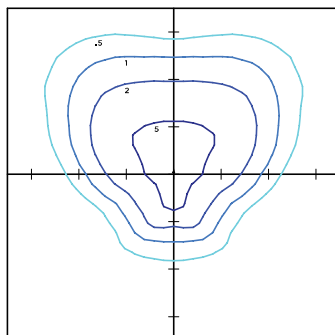
LUMINAIRE DATA

| Type FT Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,424 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type IV - Short |
| BUG Rating | B3-U0-G4 |

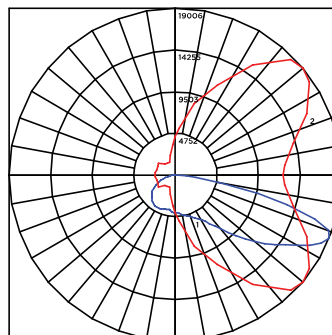
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3952 | 12% |
| Medium (30-60)° | 15505 | 48% |
| High (60-80)° | 12279 | 38% |
| Very High (80-90)° | 688 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32424 | 100% |

ISO FOOTCANDLE



POLAR CURVE



20' Mounting Height/ 15' Grid Spacing

■ 20 FC ■ 10 FC ■ 5 FC ■ 2 FC





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS (CONT)

MRM-LED-30L-SIL-5W-40-70CRI

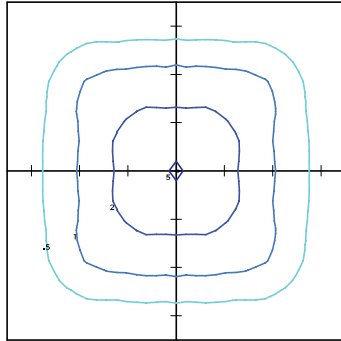
LUMINAIRE DATA

| Type 5W Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 31,267 |
| Watts | 232 |
| Efficacy | 135 |
| IES Type | Type VS - Short |
| BUG Rating | B5-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3138 | 10% |
| Medium (30-60)° | 13193 | 42% |
| High (60-80)° | 14641 | 47% |
| Very High (80-90)° | 296 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 31267 | 100% |

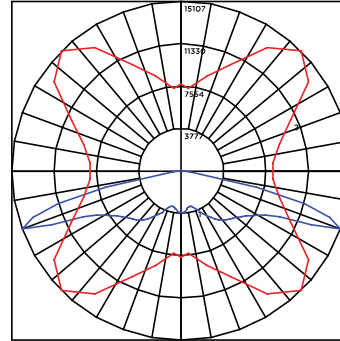
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-FTA-40-70CRI

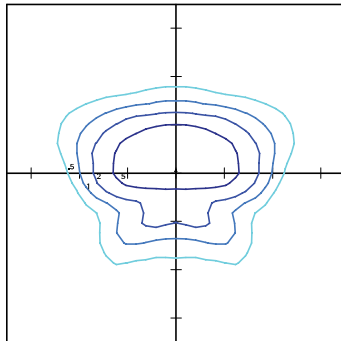
LUMINAIRE DATA

| Type FTA Distribution | |
|-----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,566 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type VS - Short |
| BUG Rating | B4-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6986 | 21% |
| Medium (30-60)° | 19172 | 59% |
| High (60-80)° | 5875 | 18% |
| Very High (80-90)° | 534 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32566 | 100% |

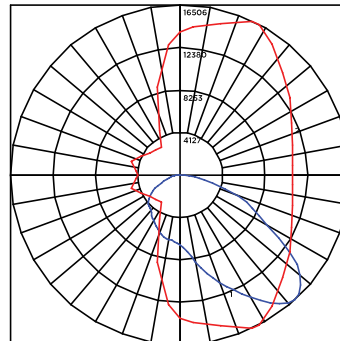
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-AM-40-70CRI

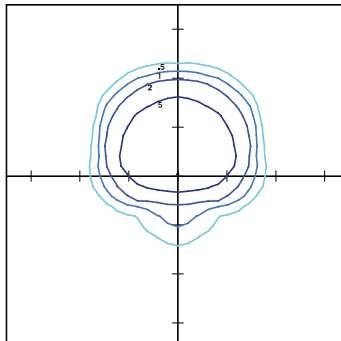
LUMINAIRE DATA

| Type AM Distribution | |
|----------------------|-----------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,960 |
| Watts | 232 |
| Efficacy | 142 |
| IES Type | Type III - Very Short |
| BUG Rating | B3-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6363 | 9% |
| Medium (30-60)° | 22026 | 43% |
| High (60-80)° | 4192 | 48% |
| Very High (80-90)° | 379 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32960 | 100% |

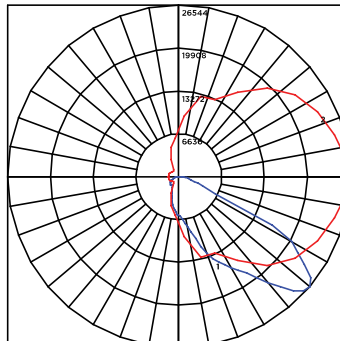
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE

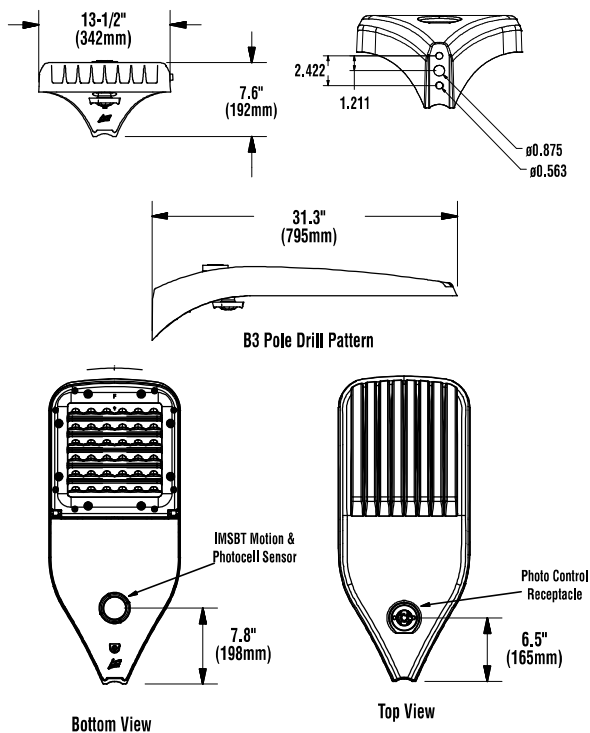




Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PRODUCT DIMENSIONS



| LUMINAIRE EPA CHART - MRM | | | | | | | | | |
|---------------------------|--|-----|-----|-----|-------------|--|-----|-----|-----|
| Tilt Degree | | 0° | 30° | 45° | Tilt Degree | | 0° | 30° | 45° |
| Single | | 0.5 | 1.5 | 1.9 | T90° | | 1.0 | 2.5 | 2.8 |
| D180° | | 1.0 | 1.5 | 1.9 | TN120° | | 1.0 | 3.3 | 3.9 |
| D90° | | 0.8 | 1.9 | 2.3 | Q90° | | 1.0 | 2.5 | 2.8 |

CONTROLS

AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

<https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf>

Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

<https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf>

AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

<https://www.lsicorp.com/product/airlink-blue/>





Mirada Medium Outdoor LED Area Light

POLES & BRACKETS

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our oven baked DuraGrip Protection System. Also available with our DuraGrip+ Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

<https://www.lsicorp.com/products/poles-brackets/>



BKA UMB CLR

The 3G rated UMB allows for seamless integration of LSI luminaires onto existing/ retrofit or new construction poles. The UMB was designed for square or round (tapered or straight) poles with two mounting hole spacings between 3.5" – 5".



BKS PQM15 CLR

The Pole Quick Mount Bracket allows for preset 15° up tilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.



BKA ASF CLR

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a 2" iron pipe, 2 3/8 OD tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



BKS PQMH CLR

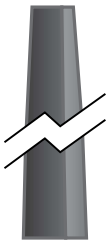
The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's B3 or B5 standard pole bolt patterns.



Square Pole
14'-39'



Round Pole
10'-30'



Tapered Pole
20'-39'





Mirada Medium (MRM)

Outdoor LED Area Light



OVERVIEW

| | |
|----------------------|----------------|
| Lumen Package | 7,000 - 48,000 |
| Wattage Range | 48 - 401 |
| Efficacy Range (LPW) | 117 - 160 |
| Weight lbs(kg) | 30 (13.6) |

QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10KV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth[™] motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink[™] wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details).

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

Specifications and dimensions subject to change without notice.





Mirada Medium Outdoor LED Area Light

ORDERING GUIDE

[Back to Quick Links](#)TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

| Luminaire Prefix | Light Source | Lumen Package | Light Output | Distribution | Orientation ² | Voltage | Driver |
|--|--------------|---|-----------------------|--|---|---|------------------------------------|
| MRM - Mirada | LED | 7L - 7,000 lms 9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms Custom Lumen Packages ¹ | SIL - Silicone | 2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise | (blank) - standard L - Optics rotated left 90° R - Optics rotated right 90° | UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V) | DIM - 0-10V Dimming (0-10%) |
| Color Temp | | Color Rendering | | Finish | | Options | |
| 50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber ¹² | | 70CRI - 70 CRI | | BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White | | (Blank) - None IH - Integral Houseside Shield² IL - Integral Louver (Sharp Spill Light Cutoff)² | |

Controls (Choose One)

| | | |
|---|---|---|
| (Blank) - None | Stand-Alone Controls EXT - 0-10v Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle ANSI C136.41 ⁶ IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24" MH) ⁵ IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40" MH) ⁵ | Lutron Limelight Controls LLC - LimeLight Integral Wireless Radio Control by Lutron ⁴ LLCS1 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 8-15' mt height ⁴ LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 16-30' mt height ⁴ LLCS3 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 31-40' mt height ⁴ |
| Wireless Controls System ALSC - AirLink Synapse Control System ALSCH - AirLink Synapse Control System Host / Satellite ³ ALSCHS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALSCHS02 - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor ³ ALSCHS04 - AirLink Synapse Control System with 20-40' Motion Sensor ALSCHS04 - AirLink Synapse Control System Host / Satellite with 20-40' Motion Sensor ³ ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) | Button Type Photocells PCI120 - 120V PCI208-277 - 208 - 277V PCI347 - 347V | |

Accessory Ordering Information⁷

| Controls Accessories | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| PC120 Photocell for use with CR7P option (120V) ⁸ | 122514 |
| PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) ⁸ | 122515 |
| Twist Lock Photocell (347V) for use with CR7P ⁸ | 122516 |
| Twist Lock Photocell (480V) for use with CR7P ⁸ | 1225180 |
| AirLink 5 Pin Twist Lock Controller ⁸ | 661409 |
| AirLink 7 Pin Twist Lock Controller ⁸ | 661410 |
| PMOS24-24V Pole-Mounted Occupancy Sensor (24V) | 663284CLR |
| Shorting Cap for use with CR7P | 149328 |

| Mounting Accessories ⁹ | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| Universal Mounting Bracket | 684616CLR |
| Adjustable Slip Fitter (2" - 2 3/8" Tenon) | 688138CLR |
| Horizontal Slip Fitter (2" - 2 3/8" Tenon) | 652761CLR |
| Quick Mount Pole Bracket (Square Pole) | 687073CLR |
| Quick Mount Pole Bracket (4-5" Round Pole) | 689903CLR |
| 15 Tilt Quick Mount Pole Bracket (Square Pole) | 688003CLR |
| 15 Tilt Quick Mount Pole Bracket (4-5" Round Pole) | 689905CLR |
| Wall Mount Bracket | 382132CLR |
| Wood Pole Bracket (6" Minimum Pole Diameter) | 751219CLR |

| Fusing Options ¹¹ | | Shielding Options | |
|------------------------------|----------------------------|-------------------|---------------------|
| Description | Order Number | | |
| Single Fusing (120V) | See Fusing Accessory Guide | Mirada Small | See Shielding Guide |
| Single Fusing (277V) | | Mirada Medium | |
| Double Fusing (208V, 240V) | | Mirada Large | |
| Double Fusing (480V) | | Zone Medium | |
| Double Fusing (347V) | | Zone Large | |
| | | Slice Medium | |

| Miscellaneous Accessories | |
|--|--------------|
| Description | Order Number |
| Integral Louver/Shield | 690981 |
| Integral House Side Shield | 743415 |
| 10' Linear Bird Spike Kit (3' Recommended per Luminaire) | 751632 |

FOOTNOTES:

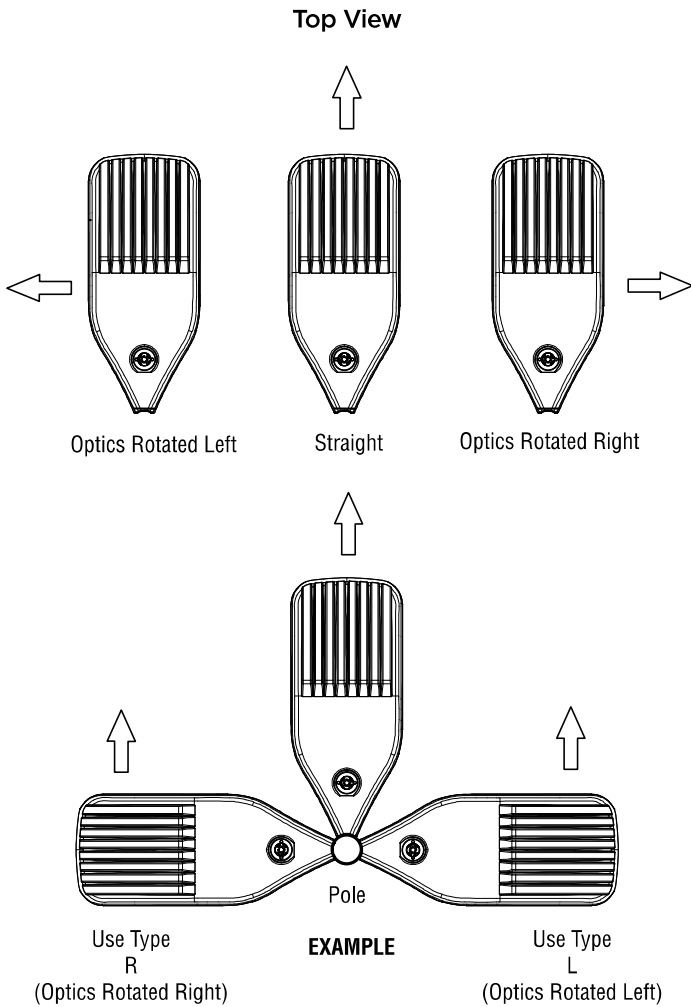
- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available with 5W distribution
- Consult Factory for availability.
- Not available in HV.
- IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
- Accessories are shipped separately and field installed.
- Factory installed CR7P option required. See Options.
- "CLR" denotes finish. See Finish options.
- Only available with ALSC/ALSCH control options.
- Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
- Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.





Mirada Medium Outdoor LED Area Light

OPTICS ROTATION



ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with IMSBT & IL/IH Options



7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with PCR 7P





Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PERFORMANCE

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 7L | 2 | 70 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 48 |
| | 3 | | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | |
| | 5W | | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | |
| | FT | | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | |
| | FTA | | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | |
| | AM | | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | |
| 9L | 2 | 70 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 62 |
| | 3 | | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | |
| | 5W | | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | |
| | FT | | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | |
| | FTA | | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | |
| | AM | | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | |
| 12L | 2 | 70 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 85 |
| | 3 | | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | |
| | 5W | | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | |
| | FT | | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | |
| | FTA | | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | |
| | AM | | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | |
| 18L | 2 | 70 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 135 |
| | 3 | | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | |
| | 5W | | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | |
| | FT | | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | |
| | FTA | | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | |
| | AM | | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | |
| 24L | 2 | 70 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 176 |
| | 3 | | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | |
| | 5W | | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | |
| | FT | | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | |
| | FTA | | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | |
| | AM | | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | |
| 30L | 2 | 70 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 232 |
| | 3 | | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | |
| | 5W | | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | |
| | FT | | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | |
| | FTA | | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | |
| | AM | | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | |
| 36L | 2 | 70 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 288 |
| | 3 | | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | |
| | 5W | | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | |
| | FT | | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | |
| | FTA | | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | |
| | AM | | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | |





Mirada Medium Outdoor LED Area Light

PERFORMANCE (CONT.)

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 42L | 2 | 70 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 354 |
| | 3 | | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | |
| | 5W | | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | |
| | FT | | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | |
| | FTA | | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | |
| | AM | | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | |
| 48L | 2 | 70 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 401 |
| | 3 | | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | |
| | 5W | | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | |
| | FT | | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | |
| | FTA | | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | |
| | AM | | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | |

| ELECTRICAL DATA (AMPS)* | | | | | | |
|-------------------------|------|------|------|------|------|------|
| Lumens | 120V | 208V | 240V | 277V | 347V | 480V |
| 7L | 0.40 | 0.23 | 0.20 | 0.17 | 0.14 | 0.10 |
| 9L | 0.52 | 0.30 | 0.26 | 0.22 | 0.18 | 0.13 |
| 12L | 0.71 | 0.41 | 0.35 | 0.31 | 0.24 | 0.18 |
| 18L | 1.13 | 0.65 | 0.56 | 0.49 | 0.39 | 0.28 |
| 24L | 1.47 | 0.85 | 0.73 | 0.64 | 0.51 | 0.37 |
| 30L | 1.93 | 1.12 | 0.97 | 0.84 | 0.67 | 0.48 |
| 36L | 2.40 | 1.38 | 1.20 | 1.04 | 0.83 | 0.60 |
| 42L | 2.95 | 1.70 | 1.48 | 1.28 | 1.02 | 0.74 |
| 48L | 3.4A | 1.9A | 1.7A | 1.5A | 1.2A | 0.8A |

| ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)* | | | | | | | |
|--|-------|------|------|------|------|------|------|
| Lumens | Watts | 120V | 208V | 240V | 277V | 347V | 480V |
| 9L | 74.3 | 0.6A | 0.4A | 0.3A | 0.3A | 0.2A | 0.2A |
| 12L | 102.9 | 0.9A | 0.5A | 0.4A | 0.4A | 0.3A | 0.2A |

*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

| RECOMMENDED LUMEN MAINTENANCE ¹ (7-18L) | | | | | |
|--|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-50 C | 100% | 96% | 92% | 88% | 84% |

| RECOMMENDED LUMEN MAINTENANCE ¹ (24-48L) | | | | | |
|---|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-40 C | 100% | 100% | 97% | 94% | 92% |

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

| DELIVERED LUMENS* | | | | | |
|-------------------|--------------|---------------------------------------|----------|------------|---------|
| Lumen Package | Distribution | Phosphor Converted Amber (Peak 610nm) | | | Wattage |
| | | Delivered Lumens | Efficacy | BUG Rating | |
| 9L | 2 | 5848 | 80 | B2-U0-G2 | 74 |
| | 2 - IL | 3644 | 50 | B0-U0-G1 | |
| | 3 | 6018 | 82 | B1-U0-G2 | |
| | 3 - IL | 4468 | 61 | B0-U0-G2 | |
| | 5W | 5471 | 74 | B3-U0-G1 | |
| | FT | 5801 | 79 | B1-U0-G2 | |
| | FT - IL | 3649 | 50 | B0-U0-G1 | |
| | FTA | 5924 | 81 | B1-U0-G1 | |
| | FTA - IL | 4243 | 58 | B1-U0-G1 | |
| 12L | 2 | 7530 | 74 | B2-U0-G2 | 102 |
| | 2 - IL | 4692 | 46 | B0-U0-G1 | |
| | 3 | 7749 | 76 | B1-U0-G2 | |
| | 3 - IL | 5753 | 57 | B0-U0-G2 | |
| | 5W | 7045 | 69 | B3-U0-G2 | |
| | FT | 7470 | 73 | B2-U0-G2 | |
| | FT - IL | 4699 | 46 | B0-U0-G2 | |
| | FTA | 7628 | 75 | B2-U0-G2 | |
| | FTA-IL | 5464 | 54 | B1-U0-G1 | |

*LEDs are frequently updated therefore values are nominal.





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <https://www.lsicorp.com/product/mirada-medium/> for detailed photometric data.

MRM-LED-30L-SIL-2-40-70CRI

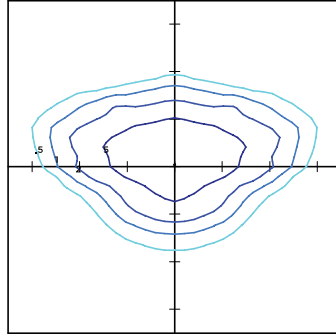
LUMINAIRE DATA

| Type 2 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,416 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type II - Short |
| BUG Rating | B4-U0-G3 |

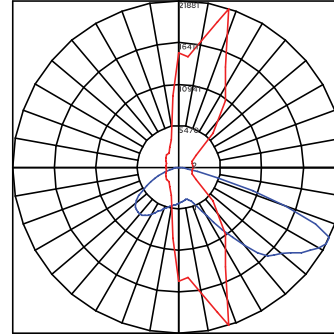
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 4796 | 15% |
| Medium (30-60)° | 19811 | 61% |
| High (60-80)° | 7474 | 23% |
| Very High (80-90)° | 335 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32416 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-3-40-70CRI

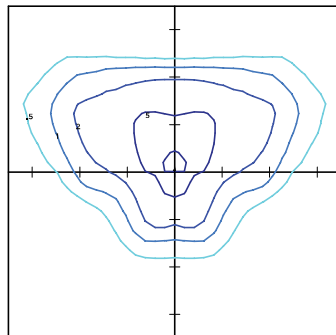
LUMINAIRE DATA

| Type 3 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,656 |
| Watts | 232 |
| Efficacy | 141 |
| IES Type | Type III - Short |
| BUG Rating | B3-U0-G4 |

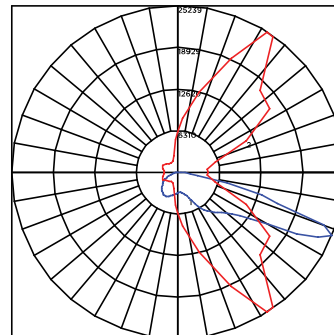
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3385 | 10% |
| Medium (30-60)° | 16250 | 50% |
| High (60-80)° | 12430 | 38% |
| Very High (80-90)° | 591 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32656 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-FT-40-70CRI

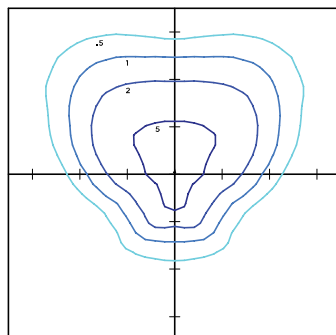
LUMINAIRE DATA

| Type FT Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,424 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type IV - Short |
| BUG Rating | B3-U0-G4 |

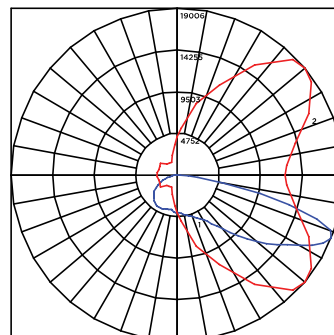
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3952 | 12% |
| Medium (30-60)° | 15505 | 48% |
| High (60-80)° | 12279 | 38% |
| Very High (80-90)° | 688 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32424 | 100% |

ISO FOOTCANDLE



POLAR CURVE



20' Mounting Height/ 15' Grid Spacing

■ 20 FC ■ 10 FC ■ 5 FC ■ 2 FC





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS (CONT)

MRM-LED-30L-SIL-5W-40-70CRI

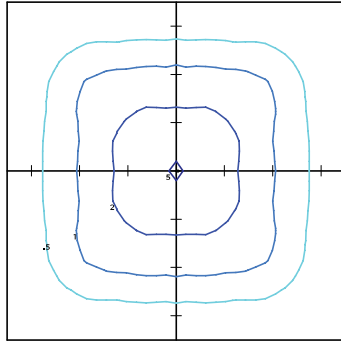
LUMINAIRE DATA

| Type 5W Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 31,267 |
| Watts | 232 |
| Efficacy | 135 |
| IES Type | Type VS - Short |
| BUG Rating | B5-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3138 | 10% |
| Medium (30-60)° | 13193 | 42% |
| High (60-80)° | 14641 | 47% |
| Very High (80-90)° | 296 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 31267 | 100% |

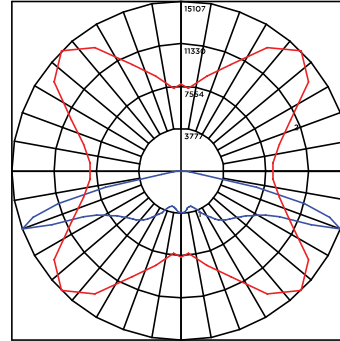
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-FTA-40-70CRI

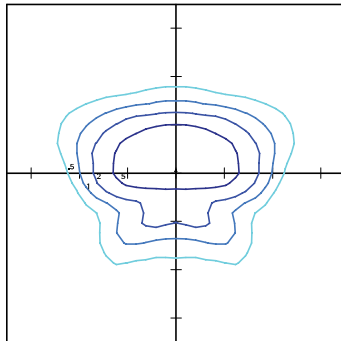
LUMINAIRE DATA

| Type FTA Distribution | |
|-----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,566 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type VS - Short |
| BUG Rating | B4-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6986 | 21% |
| Medium (30-60)° | 19172 | 59% |
| High (60-80)° | 5875 | 18% |
| Very High (80-90)° | 534 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32566 | 100% |

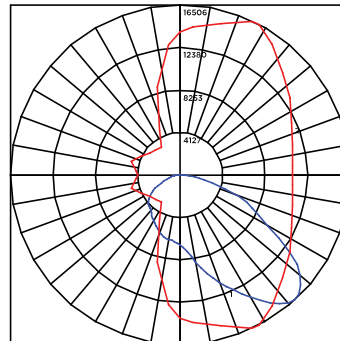
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-AM-40-70CRI

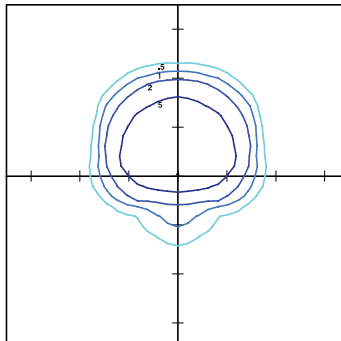
LUMINAIRE DATA

| Type AM Distribution | |
|----------------------|-----------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,960 |
| Watts | 232 |
| Efficacy | 142 |
| IES Type | Type III - Very Short |
| BUG Rating | B3-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6363 | 9% |
| Medium (30-60)° | 22026 | 43% |
| High (60-80)° | 4192 | 48% |
| Very High (80-90)° | 379 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32960 | 100% |

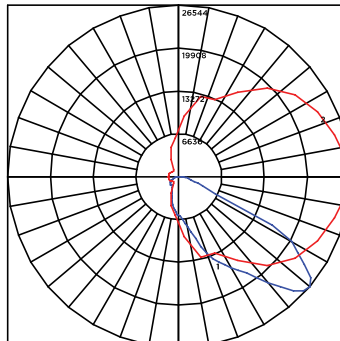
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE

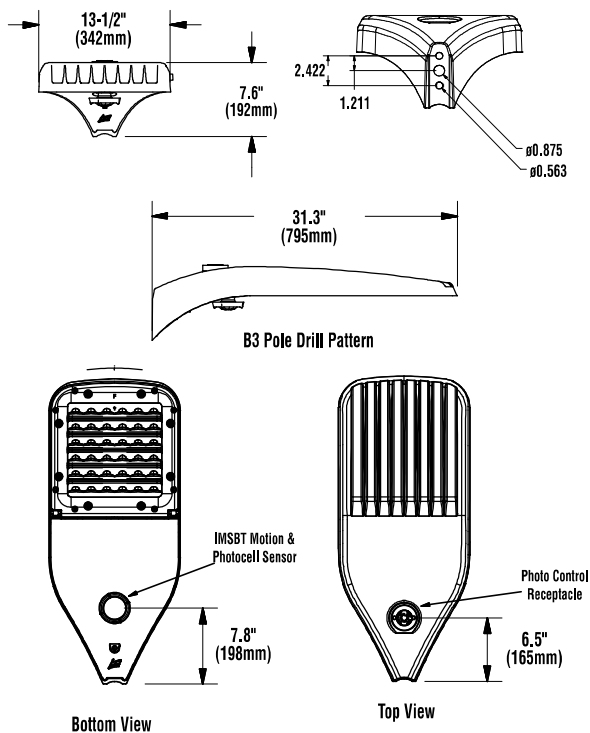




Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PRODUCT DIMENSIONS



| LUMINAIRE EPA CHART - MRM | | | | | | | | | |
|---------------------------|--|-----|-----|-----|-------------|--|-----|-----|-----|
| Tilt Degree | | 0° | 30° | 45° | Tilt Degree | | 0° | 30° | 45° |
| Single | | 0.5 | 1.5 | 1.9 | T90° | | 1.0 | 2.5 | 2.8 |
| D180° | | 1.0 | 1.5 | 1.9 | TN120° | | 1.0 | 3.3 | 3.9 |
| D90° | | 0.8 | 1.9 | 2.3 | Q90° | | 1.0 | 2.5 | 2.8 |

CONTROLS

AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

<https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf>

Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

<https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf>

AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

<https://www.lsicorp.com/product/airlink-blue/>





Mirada Medium Outdoor LED Area Light

POLES & BRACKETS

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our oven baked DuraGrip Protection System. Also available with our DuraGrip+ Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

<https://www.lsicorp.com/products/poles-brackets/>



BKA UMB CLR

The 3G rated UMB allows for seamless integration of LSI luminaires onto existing/ retrofit or new construction poles. The UMB was designed for square or round (tapered or straight) poles with two mounting hole spacings between 3.5" – 5".



BKS PQM15 CLR

The Pole Quick Mount Bracket allows for preset 15° up tilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.



BKA ASF CLR

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a 2" iron pipe, 2 3/8 OD tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



BKS PQMH CLR

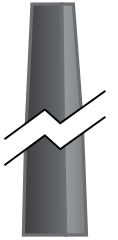
The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's B3 or B5 standard pole bolt patterns.



Square Pole
14'-39'



Round Pole
10'-30'



Tapered Pole
20'-39'





Mirada Medium (MRM)

Outdoor LED Area Light



OVERVIEW

| | |
|----------------------|----------------|
| Lumen Package | 7,000 - 48,000 |
| Wattage Range | 48 - 401 |
| Efficacy Range (LPW) | 117 - 160 |
| Weight lbs(kg) | 30 (13.6) |

QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10KV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth[™] motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink[™] wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details).

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

Specifications and dimensions subject to change without notice.





Mirada Medium Outdoor LED Area Light

ORDERING GUIDE

[Back to Quick Links](#)TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

| Luminaire Prefix | Light Source | Lumen Package | Light Output | Distribution | Orientation ² | Voltage | Driver |
|--|--------------|---|-----------------------|--|---|---|------------------------------------|
| MRM - Mirada | LED | 7L - 7,000 lms 9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms Custom Lumen Packages ¹ | SIL - Silicone | 2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise | (blank) - standard L - Optics rotated left 90° R - Optics rotated right 90° | UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V) | DIM - 0-10V Dimming (0-10%) |
| Color Temp | | Color Rendering | | Finish | | Options | |
| 50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber ¹² | | 70CRI - 70 CRI | | BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White | | (Blank) - None IH - Integral Houseside Shield ² IL - Integral Louver (Sharp Spill Light Cutoff) ² | |

Controls (Choose One)

| | | |
|---|---|---|
| (Blank) - None | Stand-Alone Controls EXT - 0-10v Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle ANSI C136.41 ⁶ IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24" MH) ⁵ IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40" MH) ⁵ | Lutron Limelight Controls LLC - LimeLight Integral Wireless Radio Control by Lutron ⁴ LLCS1 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 8-15' mt height ⁴ LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 16-30' mt height ⁴ LLCS3 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 31-40' mt height ⁴ |
| Wireless Controls System ALSC - AirLink Synapse Control System ALSCH - AirLink Synapse Control System Host / Satellite ³ ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALSCS02 - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor ³ ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor ALSCS04 - AirLink Synapse Control System Host / Satellite with 20-40' Motion Sensor ³ ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) | Button Type Photocells PCI120 - 120V PCI208-277 - 208 - 277V PCI347 - 347V | |

Accessory Ordering Information⁷

| Controls Accessories | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| PC120 Photocell for use with CR7P option (120V) ⁸ | 122514 |
| PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) ⁸ | 122515 |
| Twist Lock Photocell (347V) for use with CR7P ⁸ | 122516 |
| Twist Lock Photocell (480V) for use with CR7P ⁸ | 1225180 |
| AirLink 5 Pin Twist Lock Controller ⁸ | 661409 |
| AirLink 7 Pin Twist Lock Controller ⁸ | 661410 |
| PMOS24-24V Pole-Mounted Occupancy Sensor (24V) | 663284CLR |
| Shorting Cap for use with CR7P | 149328 |

| Mounting Accessories ⁹ | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| Universal Mounting Bracket | 684616CLR |
| Adjustable Slip Fitter (2" - 2 3/8" Tenon) | 688138CLR |
| Horizontal Slip Fitter (2" - 2 3/8" Tenon) | 652761CLR |
| Quick Mount Pole Bracket (Square Pole) | 687073CLR |
| Quick Mount Pole Bracket (4-5" Round Pole) | 689903CLR |
| 15 Tilt Quick Mount Pole Bracket (Square Pole) | 688003CLR |
| 15 Tilt Quick Mount Pole Bracket (4-5" Round Pole) | 689905CLR |
| Wall Mount Bracket | 382132CLR |
| Wood Pole Bracket (6" Minimum Pole Diameter) | 751219CLR |

| Fusing Options ¹¹ | | Shielding Options | |
|------------------------------|----------------------------|-------------------|---------------------|
| Description | Order Number | | |
| Single Fusing (120V) | See Fusing Accessory Guide | Mirada Small | See Shielding Guide |
| Single Fusing (277V) | | Mirada Medium | |
| Double Fusing (208V, 240V) | | Mirada Large | |
| Double Fusing (480V) | | Zone Medium | |
| Double Fusing (347V) | | Zone Large | |
| | | Slice Medium | |

| Miscellaneous Accessories | |
|--|--------------|
| Description | Order Number |
| Integral Louver/Shield | 690981 |
| Integral House Side Shield | 743415 |
| 10' Linear Bird Spike Kit (3' Recommended per Luminaire) | 751632 |

FOOTNOTES:

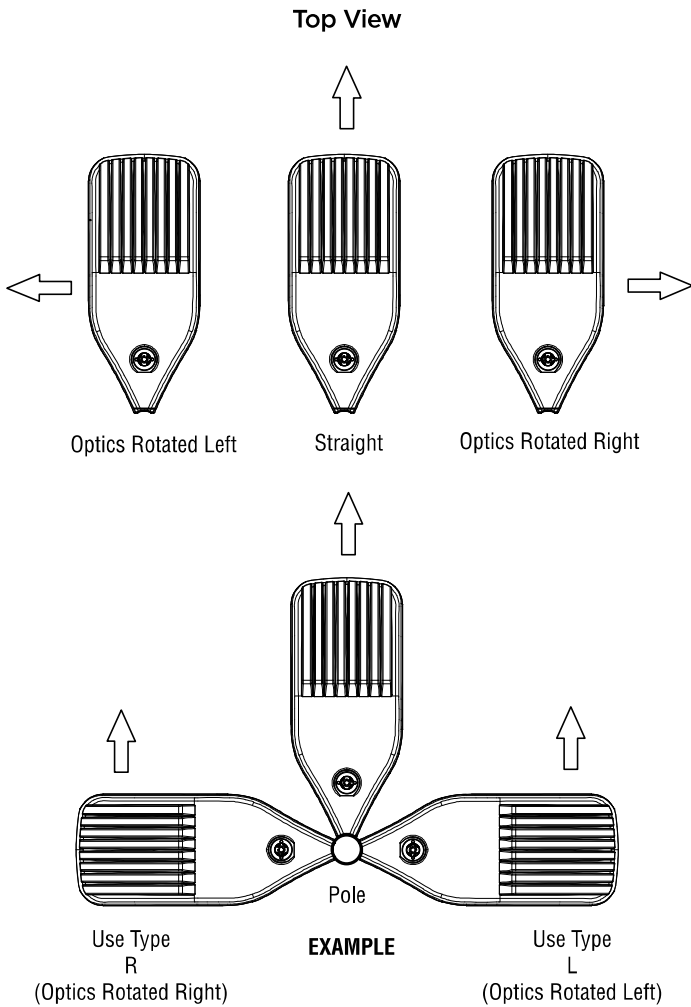
- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available with 5W distribution
- Consult Factory for availability.
- Not available in HV.
- IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
- Accessories are shipped separately and field installed.
- Factory installed CR7P option required. See Options.
- "CLR" denotes finish. See Finish options.
- Only available with ALSC/ALSCH control options.
- Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
- Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.





Mirada Medium Outdoor LED Area Light

OPTICS ROTATION



ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with IMSBT & IL/IH Options



7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with PCR 7P





Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PERFORMANCE

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 7L | 2 | 70 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 48 |
| | 3 | | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | |
| | 5W | | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | |
| | FT | | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | |
| | FTA | | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | |
| | AM | | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | |
| 9L | 2 | 70 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 62 |
| | 3 | | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | |
| | 5W | | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | |
| | FT | | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | |
| | FTA | | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | |
| | AM | | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | |
| 12L | 2 | 70 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 85 |
| | 3 | | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | |
| | 5W | | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | |
| | FT | | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | |
| | FTA | | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | |
| | AM | | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | |
| 18L | 2 | 70 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 135 |
| | 3 | | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | |
| | 5W | | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | |
| | FT | | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | |
| | FTA | | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | |
| | AM | | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | |
| 24L | 2 | 70 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 176 |
| | 3 | | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | |
| | 5W | | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | |
| | FT | | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | |
| | FTA | | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | |
| | AM | | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | |
| 30L | 2 | 70 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 232 |
| | 3 | | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | |
| | 5W | | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | |
| | FT | | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | |
| | FTA | | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | |
| | AM | | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | |
| 36L | 2 | 70 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 288 |
| | 3 | | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | |
| | 5W | | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | |
| | FT | | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | |
| | FTA | | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | |
| | AM | | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | |





Mirada Medium Outdoor LED Area Light

PERFORMANCE (CONT.)

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 42L | 2 | 70 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 354 |
| | 3 | | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | |
| | 5W | | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | |
| | FT | | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | |
| | FTA | | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | |
| | AM | | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | |
| 48L | 2 | 70 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 401 |
| | 3 | | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | |
| | 5W | | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | |
| | FT | | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | |
| | FTA | | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | |
| | AM | | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | |

| ELECTRICAL DATA (AMPS)* | | | | | | |
|-------------------------|------|------|------|------|------|------|
| Lumens | 120V | 208V | 240V | 277V | 347V | 480V |
| 7L | 0.40 | 0.23 | 0.20 | 0.17 | 0.14 | 0.10 |
| 9L | 0.52 | 0.30 | 0.26 | 0.22 | 0.18 | 0.13 |
| 12L | 0.71 | 0.41 | 0.35 | 0.31 | 0.24 | 0.18 |
| 18L | 1.13 | 0.65 | 0.56 | 0.49 | 0.39 | 0.28 |
| 24L | 1.47 | 0.85 | 0.73 | 0.64 | 0.51 | 0.37 |
| 30L | 1.93 | 1.12 | 0.97 | 0.84 | 0.67 | 0.48 |
| 36L | 2.40 | 1.38 | 1.20 | 1.04 | 0.83 | 0.60 |
| 42L | 2.95 | 1.70 | 1.48 | 1.28 | 1.02 | 0.74 |
| 48L | 3.4A | 1.9A | 1.7A | 1.5A | 1.2A | 0.8A |

| ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)* | | | | | | | |
|--|-------|------|------|------|------|------|------|
| Lumens | Watts | 120V | 208V | 240V | 277V | 347V | 480V |
| 9L | 74.3 | 0.6A | 0.4A | 0.3A | 0.3A | 0.2A | 0.2A |
| 12L | 102.9 | 0.9A | 0.5A | 0.4A | 0.4A | 0.3A | 0.2A |

*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

| RECOMMENDED LUMEN MAINTENANCE ¹ (7-18L) | | | | | |
|--|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-50 C | 100% | 96% | 92% | 88% | 84% |

| RECOMMENDED LUMEN MAINTENANCE ¹ (24-48L) | | | | | |
|---|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-40 C | 100% | 100% | 97% | 94% | 92% |

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

| DELIVERED LUMENS* | | | | | |
|-------------------|--------------|---------------------------------------|----------|------------|---------|
| Lumen Package | Distribution | Phosphor Converted Amber (Peak 610nm) | | | Wattage |
| | | Delivered Lumens | Efficacy | BUG Rating | |
| 9L | 2 | 5848 | 80 | B2-U0-G2 | 74 |
| | 2 - IL | 3644 | 50 | B0-U0-G1 | |
| | 3 | 6018 | 82 | B1-U0-G2 | |
| | 3 - IL | 4468 | 61 | B0-U0-G2 | |
| | 5W | 5471 | 74 | B3-U0-G1 | |
| | FT | 5801 | 79 | B1-U0-G2 | |
| | FT - IL | 3649 | 50 | B0-U0-G1 | |
| | FTA | 5924 | 81 | B1-U0-G1 | |
| | FTA - IL | 4243 | 58 | B1-U0-G1 | |
| 12L | 2 | 7530 | 74 | B2-U0-G2 | 102 |
| | 2 - IL | 4692 | 46 | B0-U0-G1 | |
| | 3 | 7749 | 76 | B1-U0-G2 | |
| | 3 - IL | 5753 | 57 | B0-U0-G2 | |
| | 5W | 7045 | 69 | B3-U0-G2 | |
| | FT | 7470 | 73 | B2-U0-G2 | |
| | FT - IL | 4699 | 46 | B0-U0-G2 | |
| | FTA | 7628 | 75 | B2-U0-G2 | |
| | FTA-IL | 5464 | 54 | B1-U0-G1 | |

*LEDs are frequently updated therefore values are nominal.





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS

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Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <https://www.lsicorp.com/product/mirada-medium/> for detailed photometric data.

MRM-LED-30L-SIL-2-40-70CRI

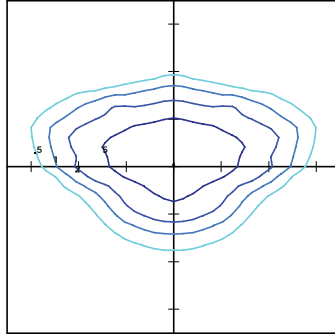
LUMINAIRE DATA

| Type 2 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,416 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type II - Short |
| BUG Rating | B4-U0-G3 |

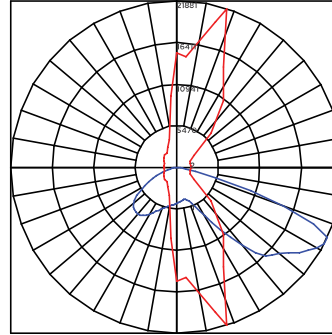
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 4796 | 15% |
| Medium (30-60)° | 19811 | 61% |
| High (60-80)° | 7474 | 23% |
| Very High (80-90)° | 335 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32416 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-3-40-70CRI

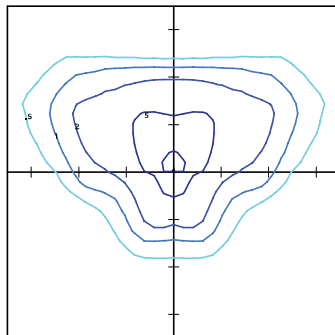
LUMINAIRE DATA

| Type 3 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,656 |
| Watts | 232 |
| Efficacy | 141 |
| IES Type | Type III - Short |
| BUG Rating | B3-U0-G4 |

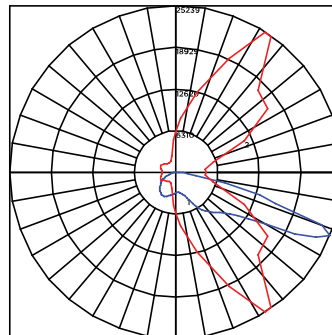
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3385 | 10% |
| Medium (30-60)° | 16250 | 50% |
| High (60-80)° | 12430 | 38% |
| Very High (80-90)° | 591 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32656 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-FT-40-70CRI

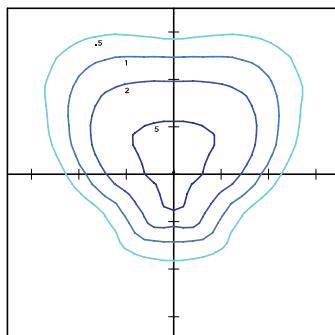
LUMINAIRE DATA

| Type FT Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,424 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type IV - Short |
| BUG Rating | B3-U0-G4 |

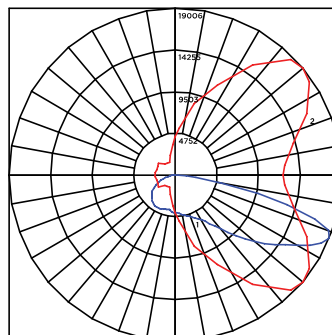
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3952 | 12% |
| Medium (30-60)° | 15505 | 48% |
| High (60-80)° | 12279 | 38% |
| Very High (80-90)° | 688 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32424 | 100% |

ISO FOOTCANDLE



POLAR CURVE



20' Mounting Height/ 15' Grid Spacing

■ 20 FC ■ 10 FC ■ 5 FC ■ 2 FC





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS (CONT)

MRM-LED-30L-SIL-5W-40-70CRI

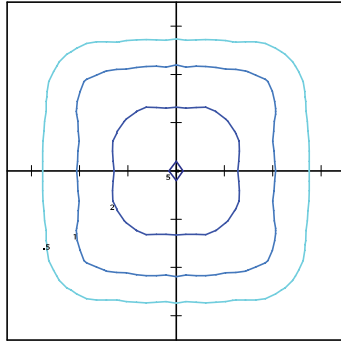
LUMINAIRE DATA

| Type 5W Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 31,267 |
| Watts | 232 |
| Efficacy | 135 |
| IES Type | Type VS - Short |
| BUG Rating | B5-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3138 | 10% |
| Medium (30-60)° | 13193 | 42% |
| High (60-80)° | 14641 | 47% |
| Very High (80-90)° | 296 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 31267 | 100% |

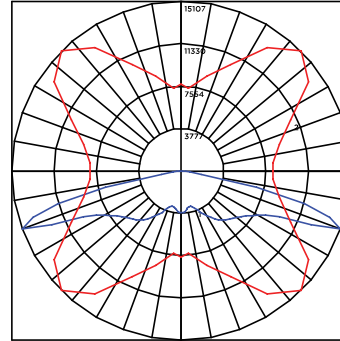
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-FTA-40-70CRI

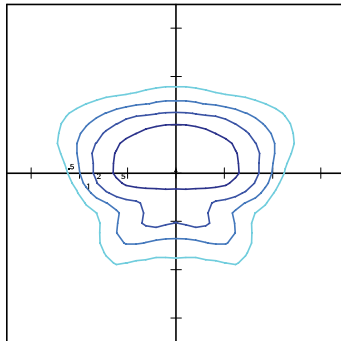
LUMINAIRE DATA

| Type FTA Distribution | |
|-----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,566 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type VS - Short |
| BUG Rating | B4-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6986 | 21% |
| Medium (30-60)° | 19172 | 59% |
| High (60-80)° | 5875 | 18% |
| Very High (80-90)° | 534 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32566 | 100% |

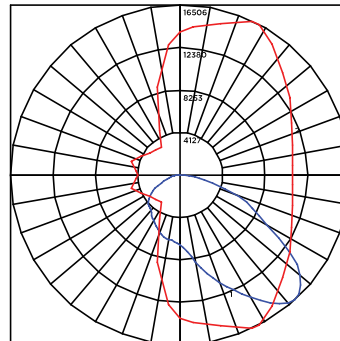
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-AM-40-70CRI

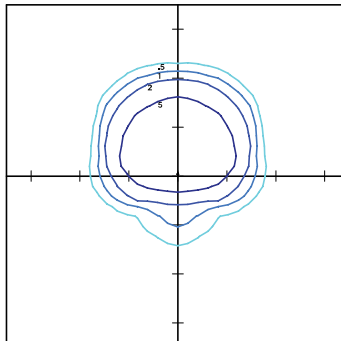
LUMINAIRE DATA

| Type AM Distribution | |
|----------------------|-----------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,960 |
| Watts | 232 |
| Efficacy | 142 |
| IES Type | Type III - Very Short |
| BUG Rating | B3-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6363 | 9% |
| Medium (30-60)° | 22026 | 43% |
| High (60-80)° | 4192 | 48% |
| Very High (80-90)° | 379 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32960 | 100% |

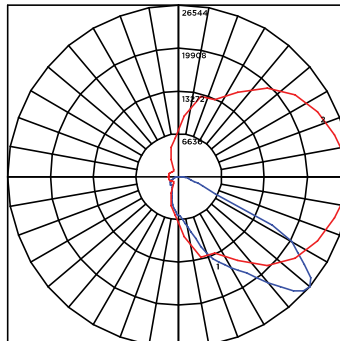
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE

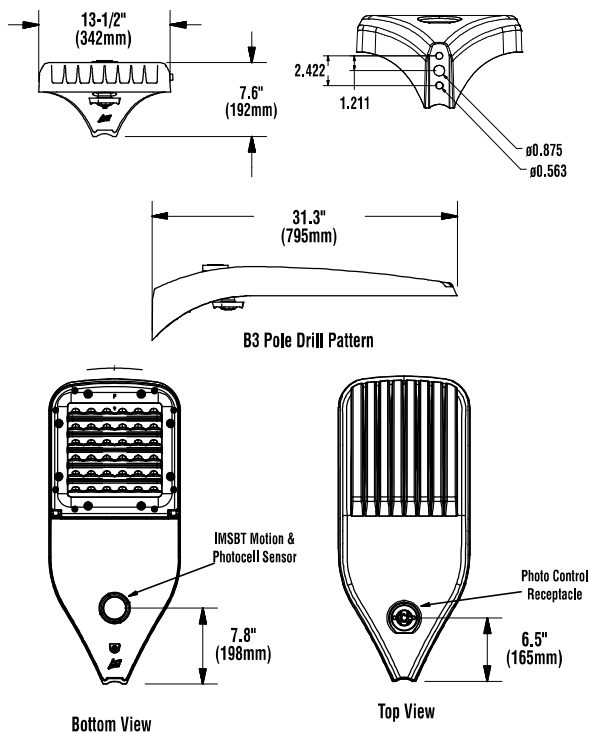




Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

PRODUCT DIMENSIONS



| LUMINAIRE EPA CHART - MRM | | | | | | | | | |
|---------------------------|--------|-----|-----|-----|-------------|--------|-----|-----|-----|
| Tilt Degree | | 0° | 30° | 45° | Tilt Degree | | 0° | 30° | 45° |
| ■ | Single | 0.5 | 1.5 | 1.9 | ⊕ | T90° | 1.0 | 2.5 | 2.8 |
| ■ | D180° | 1.0 | 1.5 | 1.9 | ⊕ | TN120° | 1.0 | 3.3 | 3.9 |
| ■ | D90° | 0.8 | 1.9 | 2.3 | ⊕ | Q90° | 1.0 | 2.5 | 2.8 |

CONTROLS

AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

<https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf>

Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

<https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf>

AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

<https://www.lsicorp.com/product/airlink-blue/>





Mirada Medium Outdoor LED Area Light

POLES & BRACKETS

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our oven baked DuraGrip Protection System. Also available with our DuraGrip+ Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

<https://www.lsicorp.com/products/poles-brackets/>



BKA UMB CLR

The 3G rated UMB allows for seamless integration of LSI luminaires onto existing/ retrofit or new construction poles. The UMB was designed for square or round (tapered or straight) poles with two mounting hole spacings between 3.5" – 5".



BKS PQM15 CLR

The Pole Quick Mount Bracket allows for preset 15° up tilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.



BKA ASF CLR

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a 2" iron pipe, 2 3/8 OD tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



BKS PQMH CLR

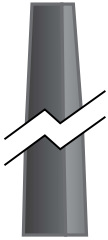
The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's B3 or B5 standard pole bolt patterns.



Square Pole
14'-39'



Round Pole
10'-30'



Tapered Pole
20'-39'





Mirada Medium (MRM)

Outdoor LED Area Light



OVERVIEW

| | |
|----------------------|----------------|
| Lumen Package | 7,000 - 48,000 |
| Wattage Range | 48 - 401 |
| Efficacy Range (LPW) | 117 - 160 |
| Weight lbs(kg) | 30 (13.6) |

QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10KV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth[™] motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink[™] wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details).

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

Specifications and dimensions subject to change without notice.





Mirada Medium Outdoor LED Area Light

ORDERING GUIDE

[Back to Quick Links](#)TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

| Luminaire Prefix | Light Source | Lumen Package | Light Output | Distribution | Orientation ² | Voltage | Driver |
|--|--------------|---|-----------------------|--|---|---|------------------------------------|
| MRM - Mirada | LED | 7L - 7,000 lms 9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms Custom Lumen Packages ¹ | SIL - Silicone | 2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise | (blank) - standard L - Optics rotated left 90° R - Optics rotated right 90° | UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V) | DIM - 0-10V Dimming (0-10%) |
| Color Temp | | Color Rendering | | Finish | | Options | |
| 50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber ¹² | | 70CRI - 70 CRI | | BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White | | (Blank) - None IH - Integral Houseside Shield ² IL - Integral Louver (Sharp Spill Light Cutoff)² | |

Controls (Choose One)

| | | |
|---|---|---|
| (Blank) - None | Stand-Alone Controls EXT - 0-10v Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle ANSI C136.41 ⁶ IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24" MH) ⁵ IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40" MH) ⁵ | Lutron Limelight Controls LLC - LimeLight Integral Wireless Radio Control by Lutron ⁴ LLCS1 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 8-15' mt height ⁴ LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 16-30' mt height ⁴ LLCS3 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by Lutron 31-40' mt height ⁴ |
| Wireless Controls System ALSC - AirLink Synapse Control System ALSCH - AirLink Synapse Control System Host / Satellite ³ ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALSCS02 - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor ³ ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor ALSCS04 - AirLink Synapse Control System Host / Satellite with 20-40' Motion Sensor ³ ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) | Button Type Photocells PCI120 - 120V PCI208-277 - 208 - 277V PCI347 - 347V | |

Accessory Ordering Information⁷

| Controls Accessories | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| PC120 Photocell for use with CR7P option (120V) ⁸ | 122514 |
| PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) ⁸ | 122515 |
| Twist Lock Photocell (347V) for use with CR7P ⁸ | 122516 |
| Twist Lock Photocell (480V) for use with CR7P ⁸ | 122518 |
| AirLink 5 Pin Twist Lock Controller ⁸ | 661409 |
| AirLink 7 Pin Twist Lock Controller ⁸ | 661410 |
| PMOS24-24V Pole-Mounted Occupancy Sensor (24V) | 663284CLR |
| Shorting Cap for use with CR7P | 149328 |

| Mounting Accessories ⁹ | |
|--|----------------------------|
| Description | Order Number ¹⁰ |
| Universal Mounting Bracket | 684616CLR |
| Adjustable Slip Fitter (2" - 2 3/8" Tenon) | 688138CLR |
| Horizontal Slip Fitter (2" - 2 3/8" Tenon) | 652761CLR |
| Quick Mount Pole Bracket (Square Pole) | 687073CLR |
| Quick Mount Pole Bracket (4-5" Round Pole) | 689903CLR |
| 15 Tilt Quick Mount Pole Bracket (Square Pole) | 688003CLR |
| 15 Tilt Quick Mount Pole Bracket (4-5" Round Pole) | 689905CLR |
| Wall Mount Bracket | 382132CLR |
| Wood Pole Bracket (6" Minimum Pole Diameter) | 751219CLR |

| Fusing Options ¹¹ | | Shielding Options | |
|------------------------------|--|-------------------|-------------------------------------|
| Description | Order Number | | |
| Single Fusing (120V) | See Fusing Accessory Guide | Mirada Small | See Shielding Guide |
| Single Fusing (277V) | | Mirada Medium | |
| Double Fusing (208V, 240V) | | Mirada Large | |
| Double Fusing (480V) | | Zone Medium | |
| Double Fusing (347V) | | Zone Large | |
| | | Slice Medium | |

| Miscellaneous Accessories | |
|--|--------------|
| Description | Order Number |
| Integral Louver/Shield | 690981 |
| Integral House Side Shield | 743415 |
| 10' Linear Bird Spike Kit (3' Recommended per Luminaire) | 751632 |

FOOTNOTES:

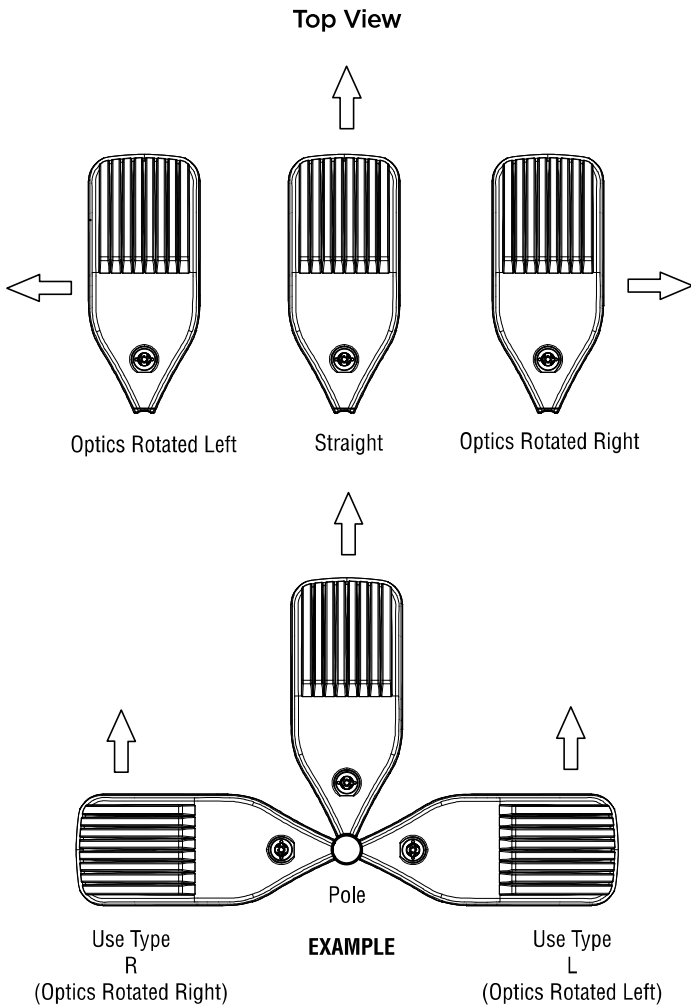
- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available with 5W distribution
- Consult Factory for availability.
- Not available in HV.
- IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
- Accessories are shipped separately and field installed.
- Factory installed CR7P option required. See Options.
- "CLR" denotes finish. See Finish options.
- Only available with ALSC/ALSCH control options.
- Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
- Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.





Mirada Medium Outdoor LED Area Light

OPTICS ROTATION



ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with IMSBT & IL/IH Options



7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with PCR 7P





Mirada Medium Outdoor LED Area Light

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PERFORMANCE

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 7L | 2 | 70 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 7560 | 157 | B2-U0-G2 | 48 |
| | 3 | | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | 7616 | 159 | B1-U0-G2 | |
| | 5W | | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | 7292 | 152 | B3-U0-G1 | |
| | FT | | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | 7562 | 158 | B2-U0-G2 | |
| | FTA | | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | 7595 | 158 | B2-U0-G2 | |
| | AM | | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | 7687 | 160 | B1-U0-G1 | |
| 9L | 2 | 70 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 9853 | 159 | B2-U0-G2 | 62 |
| | 3 | | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | 9926 | 160 | B2-U0-G2 | |
| | 5W | | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | 9504 | 153 | B3-U0-G2 | |
| | FT | | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | 9856 | 159 | B2-U0-G3 | |
| | FTA | | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | 9900 | 160 | B2-U0-G2 | |
| | AM | | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | 10019 | 162 | B2-U0-G1 | |
| 12L | 2 | 70 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 13135 | 155 | B3-U0-G2 | 85 |
| | 3 | | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | 13232 | 156 | B2-U0-G2 | |
| | 5W | | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | 12669 | 149 | B4-U0-G2 | |
| | FT | | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | 13138 | 155 | B2-U0-G3 | |
| | FTA | | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | 13196 | 155 | B2-U0-G2 | |
| | AM | | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | 13355 | 157 | B2-U0-G2 | |
| 18L | 2 | 70 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 19318 | 143 | B3-U0-G3 | 135 |
| | 3 | | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | 19461 | 144 | B3-U0-G3 | |
| | 5W | | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | 18633 | 138 | B4-U0-G2 | |
| | FT | | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | 19324 | 143 | B3-U0-G3 | |
| | FTA | | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | 19408 | 144 | B3-U0-G3 | |
| | AM | | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | 19641 | 145 | B3-U0-G2 | |
| 24L | 2 | 70 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 25957 | 147 | B4-U0-G3 | 176 |
| | 3 | | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | 26149 | 149 | B3-U0-G4 | |
| | 5W | | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | 25037 | 142 | B5-U0-G3 | |
| | FT | | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | 25964 | 148 | B3-U0-G4 | |
| | FTA | | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | 26077 | 148 | B3-U0-G3 | |
| | AM | | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | 26393 | 150 | B3-U0-G2 | |
| 30L | 2 | 70 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 32417 | 140 | B4-U0-G3 | 232 |
| | 3 | | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | 32656 | 141 | B3-U0-G4 | |
| | 5W | | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | 31267 | 135 | B5-U0-G3 | |
| | FT | | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | 32424 | 140 | B3-U0-G4 | |
| | FTA | | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | 32566 | 140 | B4-U0-G3 | |
| | AM | | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | 32960 | 142 | B3-U0-G3 | |
| 36L | 2 | 70 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 38275 | 133 | B4-U0-G4 | 288 |
| | 3 | | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | 38557 | 134 | B4-U0-G5 | |
| | 5W | | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | 36917 | 128 | B5-U0-G4 | |
| | FT | | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | 38283 | 133 | B4-U0-G5 | |
| | FTA | | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | 38450 | 134 | B4-U0-G4 | |
| | AM | | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | 38916 | 135 | B3-U0-G3 | |





Mirada Medium Outdoor LED Area Light

PERFORMANCE (CONT.)

| Delivered Lumens* | | | | | | | | | | | | |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K CCT | | | 4000K CCT | | | 5000K CCT | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 42L | 2 | 70 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 44118 | 125 | B5-U0-G4 | 354 |
| | 3 | | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | 44444 | 126 | B4-U0-G5 | |
| | 5W | | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | 42555 | 120 | B5-U0-G4 | |
| | FT | | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | 44130 | 125 | B4-U0-G5 | |
| | FTA | | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | 44322 | 125 | B4-U0-G4 | |
| | AM | | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | 44859 | 127 | B4-U0-G3 | |
| 48L | 2 | 70 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 48795 | 122 | B5-U0-G4 | 401 |
| | 3 | | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | 49156 | 123 | B4-U0-G5 | |
| | 5W | | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | 47066 | 117 | B5-U0-G4 | |
| | FT | | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | 48809 | 122 | B4-U0-G5 | |
| | FTA | | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | 49021 | 122 | B5-U0-G4 | |
| | AM | | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | 49615 | 124 | B4-U0-G3 | |

| ELECTRICAL DATA (AMPS)* | | | | | | |
|-------------------------|------|------|------|------|------|------|
| Lumens | 120V | 208V | 240V | 277V | 347V | 480V |
| 7L | 0.40 | 0.23 | 0.20 | 0.17 | 0.14 | 0.10 |
| 9L | 0.52 | 0.30 | 0.26 | 0.22 | 0.18 | 0.13 |
| 12L | 0.71 | 0.41 | 0.35 | 0.31 | 0.24 | 0.18 |
| 18L | 1.13 | 0.65 | 0.56 | 0.49 | 0.39 | 0.28 |
| 24L | 1.47 | 0.85 | 0.73 | 0.64 | 0.51 | 0.37 |
| 30L | 1.93 | 1.12 | 0.97 | 0.84 | 0.67 | 0.48 |
| 36L | 2.40 | 1.38 | 1.20 | 1.04 | 0.83 | 0.60 |
| 42L | 2.95 | 1.70 | 1.48 | 1.28 | 1.02 | 0.74 |
| 48L | 3.4A | 1.9A | 1.7A | 1.5A | 1.2A | 0.8A |

| ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)* | | | | | | | |
|--|-------|------|------|------|------|------|------|
| Lumens | Watts | 120V | 208V | 240V | 277V | 347V | 480V |
| 9L | 74.3 | 0.6A | 0.4A | 0.3A | 0.3A | 0.2A | 0.2A |
| 12L | 102.9 | 0.9A | 0.5A | 0.4A | 0.4A | 0.3A | 0.2A |

*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

| RECOMMENDED LUMEN MAINTENANCE ¹ (7-18L) | | | | | |
|--|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-50 C | 100% | 96% | 92% | 88% | 84% |

| RECOMMENDED LUMEN MAINTENANCE ¹ (24-48L) | | | | | |
|---|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient | Initial ² | 25h ² | 50hr ² | 75hr ² | 100hr ² |
| 0-40 C | 100% | 100% | 97% | 94% | 92% |

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

| DELIVERED LUMENS* | | | | | |
|-------------------|--------------|---------------------------------------|----------|------------|---------|
| Lumen Package | Distribution | Phosphor Converted Amber (Peak 610nm) | | | Wattage |
| | | Delivered Lumens | Efficacy | BUG Rating | |
| 9L | 2 | 5848 | 80 | B2-U0-G2 | 74 |
| | 2 - IL | 3644 | 50 | B0-U0-G1 | |
| | 3 | 6018 | 82 | B1-U0-G2 | |
| | 3 - IL | 4468 | 61 | B0-U0-G2 | |
| | 5W | 5471 | 74 | B3-U0-G1 | |
| | FT | 5801 | 79 | B1-U0-G2 | |
| | FT - IL | 3649 | 50 | B0-U0-G1 | |
| | FTA | 5924 | 81 | B1-U0-G1 | |
| | FTA - IL | 4243 | 58 | B1-U0-G1 | |
| 12L | 2 | 7530 | 74 | B2-U0-G2 | 102 |
| | 2 - IL | 4692 | 46 | B0-U0-G1 | |
| | 3 | 7749 | 76 | B1-U0-G2 | |
| | 3 - IL | 5753 | 57 | B0-U0-G2 | |
| | 5W | 7045 | 69 | B3-U0-G2 | |
| | FT | 7470 | 73 | B2-U0-G2 | |
| | FT - IL | 4699 | 46 | B0-U0-G2 | |
| | FTA | 7628 | 75 | B2-U0-G2 | |
| | FTA-IL | 5464 | 54 | B1-U0-G1 | |

*LEDs are frequently updated therefore values are nominal.





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS

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Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <https://www.lsicorp.com/product/mirada-medium/> for detailed photometric data.

MRM-LED-30L-SIL-2-40-70CRI

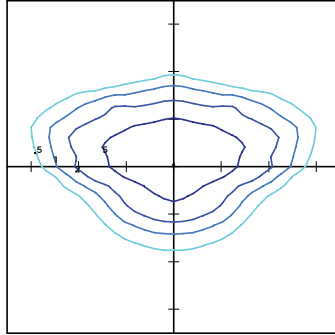
LUMINAIRE DATA

| Type 2 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,416 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type II - Short |
| BUG Rating | B4-U0-G3 |

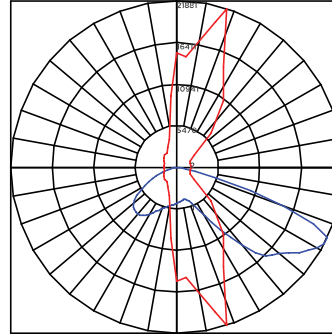
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 4796 | 15% |
| Medium (30-60)° | 19811 | 61% |
| High (60-80)° | 7474 | 23% |
| Very High (80-90)° | 335 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32416 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-3-40-70CRI

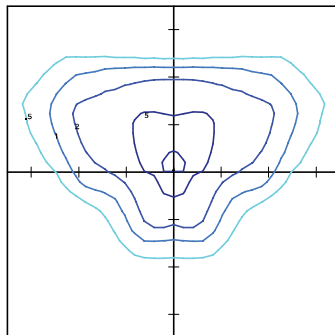
LUMINAIRE DATA

| Type 3 Distribution | |
|---------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,656 |
| Watts | 232 |
| Efficacy | 141 |
| IES Type | Type III - Short |
| BUG Rating | B3-U0-G4 |

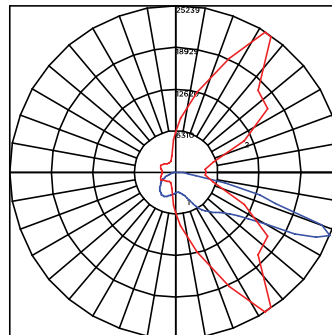
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3385 | 10% |
| Medium (30-60)° | 16250 | 50% |
| High (60-80)° | 12430 | 38% |
| Very High (80-90)° | 591 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32656 | 100% |

ISO FOOTCANDLE



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-FT-40-70CRI

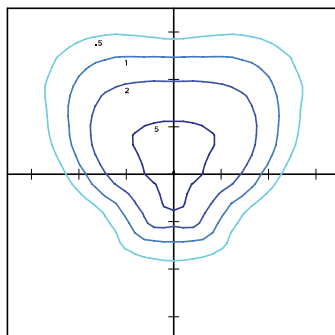
LUMINAIRE DATA

| Type FT Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,424 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type IV - Short |
| BUG Rating | B3-U0-G4 |

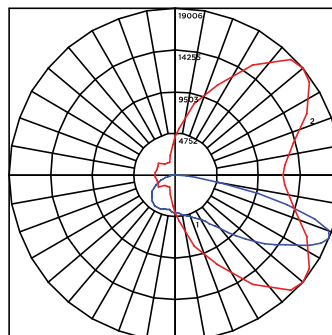
Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3952 | 12% |
| Medium (30-60)° | 15505 | 48% |
| High (60-80)° | 12279 | 38% |
| Very High (80-90)° | 688 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32424 | 100% |

ISO FOOTCANDLE



POLAR CURVE



20' Mounting Height/ 15' Grid Spacing

■ 20 FC ■ 10 FC ■ 5 FC ■ 2 FC





Mirada Medium Outdoor LED Area Light

PHOTOMETRICS (CONT)

MRM-LED-30L-SIL-5W-40-70CRI

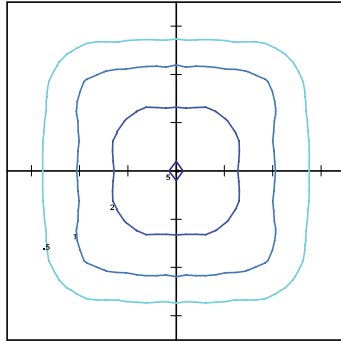
LUMINAIRE DATA

| Type 5W Distribution | |
|----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 31,267 |
| Watts | 232 |
| Efficacy | 135 |
| IES Type | Type VS - Short |
| BUG Rating | B5-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 3138 | 10% |
| Medium (30-60)° | 13193 | 42% |
| High (60-80)° | 14641 | 47% |
| Very High (80-90)° | 296 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 31267 | 100% |

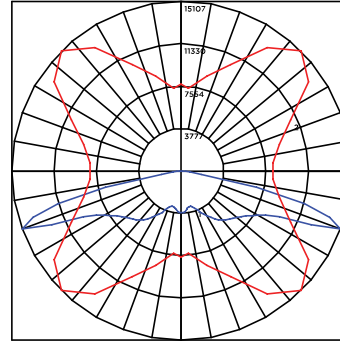
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC
 ■ 2 FC
 ■ 1 FC
 ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-FTA-40-70CRI

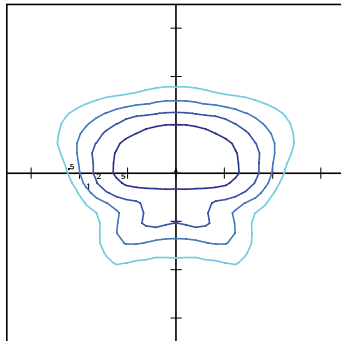
LUMINAIRE DATA

| Type FTA Distribution | |
|-----------------------|---------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,566 |
| Watts | 232 |
| Efficacy | 140 |
| IES Type | Type VS - Short |
| BUG Rating | B4-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6986 | 21% |
| Medium (30-60)° | 19172 | 59% |
| High (60-80)° | 5875 | 18% |
| Very High (80-90)° | 534 | 2% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32566 | 100% |

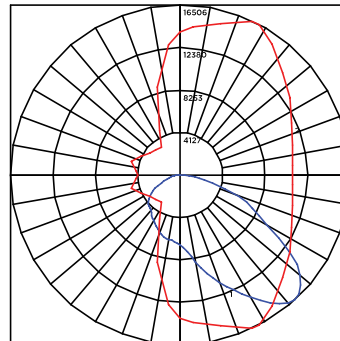
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC
 ■ 2 FC
 ■ 1 FC
 ■ 0.5 FC

POLAR CURVE



MRM-LED-30L-SIL-AM-40-70CRI

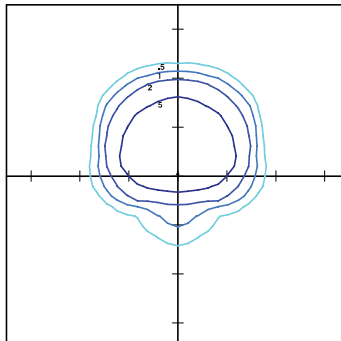
LUMINAIRE DATA

| Type AM Distribution | |
|----------------------|-----------------------|
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 32,960 |
| Watts | 232 |
| Efficacy | 142 |
| IES Type | Type III - Very Short |
| BUG Rating | B3-U0-G3 |

Zonal Lumen Summary

| Zone | Lumens | %Luminaire |
|--------------------|--------|------------|
| Low (0-30)° | 6363 | 9% |
| Medium (30-60)° | 22026 | 43% |
| High (60-80)° | 4192 | 48% |
| Very High (80-90)° | 379 | 1% |
| Uplight (90-180)° | 0 | 0% |
| Total Flux | 32960 | 100% |

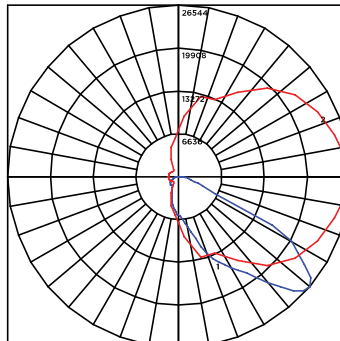
ISO FOOTCANDLE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC
 ■ 2 FC
 ■ 1 FC
 ■ 0.5 FC

POLAR CURVE

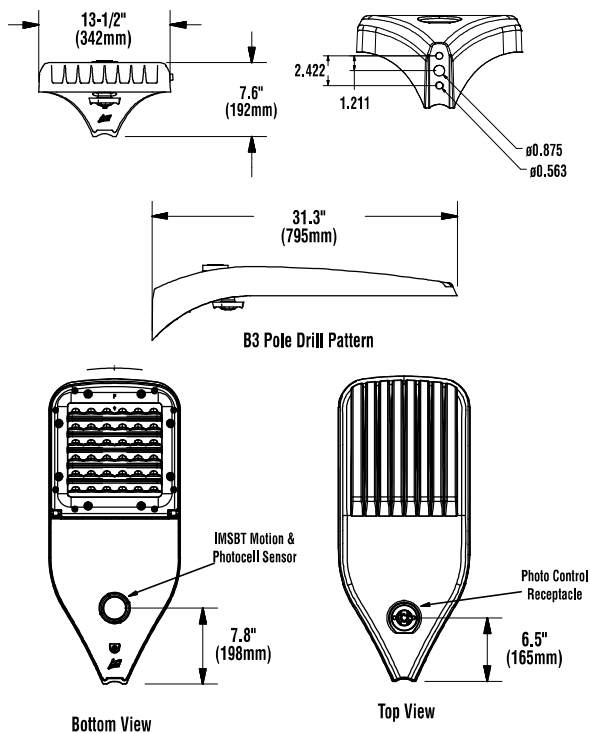




Mirada Medium Outdoor LED Area Light

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PRODUCT DIMENSIONS



| LUMINAIRE EPA CHART - MRM | | | | | | | | | |
|---------------------------|--|-----|-----|-----|-------------|--|-----|-----|-----|
| Tilt Degree | | 0° | 30° | 45° | Tilt Degree | | 0° | 30° | 45° |
| Single | | 0.5 | 1.5 | 1.9 | T90° | | 1.0 | 2.5 | 2.8 |
| D180° | | 1.0 | 1.5 | 1.9 | TN120° | | 1.0 | 3.3 | 3.9 |
| D90° | | 0.8 | 1.9 | 2.3 | Q90° | | 1.0 | 2.5 | 2.8 |

CONTROLS

AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

<https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf>

Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

<https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf>

AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

<https://www.lsicorp.com/product/airlink-blue/>





Mirada Medium Outdoor LED Area Light

POLES & BRACKETS

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our oven baked DuraGrip Protection System. Also available with our DuraGrip+ Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

<https://www.lsicorp.com/products/poles-brackets/>



BKA UMB CLR

The 3G rated UMB allows for seamless integration of LSI luminaires onto existing/ retrofit or new construction poles. The UMB was designed for square or round (tapered or straight) poles with two mounting hole spacings between 3.5" – 5".



BKS PQM15 CLR

The Pole Quick Mount Bracket allows for preset 15° up tilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.



BKA ASF CLR

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a 2" iron pipe, 2 3/8 OD tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



BKS PQMH CLR

The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's B3 or B5 standard pole bolt patterns.



Square Pole
14'-39'



Round Pole
10'-30'



Tapered Pole
20'-39'





Mirada Medium Wall Sconce (XWM)

Outdoor Wall Sconce



| OVERVIEW | |
|----------------------|----------------------|
| Lumen Package | 3,000 - 21,000 |
| Wattage Range | 23 - 175 |
| Efficacy Range (LPW) | 125 - 158 |
| Weight lbs(kg) | 27 (12.2) |
| Control Options | IMSBT, ALB, ALS, PCI |

QUICK LINKS

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
- Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
- Optional pole-mounting bracket (XPMa) permits mounting to standard poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Max shipping weight: 30lbs in carton

Optical System

- State-of-the-Art one piece silicone optic provides industry leading optical control while also acting as an integrated gasket reducing system complexity and improving fixture reliability.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, 4, and FT distributions.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.

- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion (THD): <20%
- 3L to 12L operating temperature: -40°C to +50°C (-40°F to +122°F)
- 15L operating temperature: -40°C to +45°C (-40°F to +113°F).
- 18L operating temperature: -40°C to +40°C (-40°F to +104°F).
- 21L operating temperature: -40°C to +35°C (-40°F to + 95°F).
- Power factor (PF): >.90
- Input power stays constant over life.
- Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver and key electronic components can easily be accessed via hinged door.
- Optional integral emergency battery pack provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. The fixture delivers 1500 lumens during emergency mode.

Controls

- Integral passive infrared Bluetooth™ motion sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app. Updates and modifications to the control strategy are easily implemented via an intuitive app.

- LSI's AirLink™ Blue lighting control system is a simple feature rich wireless Bluetooth mesh network. The integrated fixture sensor module provides wireless control of grouped fixtures based on motion sensors, daylight or a fully customizable schedule.

Installation

- Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
- 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for installing/servicing.
- Optional terminal block accepts up to 12 ga wire.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on Battery Back-up option.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K or lower color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP65 rated luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPMa bracket) or wall mounted.
- IK08 rated luminaire per IEC 66262 mechanical impact code
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Type : _____

 **Have questions?** Call us at (800) 436-7800

ORDERING GUIDE

[Back to Quick Links](#)

| TYPICAL ORDER EXAMPLE: XWM 2 LED 03L 30 UE BRZ ALSC | | | | |
|---|--|---|--|--|
| Family | Distribution | Light Source | Lumen Package | Color Temperature |
| XWM - Mirada Medium Wall Sconce | 2 - Type 2 3 - Type 3 4 - Type 4 FT - Type 4 Forward Throw | LED | 3L - 3,000 4L - 4,000 6L - 6,000 8L - 8,000 12L - 12,000 15L - 15,000 18L - 18,000 21L - 21,000 Custom Lumen Packages ¹ | 30 - 3000K 40 - 4000K 50 - 5000K AMB - Phosphor Converted Amber ² |
| Voltage | Finish | Controls | | Options |
| UE - Universal Voltage (120-277V) HV - High Voltage (347-480V) | BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White | Blank - None Wireless Controls ALSC - AirLink Synapse Control System ALSCS01 - AirLink Synapse Control System with 8-12' Motion Sensor ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' MH) ³ ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' MH) ³ Standalone Controls DIM - 0-10v Dimming leads extended to housing exterior IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH) ^{3,4} IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH) ^{3,4} Button Type Photocells PCI120 - 120V PCI208-277 - 208 -277V PCI347 - 347V | | Blank - None BB - Battery Back-up (0°C) ⁵ CWBB - Cold Weather Battery Backup (-20°C) ⁵ XPMA - Pole Mounting Bracket SP1 - 10kV Surge Protection TB - Terminal Block |



Need more information?
Click here for our glossary

Have additional questions?
Call us at (800) 436-7800



FUSING ACCESSORY ORDERING INFORMATION⁶

| Part Number | Description |
|---------------------|----------------------------|
| FK120 ⁷ | FK120 - Single Fusing |
| FK277 ⁷ | FK277 - Single Fusing |
| FK347 ⁷ | FK347 - Single Fusing |
| DFK208 ⁷ | DFK - Double Fusing |
| DFK240 ⁷ | DFK - Double Fusing (240V) |
| DFK480 ⁷ | DFK - Double Fusing (480V) |

MOUNTING ACCESSORY ORDERING INFORMATION⁶

| Part Number ⁸ | Description |
|--------------------------|--|
| 356915CLR | XWM Wet Location Surface Conduit/Wiring Box |
| 751632 | 10' Linear Bird Spike Kit (2' Recommended per Luminaire) |

1 Custom lumen and wattage packages available consult factory. Values are within industry standard tolerances but not DLC listed.
2 Only available in 6L Lumen Package. Consult factory for lead time and availability.
3 IMSBT and ALBCS control options are not available in 3L or 4L lumen packages when high voltage (HV) is specified.
4 IMSBTxL is field configurable via the Leviton app that can be downloaded from your smartphone's app store.

5 Not available in HV.
6 Accessories are shipped separately and field installed.
7 Fusing must be located in a hand hole for pole or in the junction box.
8 "CLR" to be replaced by paint finish selection. See Finish options for paint color selections.

Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Type : _____

 Have questions? Call us at (800) 436-7800

PERFORMANCE

[Back to Quick Links](#)

| Delivered Lumens ¹ | | | | | | | | | | | | |
|-------------------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | CRI | 3000K | | | 4000K | | | 5000K | | | Wattage |
| | | | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | |
| 3L | 2 | 70 | 3,178 | 138 | B1-U0-G1 | 3,368 | 146 | B1-U0-G1 | 9,853 | 159 | B1-U0-G1 | 23 |
| | 3 | | 3,224 | 140 | B1-U0-G1 | 3,416 | 148 | B1-U0-G1 | 3,361 | 145 | B1-U0-G1 | |
| | 4 | | 3,210 | 140 | B1-U0-G2 | 3,364 | 146 | B1-U0-G2 | 3,294 | 143 | B1-U0-G2 | |
| | FT | | 3,160 | 137 | B1-U0-G1 | 3,349 | 145 | B1-U0-G1 | 3,294 | 143 | B1-U0-G1 | |
| 4L | 2 | 70 | 4,230 | 139 | B1-U0-G1 | 4,483 | 147 | B1-U0-G1 | 4,410 | 145 | B1-U0-G1 | 30 |
| | 3 | | 4,291 | 141 | B1-U0-G1 | 4,547 | 150 | B1-U0-G1 | 4,473 | 147 | B1-U0-G1 | |
| | 4 | | 4,234 | 141 | B1-U0-G2 | 4,437 | 148 | B1-U0-G2 | 4,344 | 145 | B1-U0-G2 | |
| | FT | | 4,206 | 138 | B1-U0-G1 | 4,458 | 147 | B1-U0-G1 | 4,385 | 144 | B1-U0-G1 | |
| 6L | 2 | 70 | 6,326 | 134 | B2-U0-G1 | 6,704 | 142 | B2-U0-G2 | 6,595 | 140 | B2-U0-G2 | 47 |
| | 3 | | 6,417 | 136 | B1-U0-G2 | 6,800 | 144 | B2-U0-G2 | 6,689 | 142 | B2-U0-G2 | |
| | 4 | | 6,336 | 135 | B1-U0-G3 | 6,640 | 141 | B1-U0-G3 | 6,500 | 138 | B1-U0-G3 | |
| | FT | | 6,290 | 134 | B2-U0-G2 | 6,666 | 142 | B2-U0-G2 | 6,557 | 139 | B2-U0-G2 | |
| 8L | 2 | 70 | 8,166 | 128 | B2-U0-G2 | 8,654 | 135 | B2-U0-G2 | 8,513 | 133 | B2-U0-G2 | 64 |
| | 3 | | 8,283 | 129 | B2-U0-G2 | 8,778 | 137 | B2-U0-G2 | 8,635 | 134 | B2-U0-G2 | |
| | 4 | | 8,362 | 131 | B1-U0-G3 | 8,763 | 137 | B2-U0-G3 | 8,579 | 134 | B1-U0-G3 | |
| | FT | | 8,120 | 126 | B2-U0-G2 | 8,605 | 134 | B2-U0-G2 | 8,465 | 132 | B2-U0-G2 | |
| 12L | 2 | 70 | 11,492 | 149 | B2-U0-G2 | 12,033 | 156 | B3-U0-G2 | 11,927 | 155 | B3-U0-G2 | 77 |
| | 3 | | 11,757 | 153 | B2-U0-G2 | 12,311 | 160 | B2-U0-G2 | 12,203 | 158 | B2-U0-G2 | |
| | 4 | | 11,486 | 149 | B2-U0-G3 | 12,058 | 157 | B2-U0-G3 | 11,716 | 152 | B2-U0-G3 | |
| | FT | | 11,721 | 152 | B2-U0-G2 | 12,274 | 159 | B2-U0-G3 | 12,166 | 158 | B2-U0-G3 | |
| 15L | 2 | 70 | 14,221 | 145 | B3-U0-G2 | 14,891 | 152 | B3-U0-G2 | 14,760 | 151 | B3-U0-G2 | 98 |
| | 3 | | 14,549 | 148 | B2-U0-G2 | 15,235 | 155 | B2-U0-G2 | 15,101 | 154 | B2-U0-G2 | |
| | 4 | | 14,099 | 144 | B2-U0-G3 | 14,801 | 151 | B2-U0-G3 | 14,382 | 147 | B2-U0-G3 | |
| | FT | | 14,505 | 148 | B2-U0-G3 | 15,189 | 155 | B2-U0-G3 | 15,055 | 154 | B2-U0-G3 | |
| 18L | 2 | 70 | 16,894 | 138 | B3-U0-G3 | 17,690 | 145 | B3-U0-G3 | 17,534 | 144 | B3-U0-G3 | 122 |
| | 3 | | 17,285 | 142 | B3-U0-G3 | 18,099 | 148 | B3-U0-G3 | 17,940 | 147 | B3-U0-G3 | |
| | 4 | | 16,951 | 139 | B2-U0-G3 | 17,795 | 146 | B3-U0-G3 | 17,291 | 142 | B3-U0-G3 | |
| | FT | | 17,231 | 141 | B3-U0-G3 | 18,044 | 148 | B3-U0-G3 | 17,885 | 147 | B3-U0-G3 | |
| 21L | 2 | 70 | 19,961 | 133 | B3-U0-G3 | 20,902 | 139 | B3-U0-G3 | 20,718 | 138 | B3-U0-G3 | 150 |
| | 3 | | 20,422 | 136 | B3-U0-G3 | 21,385 | 143 | B3-U0-G3 | 21,197 | 141 | B3-U0-G3 | |
| | 4 | | 19,768 | 132 | B3-U0-G4 | 20,753 | 138 | B3-U0-G5 | 20,165 | 134 | B3-U0-G4 | |
| | FT | | 20,360 | 136 | B3-U0-G3 | 21,320 | 142 | B3-U0-G3 | 21,132 | 141 | B3-U0-G3 | |

| Electrical Data (Amps) – 3000K/4000K/5000K ² | | | | | | |
|---|------|------|------|------|------|------|
| Lumen Package | 120V | 208V | 240V | 277V | 347V | 480V |
| 3L | 0.19 | 0.11 | 0.10 | 0.08 | 0.07 | 0.05 |
| 4L | 0.25 | 0.14 | 0.13 | 0.11 | 0.09 | 0.06 |
| 6L | 0.39 | 0.23 | 0.20 | 0.17 | 0.14 | 0.10 |
| 9L | 0.53 | 0.31 | 0.27 | 0.23 | 0.18 | 0.13 |
| 12L | 0.64 | 0.37 | 0.32 | 0.28 | 0.22 | 0.16 |
| 15L | 0.82 | 0.47 | 0.41 | 0.35 | 0.28 | 0.20 |
| 18L | 1.02 | 0.59 | 0.51 | 0.44 | 0.35 | 0.25 |
| 21L | 1.25 | 0.72 | 0.63 | 0.54 | 0.43 | 0.31 |

| Delivered Lumens (Phosphor Converted Amber) | | | | | |
|---|--------------|------------------|----------|------------|---------|
| Lumen Package | Distribution | Amber | | | Wattage |
| | | Delivered Lumens | Efficacy | BUG Rating | |
| 6L | 2 | 3,325 | 76 | B1-U0-G1 | 44 |
| | 3 | 3,385 | 78 | B1-U0-G1 | |
| | 4 | 3,310 | 75 | B1-U0-G1 | |
| | FT | 3,343 | 77 | B1-U0-G1 | |

| Recommended Lumen Maintenance – XWM ³ | | | | | |
|--|----------------------|-----------------------|-----------------------|-----------------------|------------------------|
| Ambient Temperature °C | Initial ⁴ | 25K hrs. ⁴ | 50K hrs. ⁴ | 75K hrs. ⁵ | 100K hrs. ⁵ |
| 35 | 99% | 97% | 95% | 93% | 91% |
| 50 | 100% | 98% | 95% | 93% | 90% |

¹ LEDs are frequently updated therefore values are nominal

² Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

³ Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing.

⁴ In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip).

⁵ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times NA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip).

Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Type : _____

 Have questions? Call us at (800) 436-7800

PHOTOMETRICS

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Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

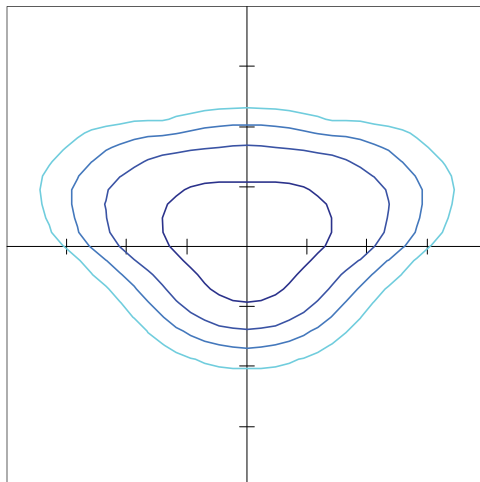
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

XWM-2-LED-12L-40

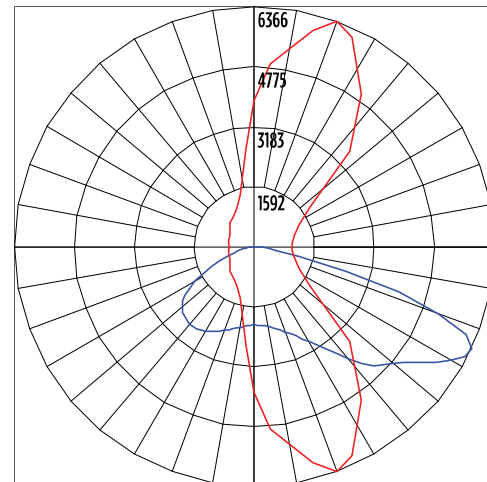
| Luminaire Data | |
|---------------------|---------------------|
| Type 2 Distribution | |
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 12,033 |
| Watts | 77 |
| Efficacy | 156 |
| IES Type | Type II - Short |
| BUG Rating | B3-U0-G2 |

| Zonal Lumen Summary | | |
|---------------------|---------------|-------------|
| Zone | Lumens | % Luminaire |
| Low (0-30°) | 1,961 | 16% |
| Medium (30-60°) | 6,874 | 57% |
| High (60-80°) | 3,014 | 25% |
| Very High (80-90°) | 184 | 2% |
| Uplight (90-180°) | 0 | 0% |
| Total Flux | 12,033 | 100% |

ISO Footcandle



Polar Curve

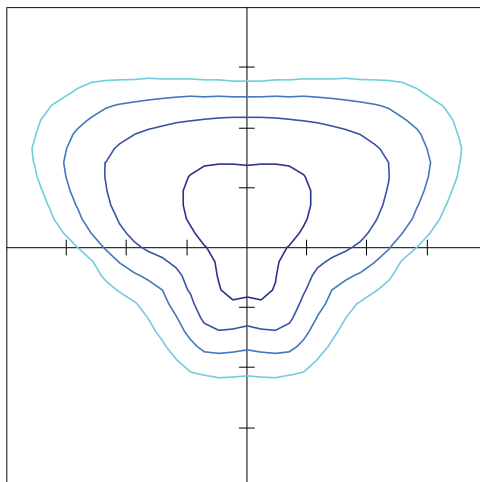


XWM-3-LED-12L-40

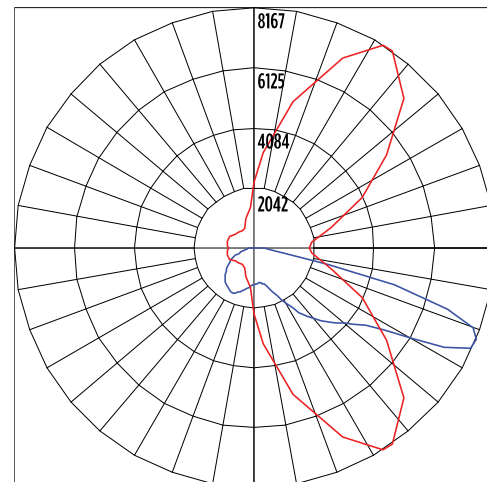
| Luminaire Data | |
|---------------------|---------------------|
| Type 3 Distribution | |
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 12,311 |
| Watts | 77 |
| Efficacy | 160 |
| IES Type | Type III - Short |
| BUG Rating | B2-U0-G2 |

| Zonal Lumen Summary | | |
|---------------------|---------------|-------------|
| Zone | Lumens | % Luminaire |
| Low (0-30°) | 1,340 | 11% |
| Medium (30-60°) | 6,164 | 50% |
| High (60-80°) | 4,549 | 37% |
| Very High (80-90°) | 258 | 2% |
| Uplight (90-180°) | 0 | 0% |
| Total Flux | 12,311 | 100% |

ISO Footcandle



Polar Curve



Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Type : _____

 Have questions? Call us at (800) 436-7800

PHOTOMETRICS

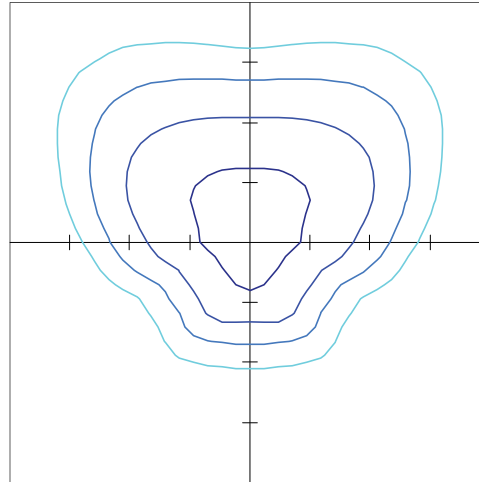
[Back to Quick Links](#)

XWM-FT-LED-12L-40

| Luminaire Data | |
|----------------------|---------------------|
| Type FT Distribution | |
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 12,274 |
| Watts | 77 |
| Efficacy | 159 |
| IES Type | Type IV - Short |
| BUG Rating | B2-U0-G3 |

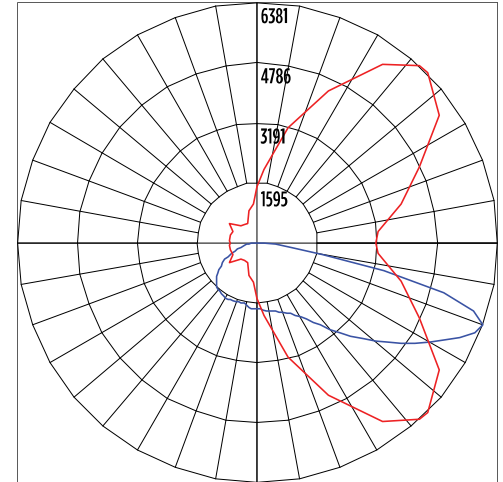
| Zonal Lumen Summary | | |
|---------------------|---------------|-------------|
| Zone | Lumens | % Luminaire |
| Low (0-30°) | 1,578 | 13% |
| Medium (30-60°) | 5,798 | 47% |
| High (60-80°) | 4,576 | 37% |
| Very High (80-90°) | 322 | 3% |
| Uplight (90-180°) | 0 | 0% |
| Total Flux | 12,274 | 100% |

ISO Footcandle



15' Mounting Height / 15' Grid Spacing
 5 FC 2 FC 1 FC 0.5 FC

Polar Curve



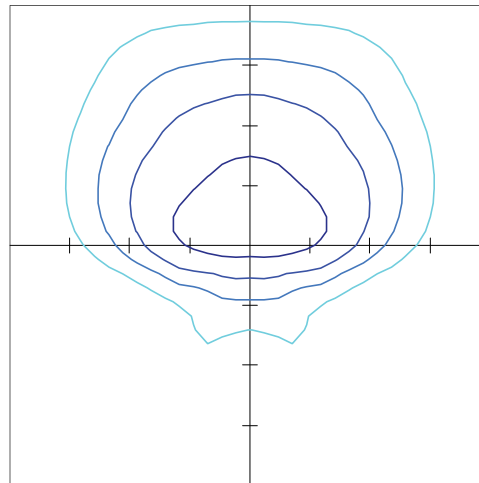
Vertical Plane Horizontal Cone

XWM-4-LED-12L-40

| Luminaire Data | |
|---------------------|----------------------|
| Type 4 Distribution | |
| Description | 4000 Kelvin, 70 CRI |
| Delivered Lumens | 12,058 |
| Watts | 77 |
| Efficacy | 157 |
| IES Type | Type IV - Very Short |
| BUG Rating | B2-U0-G3 |

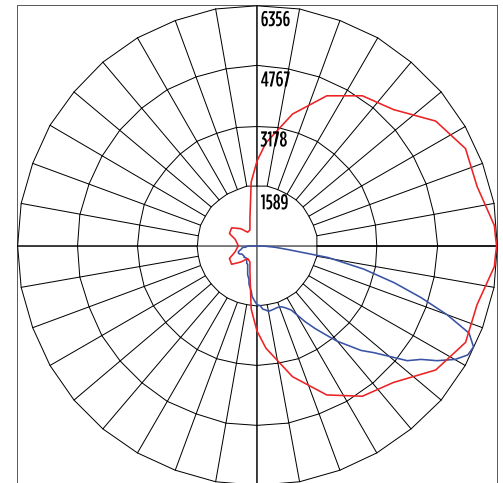
| Zonal Lumen Summary | | |
|---------------------|---------------|-------------|
| Zone | Lumens | % Luminaire |
| Low (0-30°) | 1,345 | 11% |
| Medium (30-60°) | 5,394 | 45% |
| High (60-80°) | 4,855 | 40% |
| Very High (80-90°) | 464 | 4% |
| Uplight (90-180°) | 0 | 0% |
| Total Flux | 12,058 | 100% |

ISO Footcandle



15' Mounting Height / 15' Grid Spacing
 5 FC 2 FC 1 FC 0.5 FC

Polar Curve



Vertical Plane Horizontal Cone

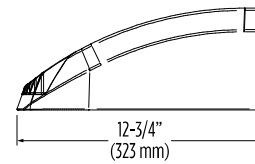
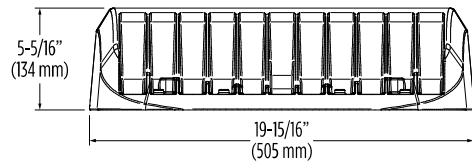
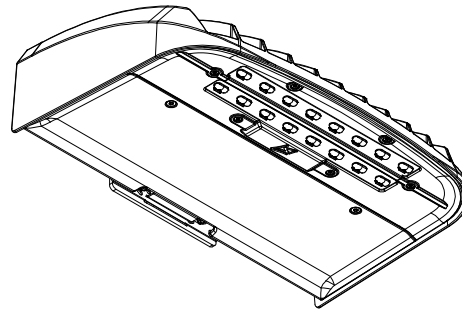
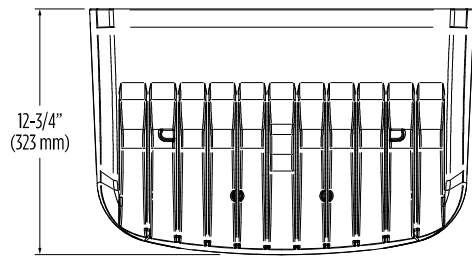
Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Type : _____

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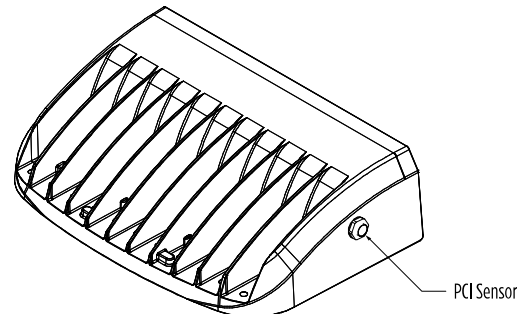
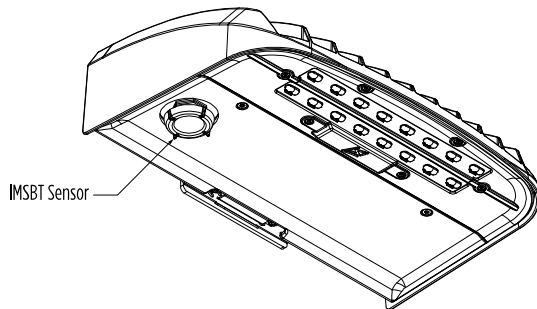
PRODUCT DIMENSIONS

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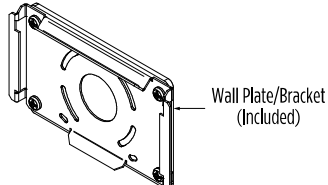
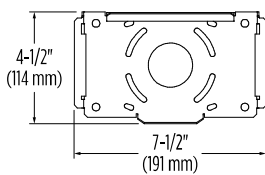
**Mirada Medium Wall Sconce with
Integral Bluetooth™ Motion and Photocell Sensor**
(XWM IMSBTxL)

**Mirada Medium Wall Sconce with
Button Type Photocell**
(XWM PCI)

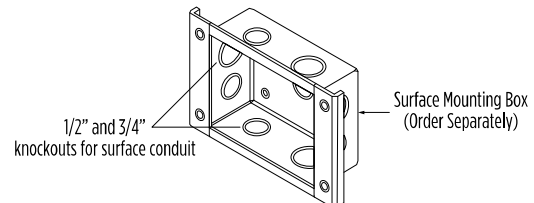


Mounting Options

Mounting Over Junction Box
(Standard/Included)



XWM Wet Location Surface Conduit/Wiring Box
(356915CLR)



Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Type : _____

 Have questions? Call us at (800) 436-7800

CONTROLS

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Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more details about IMSBT](#)



LEVITON App



Apple



Android

AirLink Wireless Lighting Controller (ALSC, ALSCS)

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

[Click here to learn more details about AirLink](#)

AirLink Blue (ALBCSx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



AirLink Blue App



Apple

Sensor Sequence of Operations

| Standard Programming | On Event | Off Event | On Light Level | Dim Light Level | Daylight Harvesting | Delay To Off | Sensitivity |
|----------------------|----------|-----------|----------------|-----------------|----------------------|--------------|-------------|
| IMSBTxL | Motion | No Motion | 100% | N/A | On; Auto Calibration | 20 minutes | High |

| Operation | Description |
|-----------------|--|
| On Event | Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button. |
| Off Event | Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button. |
| On Light Level | The light level that the fixtures will turn on to when ON EVENT occurs. |
| Dim Light Level | The light level that the fixtures will dim down to when no motion is detected. |
| Delay to Dim | The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field. |
| Delay to Off | The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down. |
| Sensitivity | The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view. |